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CASE SUMMARY SHEET

CASE NUMBER: V26-05-13_R26-05-02

DATE RECEIVED: April 24, 2026

DATE OF MEETING: May 12, 2026 and May 26, 2026

Address: Square 9 Lot 4A

Subdivision: West Beach Parkway, Square 9 Lot 4A

Zoning District: R-1 - Single Family Residential District

Property Owner: Matthew Frank Costa

REQUEST: V26-05-13_R26-05-02 – Matthew Frank Costa requests a variance to CLURO Section 7.5.1.3. R-1 Site Development Regulations, and to subdivide lot 4A into lots 4A1 and 4A2, West Beach Parkway, Square 9 Lot 4A, R-1 - Single Family Residential District, Square 9 Lot 4A

CASE SUMMARY: Resubdivide the property into two lots

The applicant owns the property on East St., located on the west side of East St., north of Center St., and east of West Beach Pkwy. The property measures 150' x 125' per a survey prepared by Randall Brown & Associates, Inc and dated 3.13.2025. The property is currently unimproved.

A survey prepared by Randall Brown & Associates, Inc dated 3.17.2026 was submitted. The applicant is requesting to subdivide the parcel into two lots, each measuring 75' x 125'. The proposed lots would be deficient 15' in width and 1,425 sqft in area. Both lots would exceed the depth requirement.

A letter was submitted on behalf of the property owner that states there are six properties within two blocks of the property that have a frontage of 75' or less. They are 256 East St., 321 West Beach Pkwy, 326 West Beach Pkwy, 331 West Beach Pkwy, 338 West Beach Pkwy, and 2801 North St.

There is an existing accessory structure located on the rear property line of the proposed Lot 4A2. The accessory structure would have to be relocated prior to the resubdivision taking place.

Existing Lot	Current	Required	Difference
Width	150'	90'	+60'
Depth	125'	120'	+5'
Area	18,750 sqft	10,800 sqft	+7,950 sqft

Lot 4A1	Proposed	Required	Difference
Width	75'	90'	-15'
Depth	125'	120'	+5
Area	9,375 sqft	10,800 sqft	-1,425 sqft

Lot 4A2	Proposed	Required	Difference
Width	75'	90'	-15'
Depth	125'	120'	+5
Area	9,375 sqft	10,800 sqft	-1,425 sqft

CLURO SECTIONS:

7.5.1.3. R-1 Site Development Regulations

Each development site in the R-1 Single-Family Residential Zoning District shall be subject to the following site development regulations in addition to any regulations applicable under the provisions of Article 8. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

1. Minimum lot area	10,800 Square feet (except for legal non-conforming lots as provided)
2. Minimum building area (Square feet per unit)	1,200 Square feet
3. Minimum lot width	90'
4. Minimum lot depth	120'
5. Minimum Yard Setback Requirements	
a. Front yard	25'
b. Interior side yard*	
i. Frontage up to 50'	8' each side
ii. Frontage between 51' – 60'	10' each side
iii. Frontage between 61' – 75'	12' each side
iv. Frontage between 76' – 80'	13' each side
v. Frontage between 81' – 90'	15' each side
vi. Frontage between 91' – 100'	16' each side
vii. Frontage between 101' – 110'	18' each side

viii. Frontage between 111' +'	20' each side
c. Street side yard	15'
d. Rear yard	30'
6. Maximum Height of Structures	35'
7. Maximum Impervious Site Coverage	45%

*The side yard setbacks of the site may be shifted into the opposite yard up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.



DEANO AND DEANO

A PROFESSIONAL LAW CORPORATION

136 LAFAYETTE ST.

MANDEVILLE, LOUISIANA 70448

EDWARD J. DEANO, JR.
GUY L. DEANO, JR. 1921-2001
deanoanddeano@bellsouth.net
Phone: 985-626-1001

April 23, 2026

To the members of the Mandeville Planning and Zoning Commission:

This is written on behalf of the application of Mr. Matt Costa to re-subdivide the property described as Square 9, lot 4A in the West Beach Parkway subdivision. The lot has a frontage of 150 feet on East Street with a depth of 125 feet. Mr. Costa seeks to re-subdivide this into two 75 feet by 125 feet lots. It is necessary to obtain a variance from the Planning and Zoning Commission to do this.

It has been the practice of the Planning and Zoning Commission to grant a variance as to the front footage requirement of a lot if the square footage requirement is met by the applicant. This lot is situated in the West Beach Parkway subdivision. The subdivision is over 100 years old and one of the oldest, if not the oldest, subdivision in Old Mandeville. The Lot dimensions are unusual in this part of the city. They are only 125 feet deep. This peculiar feature of the lots in this subdivision makes it particularly difficult to re-subdivide lots as compared to the other lots in Old Mandeville. The town was laid out with lots that were 60 French feet by 180 French feet; or approximately 63 American feet by 192 American feet. These lots are 12,096 square feet. Although they only have 60-foot frontage, they would comply with the lot size required in the past by the Planning and Zoning Commission to grant a variance on lot frontage. The lot size in Pine Place subdivision, which is across Monroe Street to the north of West Beach Parkway subdivision, is 50 by 150 feet. A request for a variance allowing a 75-foot front would create a lot that is 11,250 square feet. It would also meet lot size generally required by the Planning and Zoning Commission for a variance. The 125-foot depth of the lots in West Beach Parkway subdivision creates an unusual difficulty in the re-subdivision of its lots.

A lot of the size proposed by my client would not disturb the character of the neighborhood. I have identified 6 within two blocks of the subject property which have 75-foot or less street frontage. They are:

- 256 East Street (50-foot front, the description is included in the ownership documents submitted)
- 321 West Beach Parkway (adjacent to the subject property, shown on the submitted survey)
- 326 West Beach Parkway (visually inspected)
- 331 West Beach Parkway (adjacent to the subject property, shown on the survey submitted)
- 338 West Beach Parkway (visually inspected)
- 2801 North St. (visually inspected)

The applicant's request for this variance is based on unusual and practical difficulties associated with the dimensions of the lot. The size of the lots proposed to be created are in keeping with the character of the neighborhood. His request is reasonable. The granting of it will have the effect of making a house more affordable in Old Mandeville.

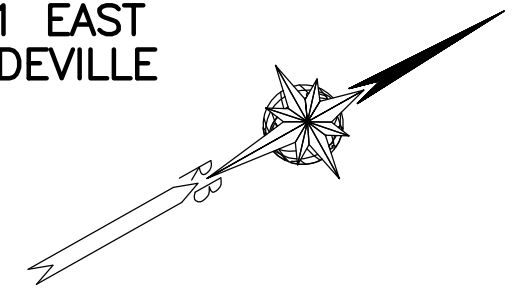
I urge the favorable consideration of this variance application.

Sincerely,

A handwritten signature in blue ink, appearing to read "E. J. Deano, Jr.", with a stylized flourish at the end.

Edward J. Deano, Jr.
Attorney at Law

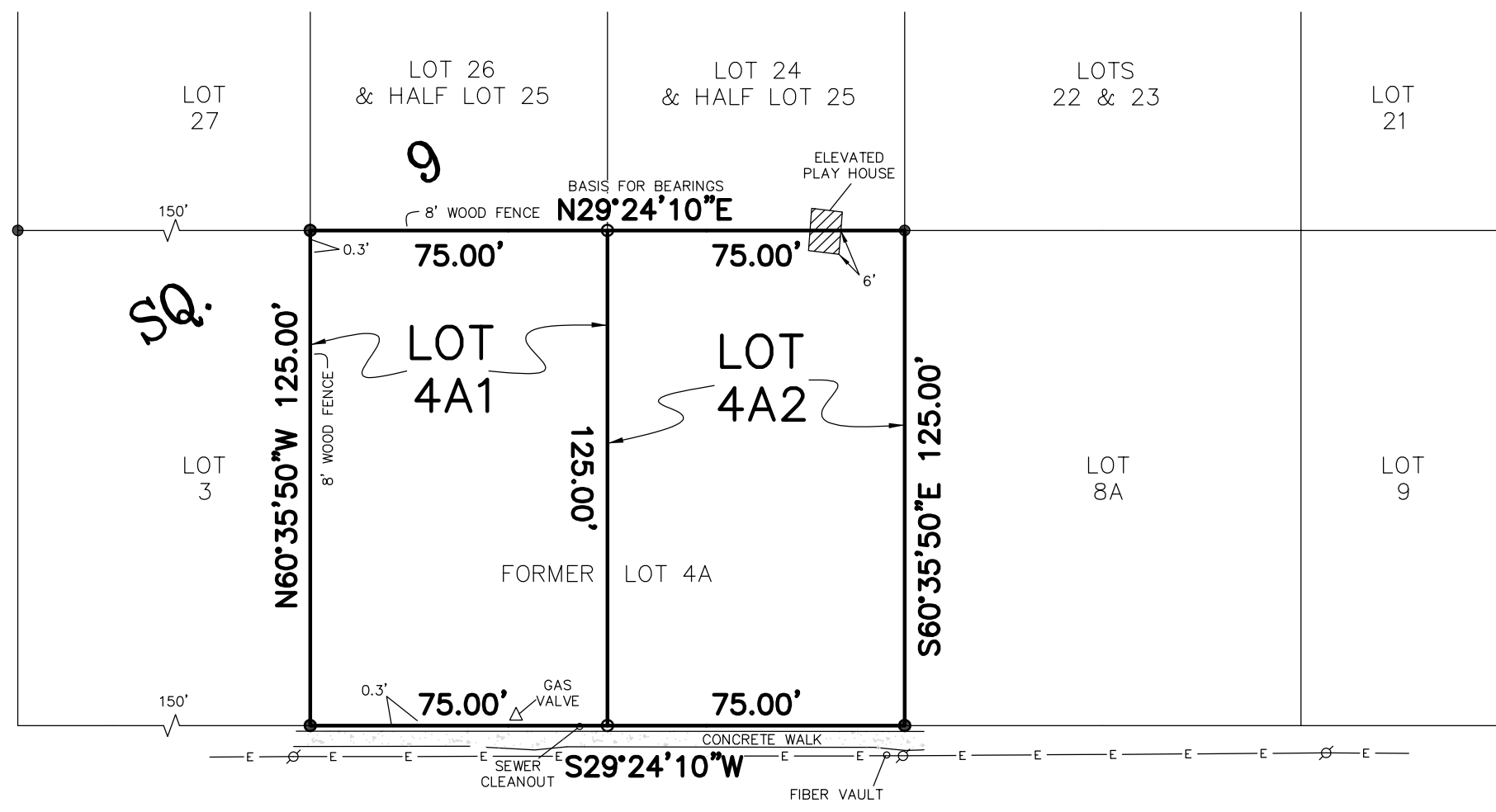
RESUBDIVISION OF
LOT 4A * SQ. 9 * WEST BEACH PARKWAY
SECTION 47, TOWNSHIP 8 SOUTH, RANGE 11 EAST
GREENSBURG LAND DISTRICT * CITY OF MANDEVILLE
ST. TAMMANY PARISH, LOUISIANA
INTO
LOTS 4A1 & 4A2



WEST BEACH PARKWAY (SIDE)

NORTH STREET (SIDE)

CENTER STREET



LOT 4A1:
 COMMENCING FROM THE SOUTHERNMOST CORNER OF LOT 1, SQUARE 9, WEST BEACH PARKWAY SUBDIVISION AND GO NORTH 29 DEGREES 24 MINUTES 10 SECONDS EAST A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING. FROM THE POINT OF BEGINNING GO NORTH 60 DEGREES 35 MINUTES 50 SECONDS WEST A DISTANCE OF 125.00 FEET; THEN GO NORTH 29 DEGREES 24 MINUTES 10 SECONDS EAST A DISTANCE OF 75.00 FEET; GO SOUTH 60 DEGREES 35 MINUTES 50 SECONDS EAST A DISTANCE OF 125.00 FEET; THEN GO SOUTH 29 DEGREES 24 MINUTES 10 SECONDS WEST A DISTANCE OF 75.00 FEET BACK TO THE POINT OF BEGINNING.

LOT 4A2:
 COMMENCING FROM THE SOUTHERNMOST CORNER OF LOT 1, SQUARE 9, WEST BEACH PARKWAY SUBDIVISION AND GO NORTH 29 DEGREES 24 MINUTES 10 SECONDS EAST A DISTANCE OF 225.00 FEET TO THE POINT OF BEGINNING. FROM THE POINT OF BEGINNING GO NORTH 60 DEGREES 35 MINUTES 50 SECONDS WEST A DISTANCE OF 125.00 FEET; THEN GO NORTH 29 DEGREES 24 MINUTES 10 SECONDS EAST A DISTANCE OF 75.00 FEET; GO SOUTH 60 DEGREES 35 MINUTES 50 SECONDS EAST A DISTANCE OF 125.00 FEET; THEN GO SOUTH 29 DEGREES 24 MINUTES 10 SECONDS WEST A DISTANCE OF 75.00 FEET BACK TO THE POINT OF BEGINNING.

LOT AREAS:
 LOT 4A1 = 9,375 SQ. FEET
 LOT 4A2 = 9,375 SQ. FEET

NOTES:
 -BEARINGS SHOWN HEREON ARE REFERENCED TO LOUISIANA STATE PLANE COORDINATES, LA SOUTH ZONE 1702.
 -OWNER OR BUILDER RESPONSIBLE FOR OBTAINING SETBACKS BEFORE DESIGN OR CONSTRUCTION BEGINS.
 -FENCING NOT SHOWN HEREON. SEE REFERENCE No. 2 FOR FENCES.

REFERENCE:
 WEST BEACH PARKWAY SUBD. PLAT
 Map File No.: EM766
 Date Filed: 7-23-1925
 REFERENCE:
 RESUB BY RANDALL W. BROWN
 Map File No.: 6404D
 Date Filed: 6-25-2025

Note: I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS located in a special flood hazard area, it is located in Flood Zone AE.
 FIRM Panel# 2202020427D Rev. 01-13-2017

○ DENOTES 1/2" IRON ROD TO BE SET UNLESS OTHERWISE NOTED
 ● DENOTES 1/2" IRON ROD FOUND UNLESS OTHERWISE NOTED

APPROVED:

 MAYOR OF THE CITY OF MANDEVILLE

 CHAIRMAN OF PLANNING COMMISSION

 CITY ENGINEER OR PUBLIC WORKS DIRECTOR

 PLANNING DIRECTOR

 CLERK OF COURT

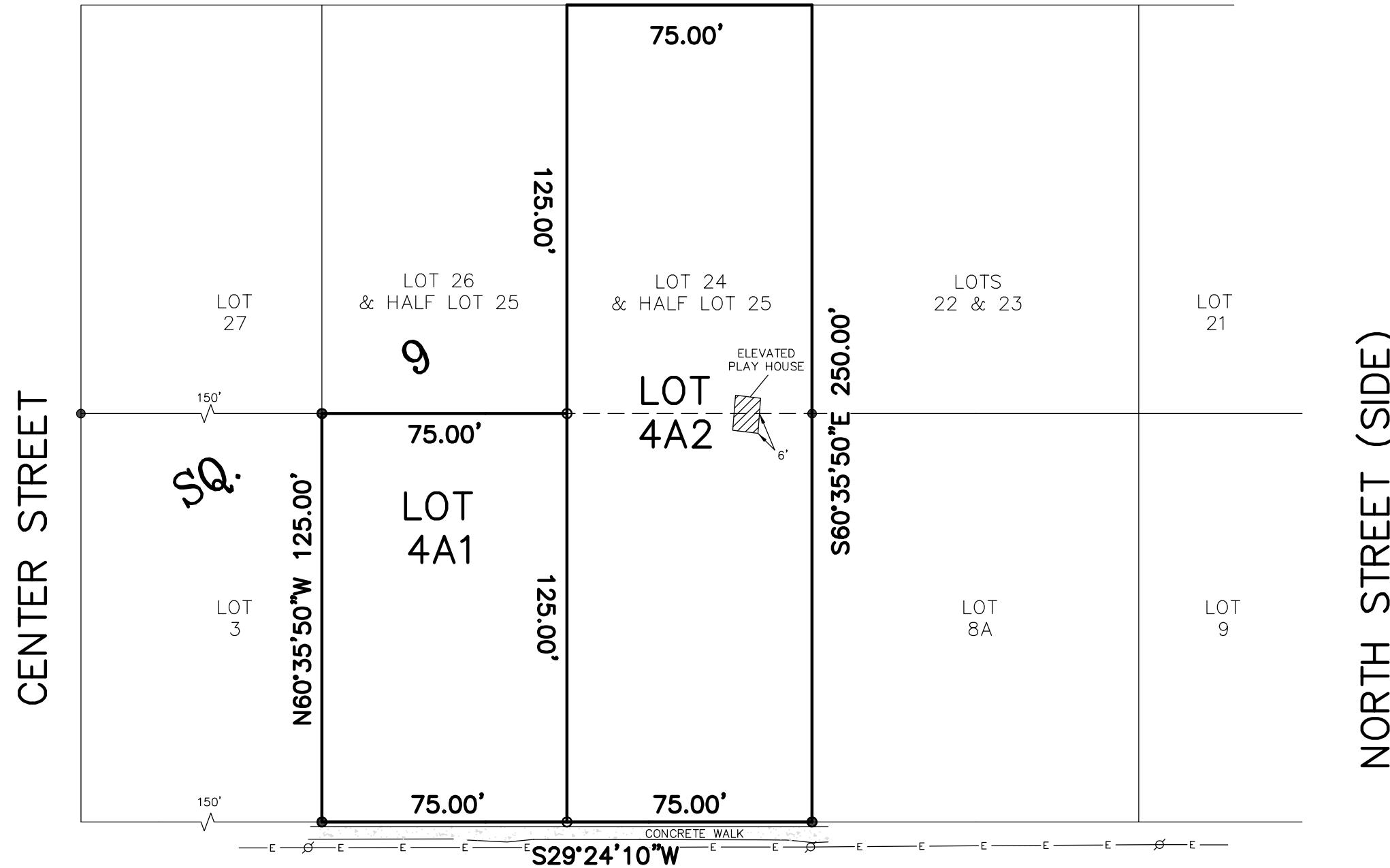
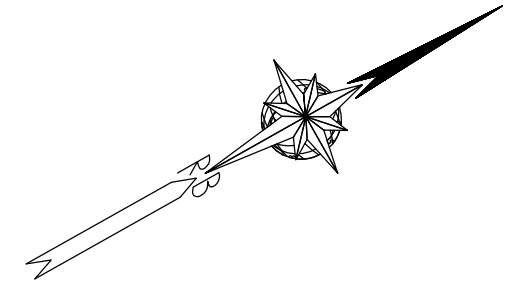
DATE FILED _____ FILE NO. _____



NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, SUBSURFACE UTILITIES, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.
 SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

PRELIMINARY FOR REVIEW ONLY	Randall W. Brown & Associates, Inc. Professional Land Surveyors	Date: MARCH 17, 2026 Survey No. 26137 Project No. C25103
	228 W. Causeway Approach, Mandeville, LA 70448 (985) 624-5368 FAX (985) 624-5309 info@brownsurveys.com	Scale: 1" = 40' ± Drawn By: RJB Revised:

WEST BEACH PARKWAY (SIDE)



LOT AREAS:
 LOT 4A1 = 9,375 SQ. FEET
 LOT 4A2 = 18,750 SQ. FEET

NORTH STREET (SIDE)

CENTER STREET

EAST STREET

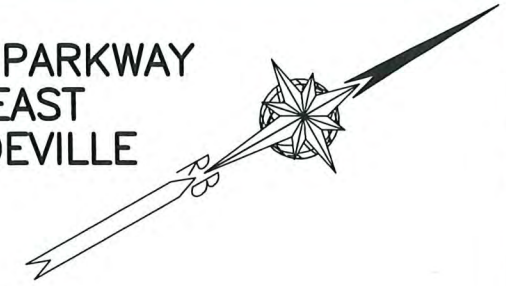


Option B

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, SUBSURFACE UTILITIES, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT. SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

<p>PRELIMINARY FOR REVIEW ONLY</p>	<p>Randall W. Brown & Associates, Inc. Professional Land Surveyors</p>	<p>Date: JUNE 5, 2026 Survey No. 26137 Project No. C25103</p>
	<p>Randall W. Brown, P.L.S. Professional Land Surveyor LA Registration No. 04586</p>	<p>228 W. Causeway Approach, Mandeville, LA 70448 (985) 624-5368 FAX (985) 624-5309 info@brownsurveys.com</p>

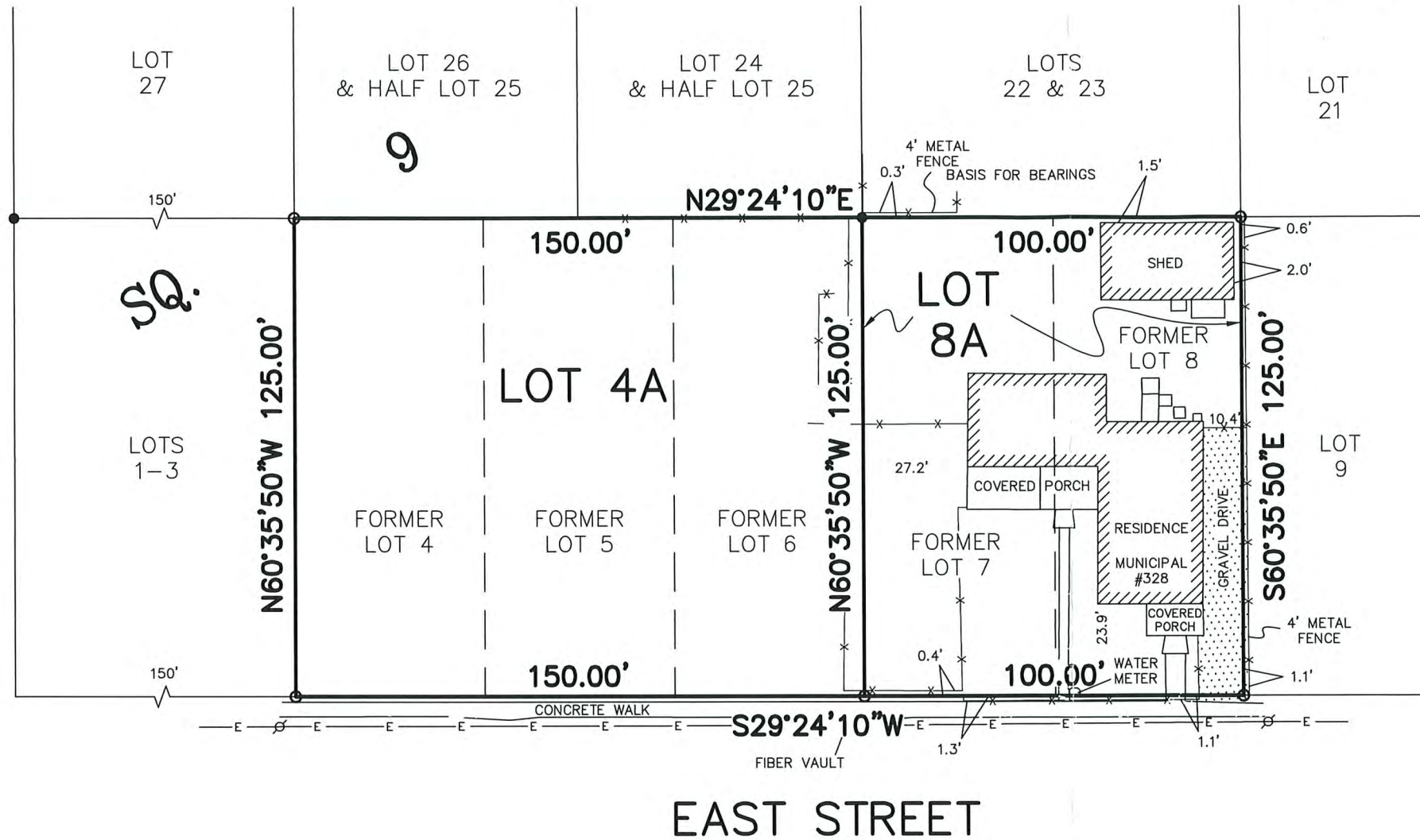
RESUBDIVISION OF
 LOTS 4, 5, 6, 7 & 8 * SQ. 9 * WEST BEACH PARKWAY
 SEC. 47, TOWNSHIP 8 SOUTH, RANGE 11 EAST
 GREENSBURG LAND DISTRICT * CITY OF MANDEVILLE
 ST. TAMMANY PARISH, LOUISIANA
 INTO
 LOT 4A & LOT 8A



WEST BEACH PARKWAY (SIDE)

CENTER STREET

NORTH STREET (SIDE)



LOT 4A:
 COMMENCING FROM THE SOUTHERNMOST CORNER OF LOT 1,
 SQUARE 9, WEST BEACH PARKWAY SUBDIVISION AND GO NORTH
 29 DEGREES 24 MINUTES 10 SECONDS EAST A DISTANCE OF
 150.00 FEET TO THE POINT OF BEGINNING.
 FROM THE POINT OF BEGINNING GO NORTH 60 DEGREES 35
 MINUTES 50 SECONDS WEST A DISTANCE OF 125.00 FEET;
 THENCE GO NORTH 29 DEGREES 24 MINUTES 10 SECONDS EAST
 A DISTANCE OF 150.00 FEET; GO SOUTH 60 DEGREES 35
 MINUTES 50 SECONDS EAST A DISTANCE OF 125.00 FEET;
 THENCE GO SOUTH 29 DEGREES 24 MINUTES 10 SECONDS WEST
 A DISTANCE OF 150.00 FEET BACK TO THE POINT OF
 BEGINNING.

LOT 8A:
 COMMENCING FROM THE SOUTHERNMOST CORNER OF LOT 1,
 SQUARE 9, WEST BEACH PARKWAY SUBDIVISION AND GO NORTH
 29 DEGREES 24 MINUTES 10 SECONDS EAST A DISTANCE OF
 300.00 FEET TO THE POINT OF BEGINNING.
 FROM THE POINT OF BEGINNING GO NORTH 60 DEGREES 35
 MINUTES 50 SECONDS WEST A DISTANCE OF 125.00 FEET;
 THENCE GO NORTH 29 DEGREES 24 MINUTES 10 SECONDS EAST
 A DISTANCE OF 100.00 FEET; GO SOUTH 60 DEGREES 35
 MINUTES 50 SECONDS EAST A DISTANCE OF 125.00 FEET;
 THENCE GO SOUTH 29 DEGREES 24 MINUTES 10 SECONDS WEST
 A DISTANCE OF 100.00 FEET BACK TO THE POINT OF BEGINNING.

LOT AREAS:
 LOT 4A = 18,750 SQ. FEET
 LOT 8A = 12,500 SQ. FEET

NOTE:
 BEARINGS SHOWN HEREON ARE
 REFERENCED TO LOUISIANA
 STATE PLANE COORDINATES.
 LA SOUTH ZONE 1702.

NOTE:
 OWNER OR BUILDER RESPONSIBLE
 FOR OBTAINING SETBACKS BEFORE
 DESIGN OR CONSTRUCTION BEGINS.

REFERENCE:
 WEST BEACH PARKWAY SUBD. PLAT
 Map File No.: EM766
 Date Filed: 7-23-1925

Note: I have consulted the Federal Insurance Administration
 Flood Hazard Boundary Maps and found the property
 described IS located in a special flood hazard area,
 it is located in Flood Zone AE.

FIRM Panel# 2202020427D Rev. 01-13-2017

- DENOTES 1/2" IRON PIPE TO BE SET UNLESS OTHERWISE NOTED
- DENOTES 1/2" IRON ROD FOUND UNLESS OTHERWISE NOTED



APPROVED:

 MAYOR OF THE CITY OF MANDEVILLE

CHAIRMAN OF PLANNING COMMISSION

CITY ENGINEER OR PUBLIC WORKS DIRECTOR

PLANNING DIRECTOR

CLERK OF COURT
 Monique T Bringol, Deputy Clerk
 06-25-2025 6404D
 DATE FILED FILE NO.

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, SUBSURFACE UTILITIES, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

Randall W. Brown & Associates, Inc.
 Registered Professional Land Surveyors
 228 W. Causeway Approach, Mandeville, LA 70448
 (985) 624-5368 FAX (985) 624-5309
 info@brownsurveys.com

Date: MARCH 13, 2025
 Survey No. 25103
 Project No. C25103

Scale: 1" = 40' ±
 Drawn By: J.E.D.
 Revised:

CASE SUMMARY SHEET**CASE NUMBER: CU26-06-01****DATE RECEIVED: May 20, 2026****DATE OF MEETING: June 9, 2026 and June 23, 2026****Address: 526-528 Girod****Subdivision: Old Town of Mandeville, Square 19 Lot 7A****Zoning District: B-3 - Old Mandeville Business District****Property Owner: Chef C's Properties, LLC**

REQUEST: CU26-06-01 – Chef C's Properties, LLC represented by Colin Smith requests Conditional Use Approval to allow Lodging (Transient)— Short-term Rental Whole House per the Table of Permitted Uses, CLURO Section 7.8 Old Town of Mandeville, Square 19 Lot 7A, B-3 - Old Mandeville Business District, 526-528 Girod

CASE SUMMARY: Operate a Whole House Short Term Rental

The applicant owns the property at 526 Girod located on the west side of Girod St., north of Monroe St., and south of Livingston St. The property measures 50' x 150' and contains 7,500 sqft per a survey prepared by Dading, Marques & Associates and dated 4.19.2021. The property is currently improved with a duplex.

In March 2025 the City Council adopted Ordinance 25-02 which amended the CLURO to increase the allowed number of Whole House Rentals by 10 to a new maximum of 20. The applicant is requesting to operate a Whole House Short-term Rental out 526 Girod. 528 Girod is currently in use as a retail food market and sandwich shop. 526 Girod contains one bedroom and one bathroom. The application lists the maximum number of guests will be two. There have been six Whole House Rentals approved since the increase was passed.

Parking:

Lodging (Transient) — Short-term Rental: Whole House Rental requires one parking space per guest room but no less than two spaces for resident occupants. The application states that there will be one bedroom rented out requiring two parking spaces on site. A survey of the property, along with photos provided by the applicant show that there are three parking spaces in front of 526 Girod.

Food Sales requires one parking space per 200 sqft of gross floor area. A site plan was not submitted for 528 Girod, but there was a floor plan submitted for 526 Girod. Using those measurements, 528 Girod is 585 sqft and requires three parking spaces.

CLURO SECTIONS:**4.3.3.8. Review and Evaluation Criteria**

The Planning Director, the Planning Commission and the City Council shall review and evaluate and make the following findings before granting a Conditional Use Permit or Planned District zoning using the following criteria:

1. Comparison with applicable regulations and standards established by the Comprehensive Land Use Regulations applicable to the proposed use and site.
2. Compatibility with existing or permitted uses on abutting sites, in terms of building height, bulk and scale, setbacks and open spaces, landscaping and site development, and access and circulation features.
3. Potentially unfavorable effects or impacts on other existing conforming or permitted uses on abutting sites, to the extent such impacts exceed these which reasonably may result from use of the site by a permitted use.
4. Modifications to the site plan which would result in increased compatibility, or would mitigate potentially unfavorable impacts, or would be necessary to conform to applicable regulations and standards and to protect the public health, safety, morals, and general welfare.
5. Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use and other uses reasonable and anticipated in the area considering existing zoning and land uses in the area.
6. Protection of persons and property from erosion, flood or water damage, fire, noise, glare, and similar hazards or impacts.
7. Location, lighting, and type of signs; and relation of signs to traffic control and adverse effect on adjacent properties.
8. Adequacy and convenience of off-street parking and loading facilities and protection of adjacent property from glare of site lighting.
9. Conformity with the objectives of these regulations and the purposes of the zone in which the site is located.
10. Compatibility of the proposed use and site development, together with any modifications applicable thereto, with existing or permitted uses in the vicinity.
11. That any conditions applicable to approval are the minimum necessary to minimize potentially unfavorable impacts on nearby uses and to ensure compatibility of the proposed use with existing or permitted uses in the same district and the surrounding area.
12. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or community aesthetics, or materially injurious to properties or improvements in the vicinity.

6.4.42.3 Lodging (Transient)— Short-term Rental: Whole House Rental

A dwelling where short-term lodging is provided to one party of guest for compensation by the owner of the residence where the owner's presence on the premises is not required during the guest's stay.



~~East~~

WEST

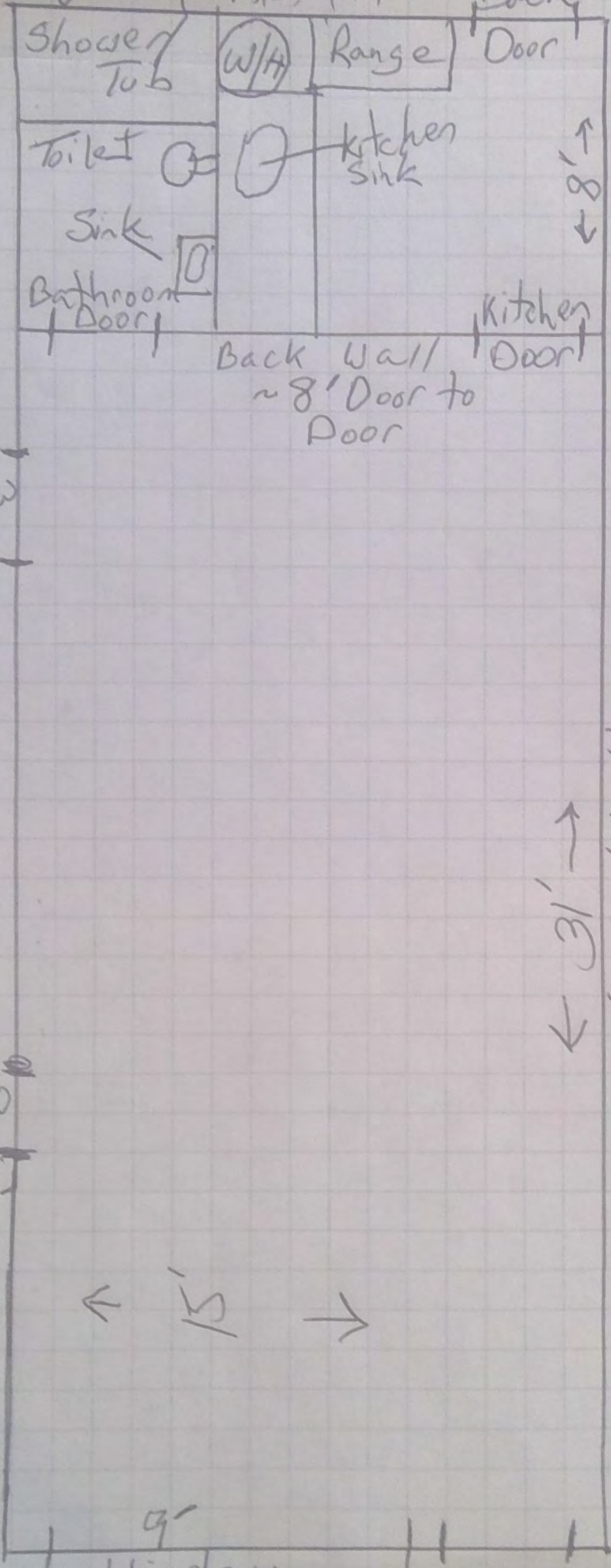
~~North~~

Back

~~West~~
North

W/H - Water Heater

South



34" Window

34" Window

15'

31' Interior Wall

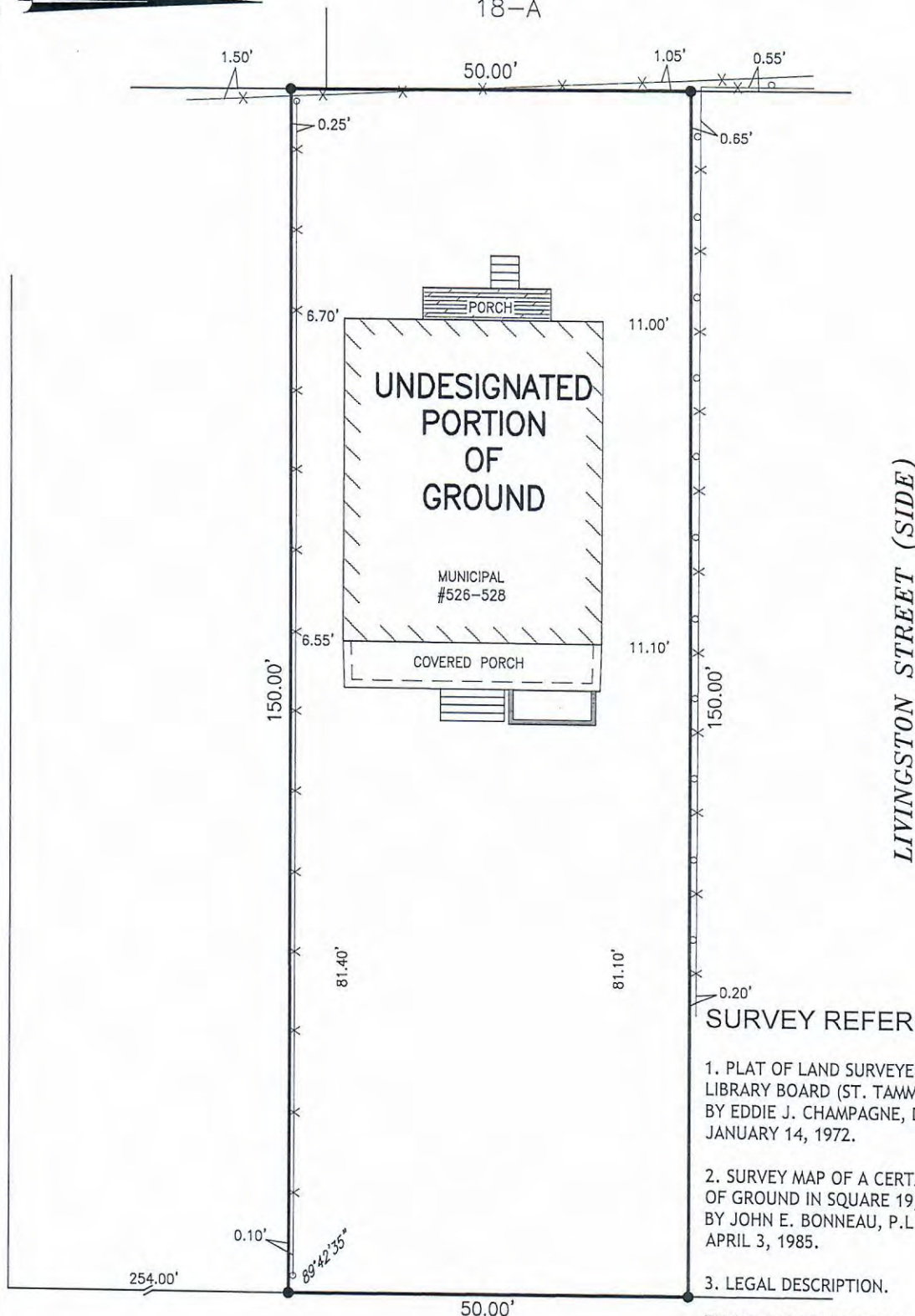
9" Window

EAST

Front Door

LAFITTE STREET (SIDE)

18-A



MONROE STREET

LIVINGSTON STREET (SIDE)

GIROD STREET
(AKA GERARD STREET)
(AKA LA HIGHWAY 59)

SURVEY REFERENCE

1. PLAT OF LAND SURVEYED FOR LIBRARY BOARD (ST. TAMMANY PARISH) BY EDDIE J. CHAMPAGNE, DATED JANUARY 14, 1972.
2. SURVEY MAP OF A CERTAIN PARCEL OF GROUND IN SQUARE 19, MANDEVILLE BY JOHN E. BONNEAU, P.L.S. DATED APRIL 3, 1985.
3. LEGAL DESCRIPTION.

BEARING BASIS

TAKEN FROM REFERENCED SURVEY PLAT NO. 1.

GENERAL SURVEY NOTES

IMPROVEMENTS MAY NOT BE TO SCALE FOR CLARITY. THE DIMENSIONS SHOWN PREVAIL OVER SCALE.

LEGEND

- = 1/2" IRON ROD SET
- = 1/2" IRON ROD FOUND
- x— = FENCE

SURVEY OF
AN UNDESIGNATED PORTION OF GROUND
SQUARE 19
TOWN OF MANDEVILLE
ST. TAMMANY PARISH, LOUISIANA

I CERTIFY THAT THIS SURVEY AND PLAT WAS PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION, MADE AT THE REQUEST OF:

LZJZ PROPERTIES, LLC

DADING, MARQUES & ASSOCIATES, LLC
PROFESSIONAL LAND SURVEYING

P.O. BOX 790
METAIRIE, LA. 70004
(504) 834-0200

STATE OF LOUISIANA

CODY A. DIMARCO
License No. 5069
PROFESSIONAL LAND SURVEYOR

Cody A. DiMarco
CODY A. DIMARCO
P.L.S. LA. ST. REG NO. 5069

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PLAT IS CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE DIRECTION OF THE UNDERSIGNED AND COMPLIES WITH THE REQUIREMENTS OF LOUISIANA'S "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" FOR A CLASS "C" SURVEY

DATE:	SCALE:		DRAWN BY:	CHECKED BY:	JOB NO.:	
04-19-2021	1" = 20'		L.M.	C.A.D.	60355	

CASE SUMMARY SHEET**CASE NUMBER: V26-06-16****DATE RECEIVED: April 20, 2026****DATE OF MEETING: June 9, 2026 and June 23, 2026****Address: 623 Lafitte****Subdivision: Old Town of Mandeville, Square 47 Lot 19****Zoning District: B-3 - Old Mandeville Business District****Property Owner: Top Pick Investments, LLC**

REQUEST: V26-06-16 – Top Pick Investments, LLC represented by Justin Sullivan requests a variance to CLURO Section 9.2.5.7. Key Native Tree Species Protection Requirements, Old Town of Mandeville, Square 47 Lot 19, B-3 - Old Mandeville Business District, 623 Lafitte

CASE SUMMARY: Remove a 9" dbh magnolia tree

The property at 623 Lafitte is located on the east side of Lafitte St., north of Livingston St., and south of Woodrow St. The property measures 63' x 149' and contains 9,387 sqft per a survey prepared by John Cummings & Associates and dated 6.28.2022. The property is currently under construction for a new mixed-use building.

The applicant is requesting to remove a 9" dbh magnolia located at the front of the building, and within the proposed front walkway area. The tree is located within the buildable area of the property and would typically be allowed to be removed by right once construction began, however with the passing of ordinance 25-11 the Southern Magnolia was added to the protected tree list. Regulations require one tree to be replanted for the removal.

CLURO SECTIONS:**9.2.5.7. Key Native Tree Species Protection Requirements**

The following tree protection requirements shall be in place:

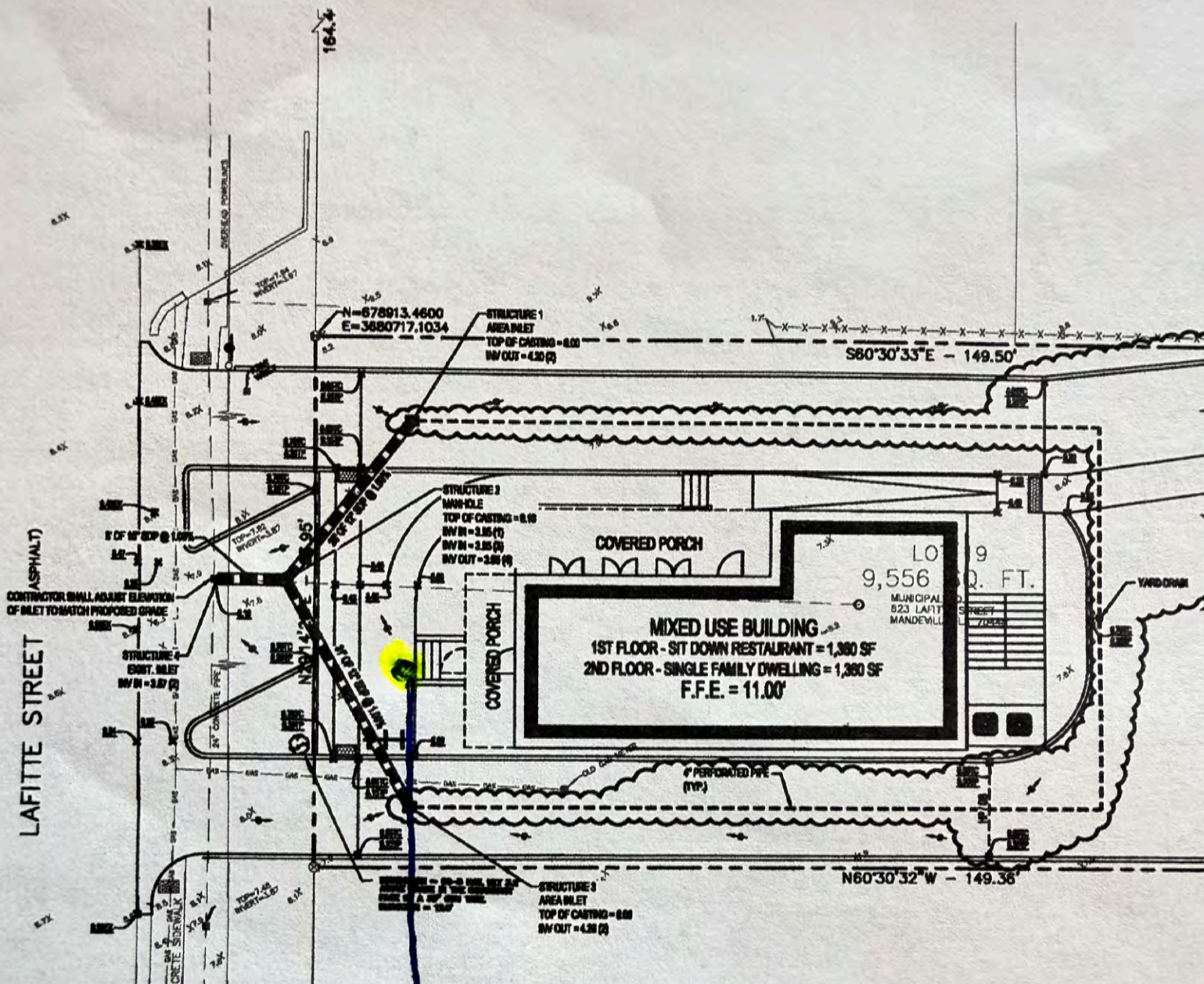
1. Definition of Protected Tree:

- a. Protected Live Oak: shall include any Live Oak with a diameter at breast height (dbh) of Six (6) inches or more;
- b. Protected Bald Cypress: shall include any Bald Cypress with a diameter at breast height (dbh) of Six (6) inches or more; and
- c. Protected Southern Magnolia: shall include any Southern Magnolia with a diameter at breast height (dbh) of six (6) inches or more.

3. Bald Cypress and Southern Magnolia Tree Protection Requirements

- a. A tree removal permit shall be obtained from the Landscape Inspector prior to cutting, clearing or removing any Bald Cypress or Southern Magnolia tree six (6) inches dbh or greater. Unpermitted removal of a qualifying Bald Cypress or Southern Magnolia tree shall subject the property owner, the responsible contractor, or both, to the violation provisions of Section 9.2.5.16.
- b. Upon submission of a tree removal permit, administrative removal shall only be permitted if the Landscape Inspector determines that the tree is dead, terminally diseased, or poses an imminent hazard to public safety or property that cannot be mitigated by other less impactful means. Additionally, Planning and Zoning approval shall be required where site-specific conditions require a tree to be within the proposed building footprint, without alternative building placement, making its preservation unfeasible.
- c. During any construction, development, or land-disturbing activity, all Protected Bald Cypress and Southern Magnolia trees shall be safeguarded pursuant to the Vegetation Protection Zone Barrier requirements of Section 9.2.5.3.
- d. It shall be unlawful for any person to engage in any activity that may damage a Bald Cypress or Southern Magnolia tree, including but not limited to root disturbance, soil compaction, significant grade changes within the drip line, or the attachment of signs, wires, or other objects that may compromise the tree's health or structural integrity.
- e. If a Protected Bald Cypress or Southern Magnolia tree is removed, or dies due to activities on the property, the property owner shall replace it with one (1) tree per 6 inches dbh of the same species removed or lost. Replacement trees shall be of a minimum size as established by the Landscape Inspector and planted in a location approved by the City.
- f. These regulations shall apply in all zoning districts.

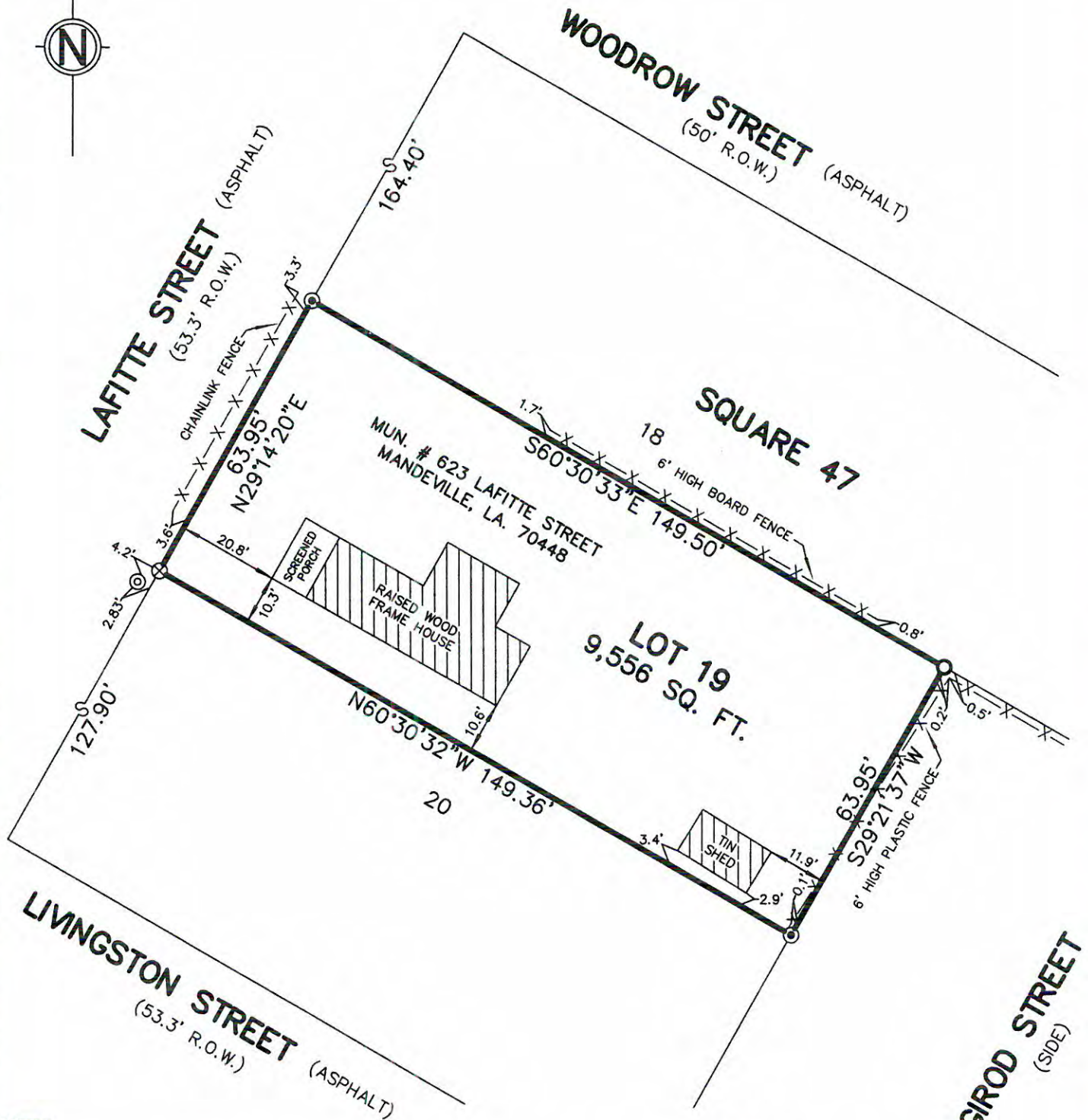




Magnolia



REFERENCE BEARING:
 Louisiana State Plane Coordinate
 System (South Zone) base on
 R.T.N. Observations utilizing
 Topcon Topnet-Geoid 18,
 LA S 1702, NAD 88 (2011).



NOTES:

1. This property is located in Flood Zone AE, per F.E.M.A. Map No. 2202020427D, dated May 16, 2012.
2. Building Setback Lines must be determined by the City of Mandeville Planning Department.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

LEGEND

- = 3/4" IRON PIPE FOUND
- ⊙ = 1/2" IRON ROD FOUND
- ⊗ = 1/2" IRON PIPE FOUND
- ⊚ = 1/2" IRON ROD SET
- X- = FENCE

REFERENCE SURVEY:

Survey for E.E.W. Steierwald by Joseph Pugh, Surveyor, dated July 15, 1943.

(985) 892-1549

John G. Cummings and Associates
 PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

COVINGTON, LA 70433

PLAT PREPARED FOR: **PETE DESALVO**

SHOWING A SURVEY OF: **LOT 19, SQUARE 47, CITY OF MANDEVILLE,
 ST. TAMMANY PARISH, LOUISIANA.**

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

John G. Cummings
 PROFESSIONAL LAND SURVEYOR



SCALE: 1" = 30'

JOB NO. 22133

DATE: 06/28/2022

REVISED:

CASE SUMMARY SHEET**CASE NUMBER: V26-06-17****DATE RECEIVED: April 30, 2026****DATE OF MEETING: June 9, 2026 and June 23, 2026****Address: 724 Carroll****Subdivision: Old Town of Mandeville, Square 43 Lot C****Zoning District: O/R - Office/Residential District****Property Owner: Robert and Karen Bordes**

REQUEST: V26-06-17 – Robert and Karen Bordes request a variance to CLURO Section 8.1.5. Supplemental Regulation of Accessory Buildings and Structures and Section 5.2.3.3. Fill Sub-Area B, Old Town of Mandeville, Square 43B Lot C, O/R - Office/Residential District, 724 Carroll

CASE SUMMARY: Construct a larger than allowed accessory structure, and bring in additional fill

The applicants own the property at 724 Carroll St. located on the west side of Carroll St., north of Villere St., south of Relacher St., and east of Coffee St. The property is irregular in shape, measuring 110' along Carroll St., 356' along the north property line, 74' along the rear property line, and 292' along the southern property line, containing 39,856 sqft per a drainage plan prepared by Kelly McHugh & Associates and dated 9.18.2025 and revised on 10.08.2025. The property is currently unimproved.

The applicant has submitted a permit for new residential construction of a single-family residence and a permit for construction of an accessory structure barn. The current placement of the accessory structure requires variances for the size of the structure and amount of fill required.

Accessory Structure Variance:

Regulations limit the height of accessory structures to no more than 14', and the combined gross area of all accessory structures located in the side or rear yard to not exceed 30% of the rear yard area. The rear yard is 1,137 sqft, requiring the accessory structure to be no more than 341 sqft in size. The barn is located in the rear of the property and is proposed to be 1,656 sqft and 26'-5 1/2" tall.

To be allowed by right at the current proposed height and size the accessory structure would have to be located fully within the buildable area. This would be 15' from the rear and 18' from both side property lines. Currently the accessory structure is located 12' from the north side property line. It is compliant with the rear and south side distance.

Fill Variance:

The accessory structure is located within an AE 9 flood zone. Flood regulations require that accessory structures located within a flood zone cannot exceed 600 sqft. The structure would need to be elevated to BFE + 2' or 11' to be larger than 600 sqft. If the structure was fully located within an X zone there would be no size restriction. Public Works reviewed the request and had the following comments:

"We do not have a drainage plan produced for this building, but I can use information provided from the documents submitted for the permit on the primary structure. The applicant is proposing elevating the slab for the garage to Elevation 11.0 to comply with FEMA regulations. However, Section 5.2.3.3 Fill Sub-Area B 3 Slabs for Non-Habitable Areas only allow "6" inches (0.5') of height above grade for any other slab". The average existing elevations within the area of the proposed garage is (8.65') . Fill Sub Area B would only allow the top of slab to be elevated to (9.15'). The variance request is to elevate the slab to elevation (11.0) a difference of (1.85') . Additionally, 5.2.3.3 Fill Sub-Area B 1.f. allows for elevating the driveway 6" except within 16' of the slab to ramp up onto the bottom slab. An additional variance maybe required for the driveway depending on the desired slope to access to building. According to the drainage plan submitted for the primary structure a 1% slope is shown for the driveway approaching the building. If the owner is looking to achieve the same slope the driveway surfacing near the garage would need to be elevated to (10.7') which would result in fill height for the drive (1.1') above the allowable (0.5')".

CLURO SECTIONS:**8.1.5. Supplemental Regulation of Accessory Buildings and Structures**

For purposes of these regulations accessory buildings include but are not necessarily limited to accessory storage buildings, pool cabanas, detached covered porches or decks, playhouses, private studios or craft buildings, and greenhouses and shall be regulated as follows:

1. Except on corner lots, any accessory building that is not a part of the main building may be built in a required side yard, provided such accessory building is not less than sixty (60) feet from the front lot line nor less than three (3) feet from the nearest interior side lot line and provided not more than one (1) accessory building covers any part of the required side yard.
2. On corner lots, accessory buildings are not permitted in required side yards on the side Street side or within any portion of the rear yard area which lies between the side Street and the prolongation of the required side yard line into the rear yard area.

3. Detached accessory buildings not exceeding one (1) story nor fourteen (14) feet in height may be built in required rear yards; provided, however, such accessory buildings shall not be located less than three (3) feet from either side or rear lot lines.
4. The combined gross area of all accessory buildings or portions thereof located in required side and rear yards shall not exceed thirty percent of the required rear yard area.
5. None of the provisions of this sub-section shall apply to the use, construction or location of antennas, aerials or satellite receiving stations.
6. Accessory recreational structures such as pools and tennis courts shall be subject to the locational requirements of this sub-section.
7. No accessory building or structure shall be constructed within a utility servitude without prior written approval of the affected utilities. Approval may be withheld by any utility upon its determination that the proper size or location of the accessory building or structure would adversely affect the operation, maintenance or function of the servitude. Approval of the construction by a utility shall create no obligation to repair or replace an accessory building or structure damaged or removed by the utility in the course of its lawful use of the servitude.

5.2.3.3. Fill Sub-Area B

The following standards shall apply to all development falling within Fill Sub-Area B, which includes the area between Monroe Street, Galvez Street, Florida Street and Bayou Castain. Where the DO district overlaps with this area, the provisions of the DO district shall apply.

1. Grading and Fill. In Fill Sub-Area B, no fill shall be placed on a lot except as follows:
 - a. Up to two (2) feet of fill is allowed under the roofline or soffit area. If more than two (2) feet of fill is required to comply with finished floor elevation requirements then pier or pile construction shall be used. The provisions of this paragraph shall not apply to principal structures within the Town Center (TC) zoning district.
 - b. Finished floors of attached garages may be no more than one (1) foot above existing grade.
 - c. Fill must taper at a no greater than a 3:1 slope and extend no more than six (6) feet from the improvement
 - d. No fill shall be allowed outside the buildable area.
 - e. No fill shall be allowed around existing trees required to remain or any vegetative protection area.
 - f. Fill for driveways shall not exceed six (6) inches except within sixteen (16) feet of an attached garage entry as needed to provide access.
2. Foundations and Slabs
 - a. The lowest finished floor shall be at least twelve (12) inches above the crown of the street or the current FEMA requirements, whichever is greater within Fill Sub-Area B.
 - b. Where piers are used the tops of footings or beams shall be at or below grade.
 - c. Pier, pile or slab construction is allowed subject to the fill requirements in paragraph 1.
3. Slabs for Non-Habitable Areas. For Fill Sub-Area B, slabs may be established under structures and for non-habitable spaces, provided that the top of the slab is not greater than one (1) foot above natural grade for an attached garage or six (6) inches above natural grade at any point for any other slab.
4. Driveways
 - a. Driveways shall be built at existing grade except that driveways may be elevated no more than six (6) inches if necessary to access a garage or parking areas beneath the building and to help convey water to the City's stormwater conveyance system.
 - b. Driveways shall not be located closer to the side or rear property line than five (5) feet, except as needed to provide access to authorized parking spaces behind the front building line. Such driveways shall channel water to the City's drainage system. Driveways shall not be greater than six (6) inches above grade within ten (10) feet of a side or rear property line.
5. Parking Lots. No portion of the surface of the parking lot, whether aggregate or paved shall be elevated more than six (6) inches above natural grade except as needed for ramps to provide ADA access.

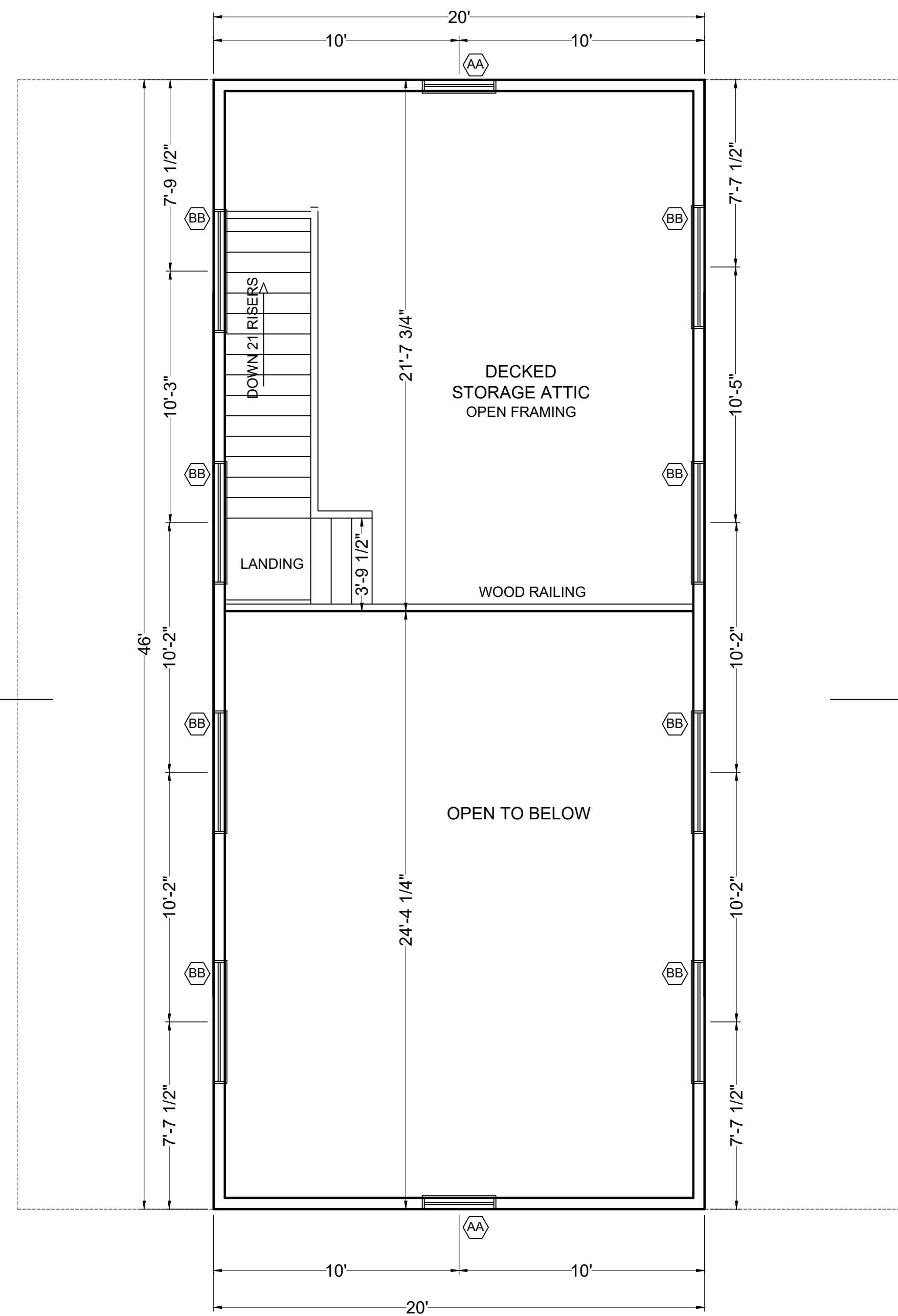


ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ENSURE THESE PLANS ARE CORRECT THE OWNER/CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND DETAILS. DESIGNER IS UNABLE TO PROVIDE ON-SITE SUPERVISION AND HAS NO CONTROL OVER THE CONSTRUCTION OF THE PROJECT. THEREFORE THERE IS NO WARRANTY PROVIDED FOR THE USE OF THESE PLANS.

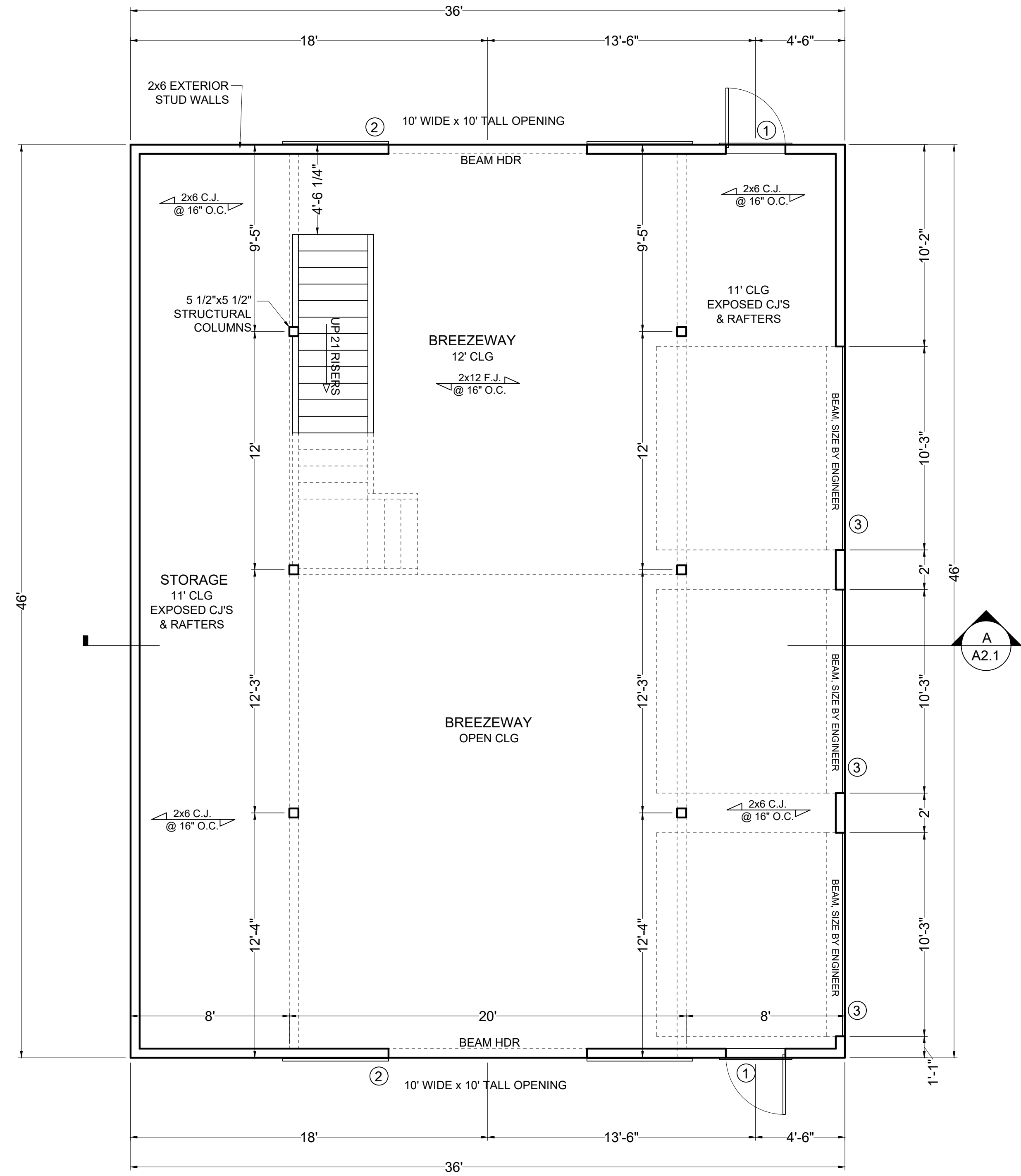
THESE PLANS ARE TO COMPLY WITH THE LSUCCC AMENDED IRC 2021 BUILDING CODE, 2020 NEC, OR ALL LOCAL BUILDING CODES.

STRUCTURE TO BE BUILT AT 130 MPH WIND SPEEDS

BARN PLANS FOR: BORDES
 724 CARROLL STREET
 CITY OF MANDEVILLE, LA



2ND LEVEL BARN PLAN
 SCALE: 1/4" = 1'-0"



BARN PLAN
 SCALE: 1/4" = 1'-0"

SEE STRUCTURAL DRAWINGS BY ENGINEER FOR ALL BEAM SIZING, FRAMING & FOUNDATION PLAN

DOOR & WINDOW SCHEDULE	
1	3080 4 LITE 2 PANEL EXTERIOR DOOR
2	5'-4"x10' PAIR 5'-4"x10' BARN DOORS
3	10'x9'-6" GARAGE PRESSURE RATED DR
GARAGE DOORS TO MEET 130 MPH WIND RATING	
AA	3'-0" x 5'-0" SINGLE HG / 20'-2.25' HDR
BB	5'-0" x 2'-0" FIXED / 16'-8.25' HDR
ALL NEW GLAZING MUST HAVE A SHGC RATING OF .40 OR LOWER AND A U-FACTOR OF .75 OR LOWER TO SATISFY 2021 IECC	

AREA	
BARN	1656

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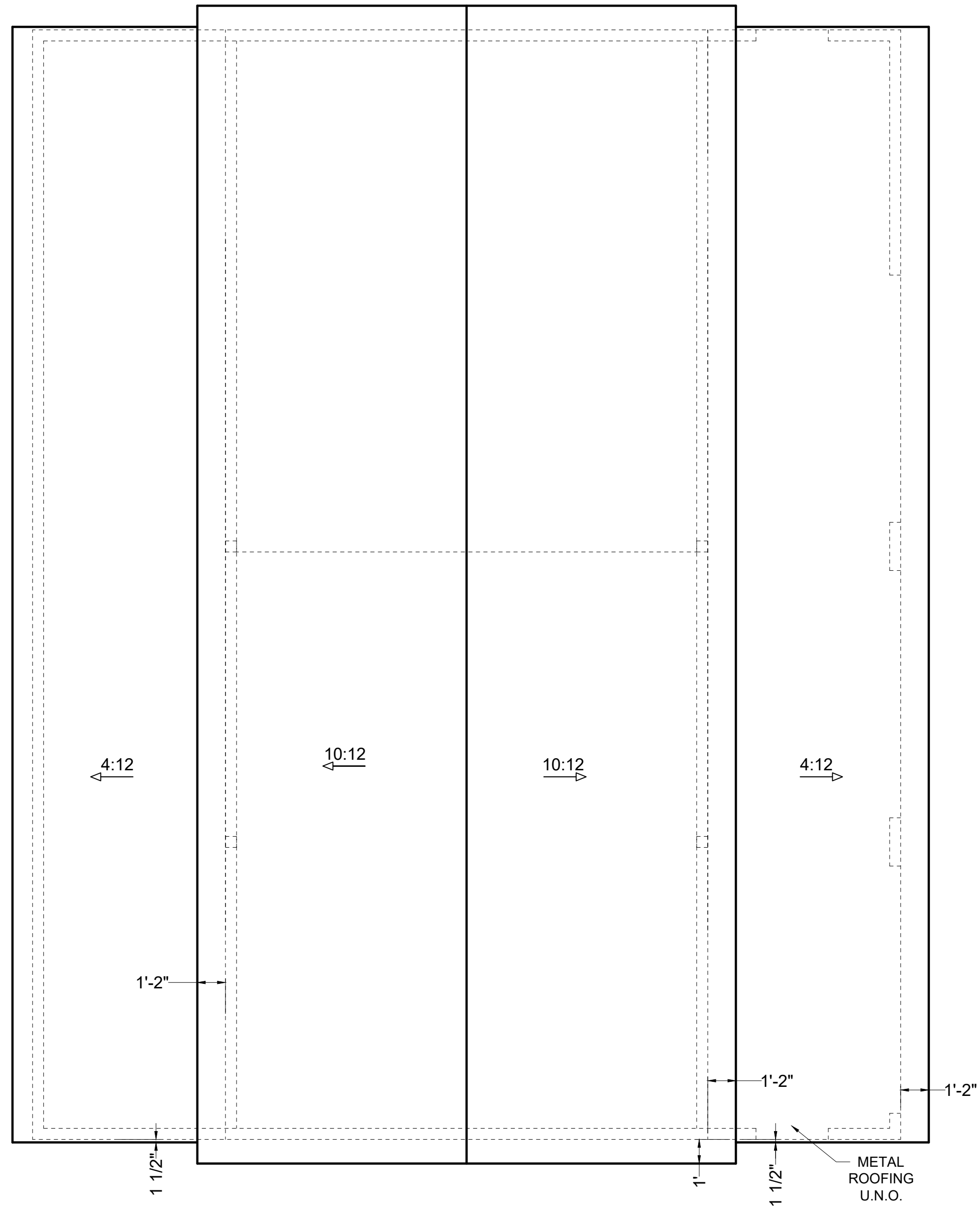
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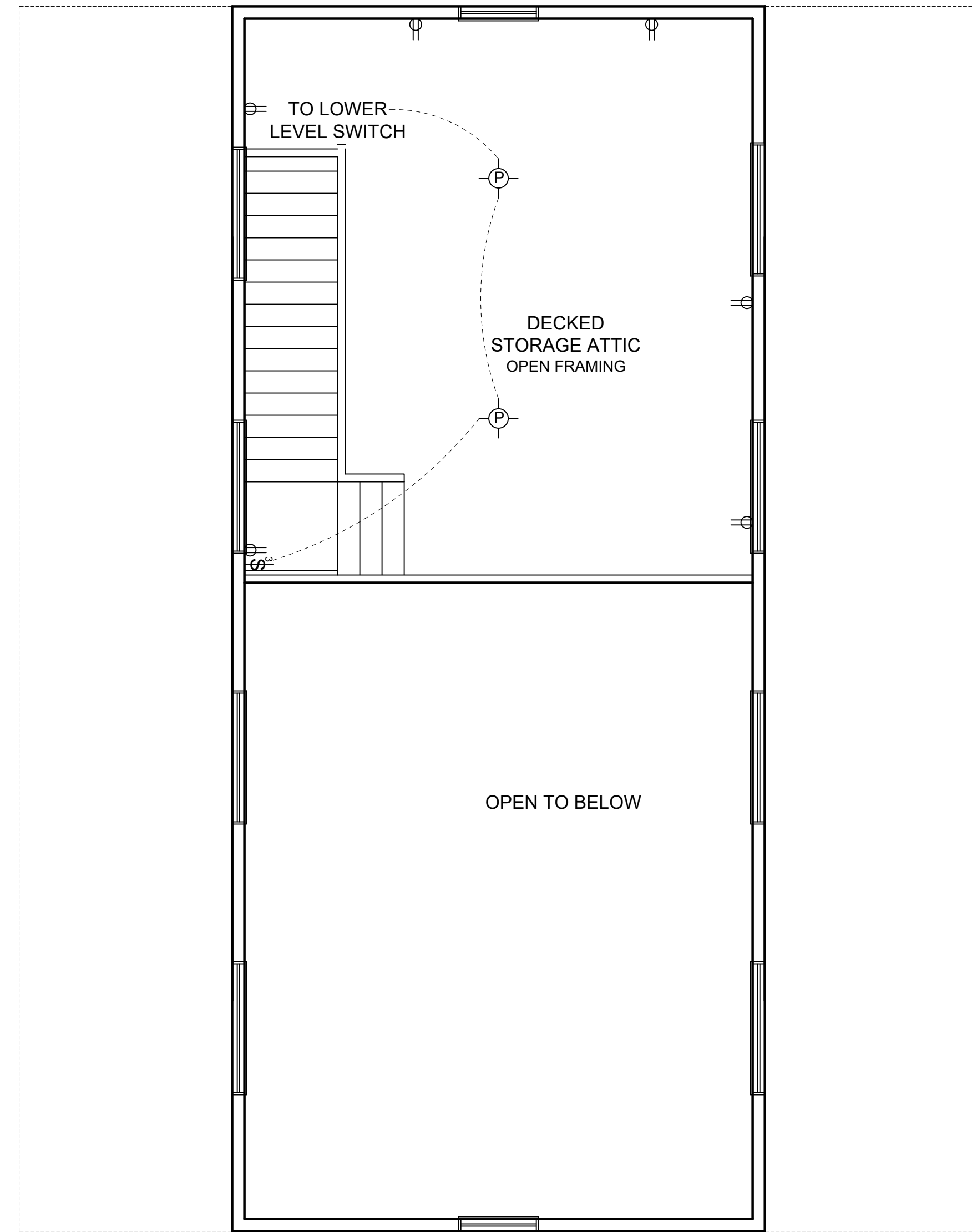
BARN PLANS FOR: BORDES
724 CARROLL STREET
CITY OF MANDEVILLE, LA

MARCH 19, 2026
PAGE 2 OF 3

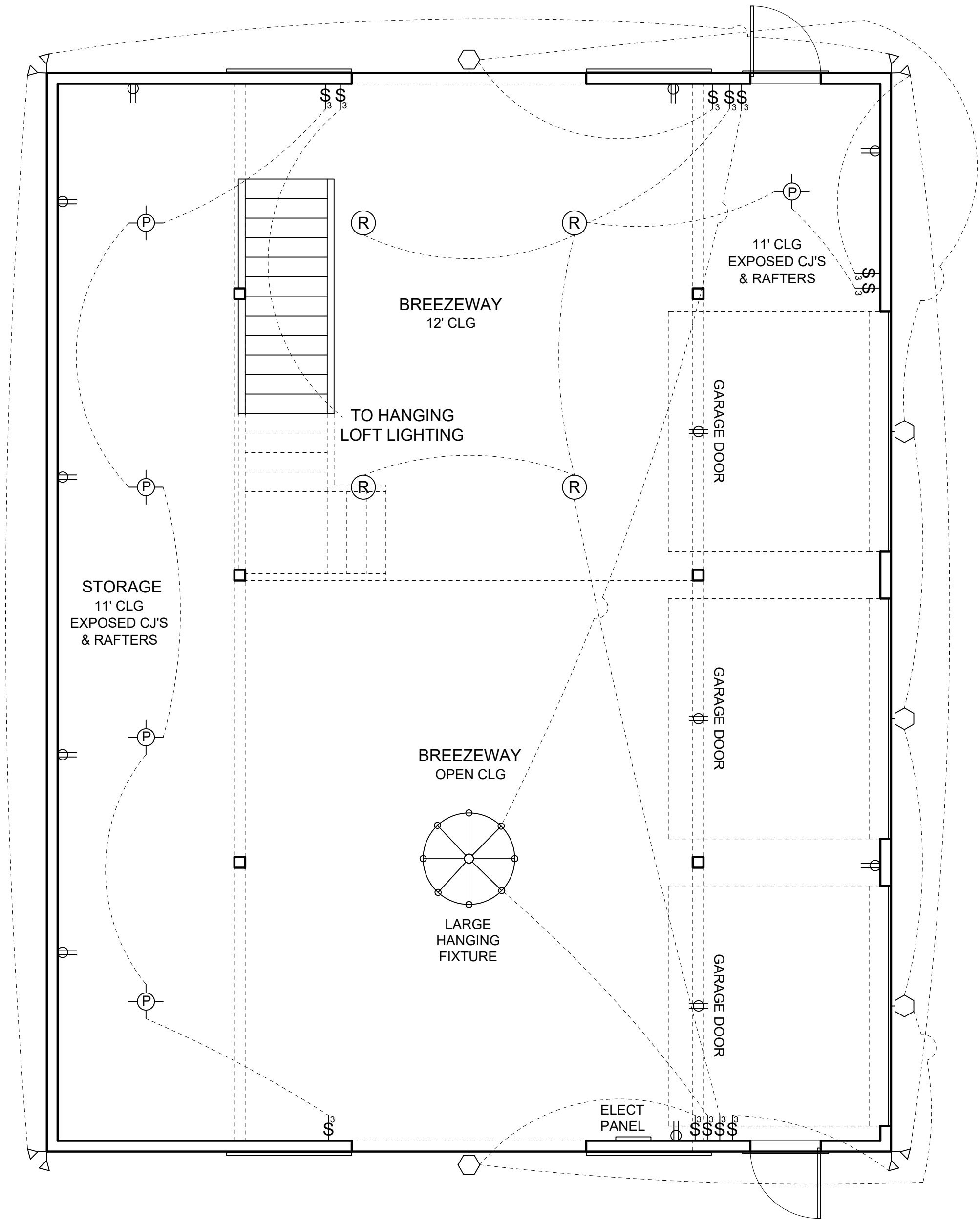
A1.2



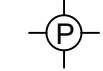
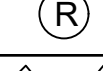
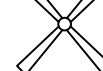
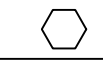

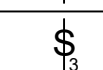
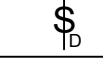

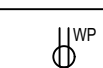
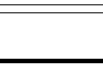

ROOF PLAN
SCALE: 1/4" = 1'-0"



2ND LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

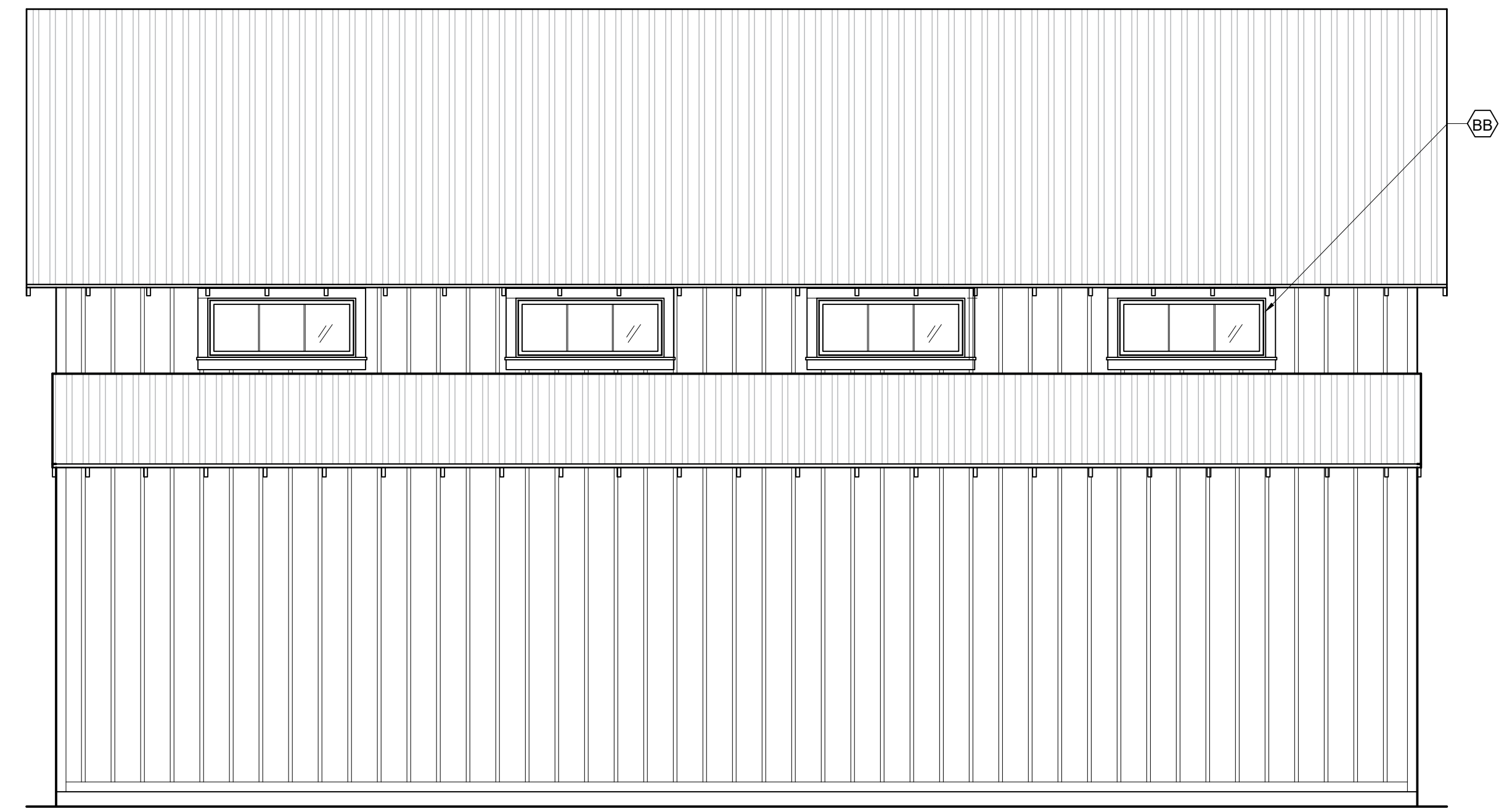


ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

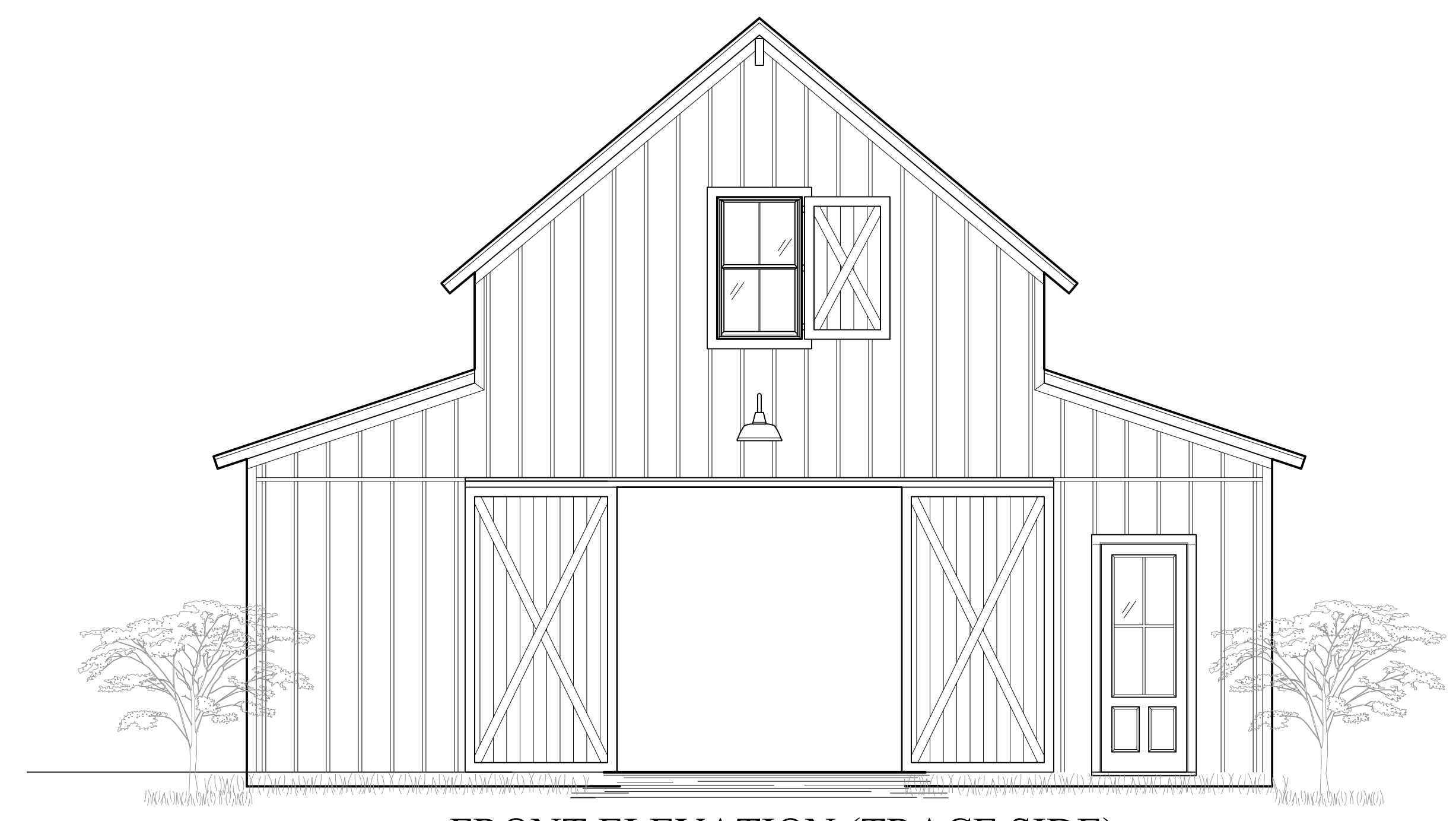
ELECTRICAL LEGEND	
	HANGING FIXTURE
	RECESSED LIGHTING
	CEILING FAN W/ OR W/ OUT LIGHT
	GAS / ELECTRIC LANTERN
	OUTDOOR LIGHTING
	ONE-WAY SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	DUPLEX OUTLET
	DUPLEX OUTLET W/ GFI
	WATER RESISTANT DUPLEX OUTLET W/ GFI



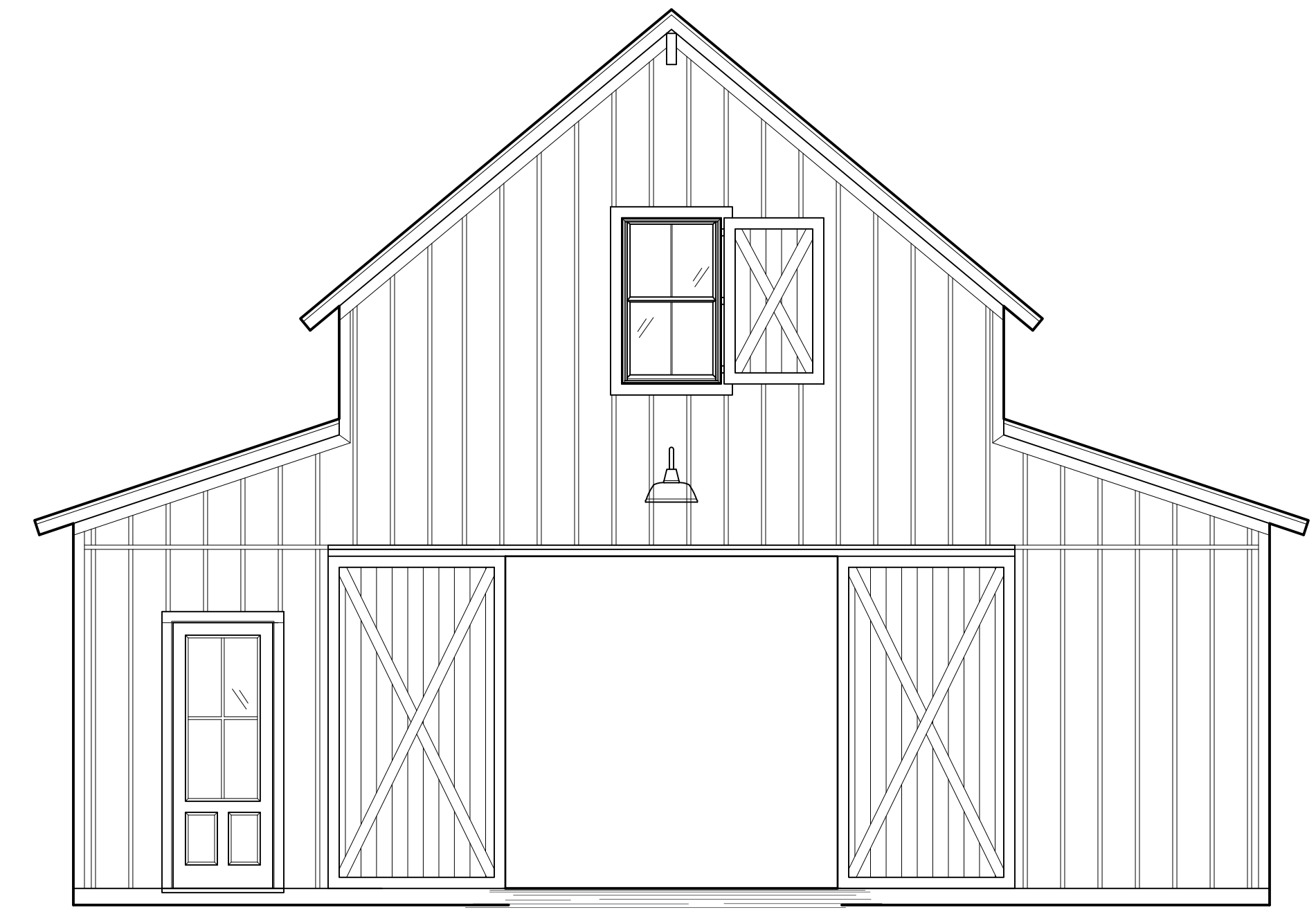
**RIGHT ELEVATION
(HOUSE SIDE)**
SCALE: 1/4" = 1'-0"



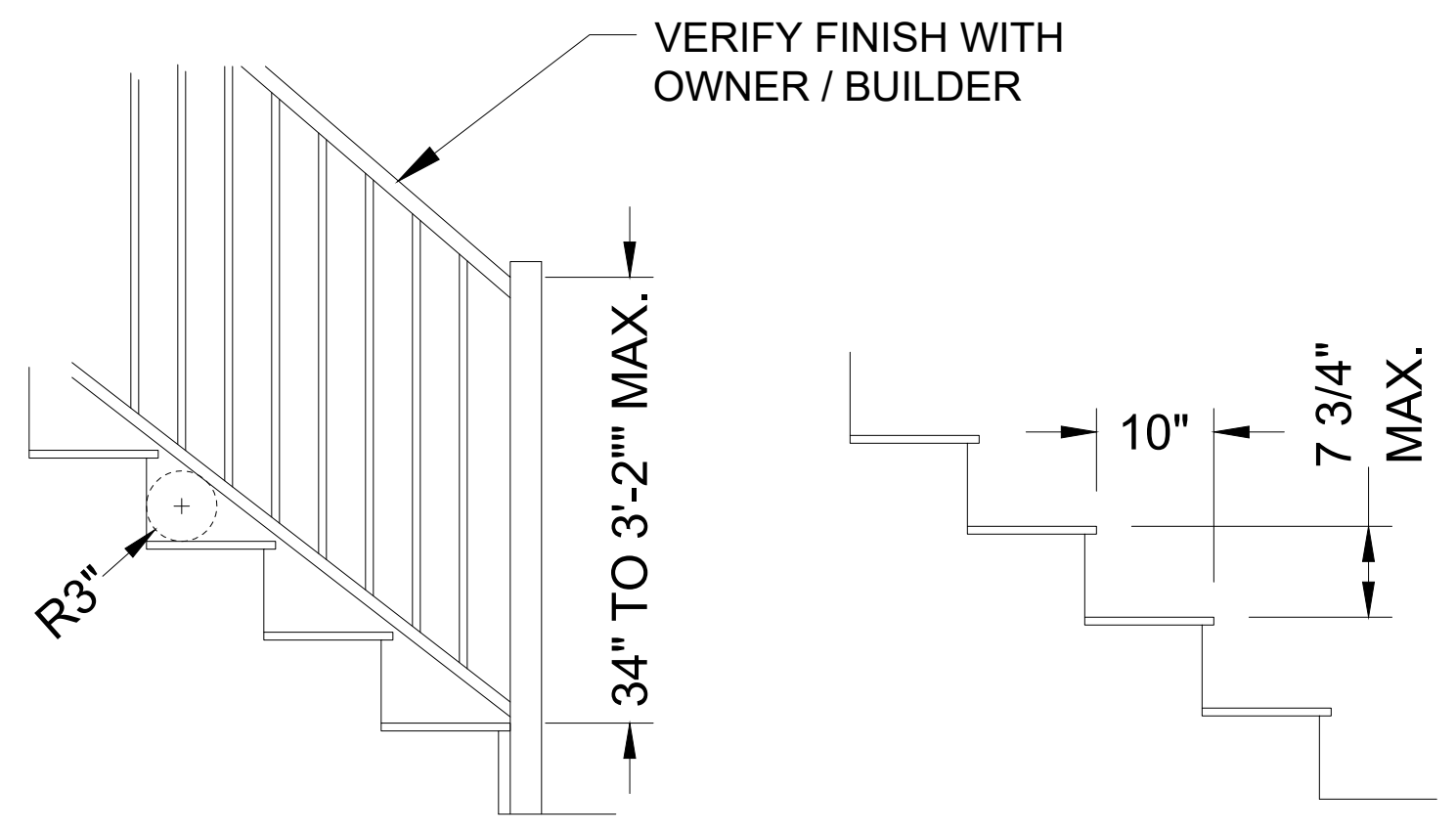
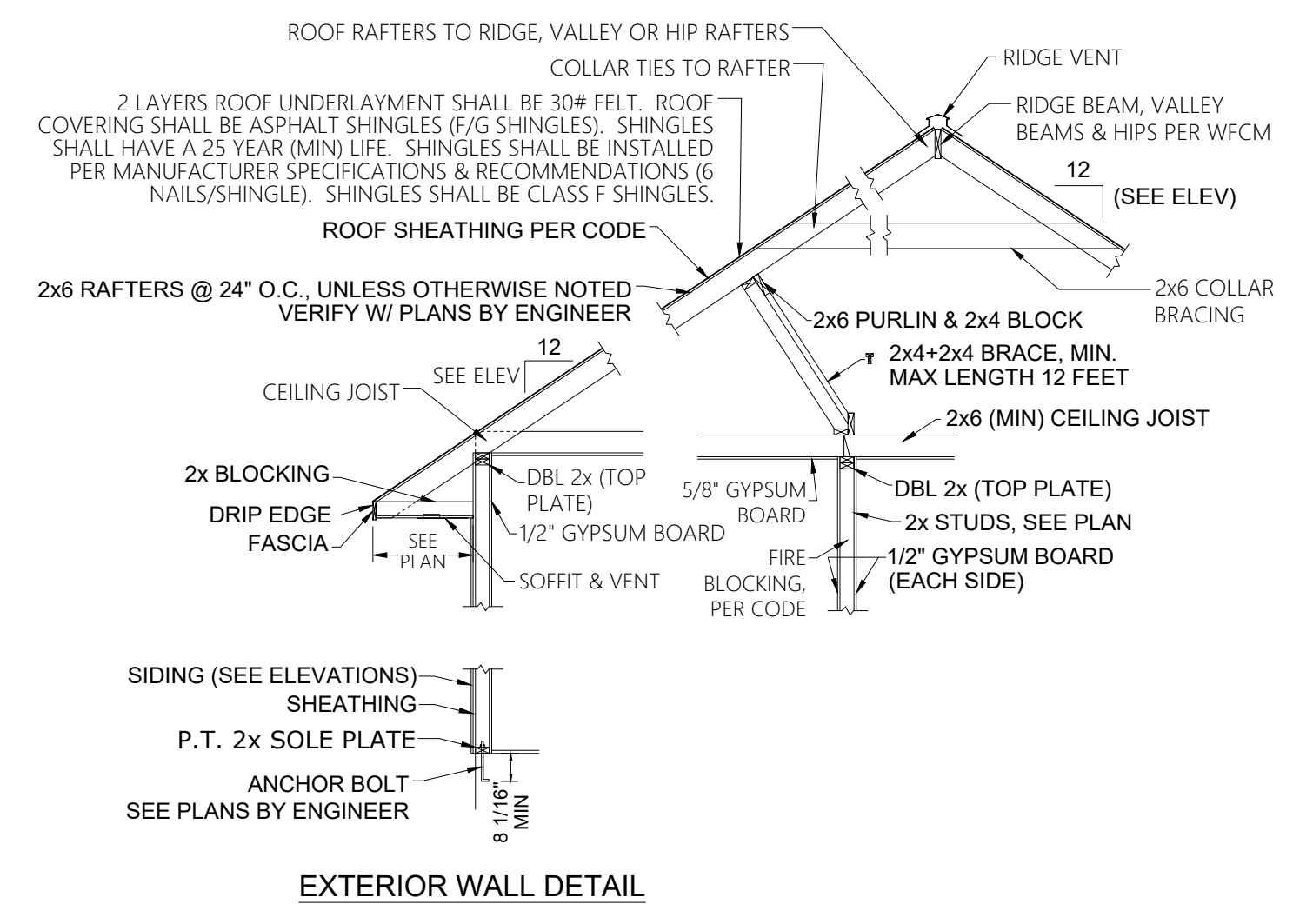
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION (TRACE SIDE)
SCALE: 1/4" = 1'-0"

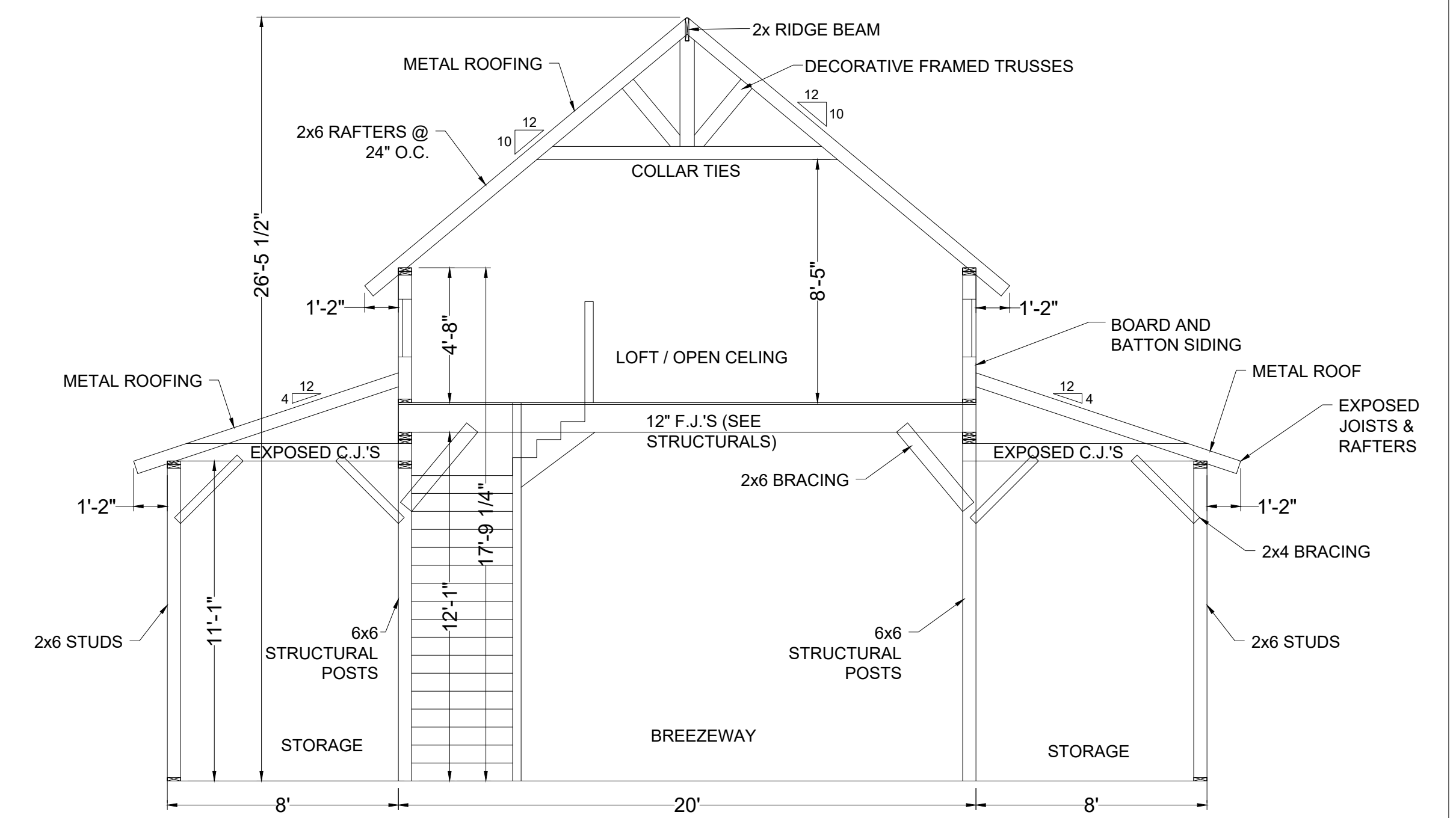


REAR ELEVATION
SCALE: 1/4" = 1'-0"



- HANDRAIL SHALL HAVE A CIRCULAR CROSS-SECTION WITH A DIAMETER OF 1 1/4" INCHES TO 2 INCHES.
- GUARDRAIL SHALL MEET OPENING LIMITATION REQUIREMENTS OF R312.2

STAIR DETAIL
SCALE: 3/4" = 1'-0"



SEE FOUNDATION DRAWINGS BY ENGINEER
SECTION A
SCALE: 1/4" = 1'-0"

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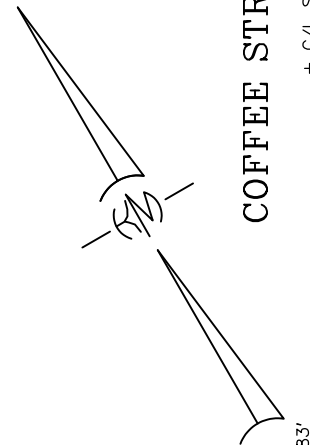
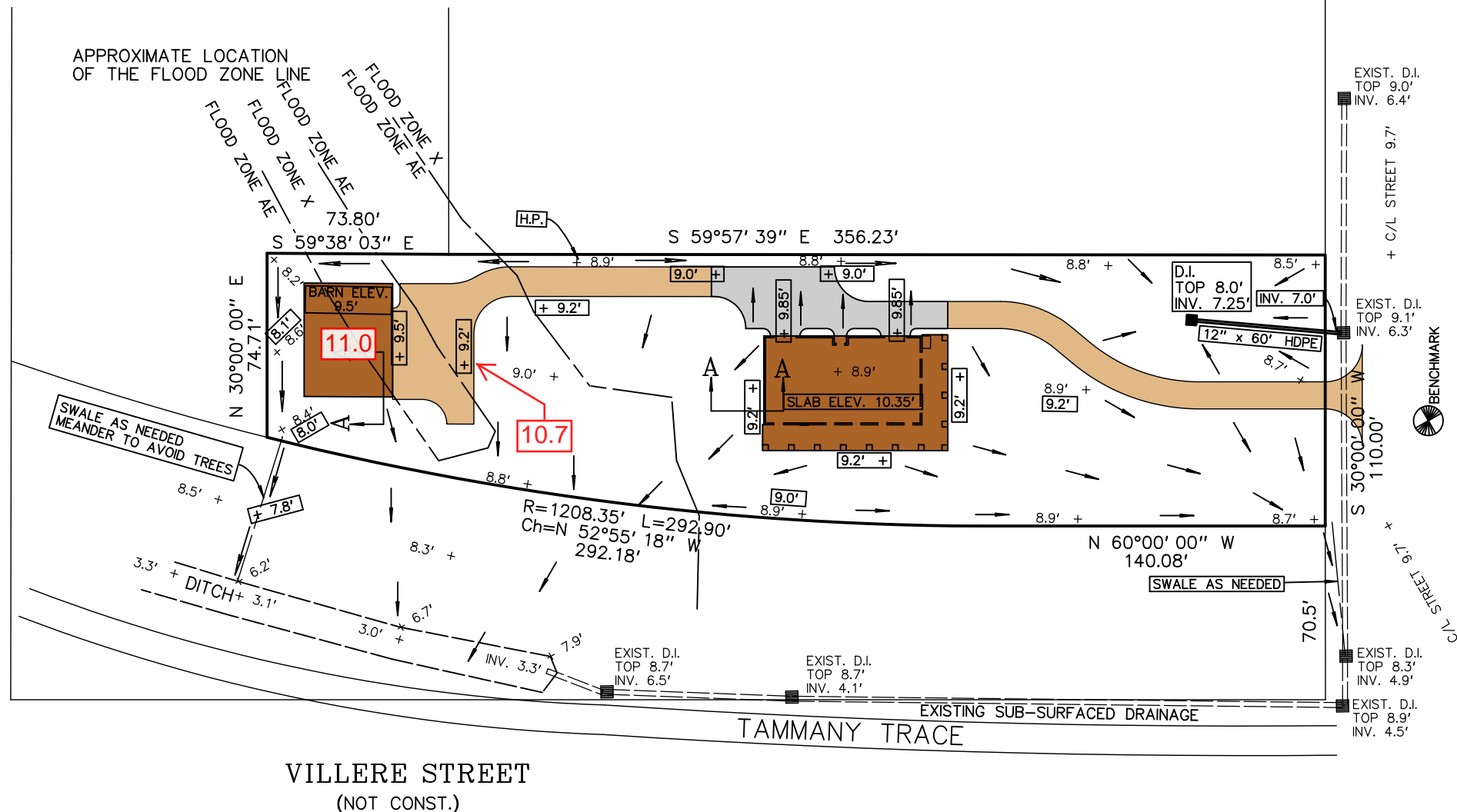
BARN PLANS FOR: BORDES
724 CARROLL STREET
CITY OF MANDEVILLE, LA

From: [Clifton Siverd](#)
To: [Tina Myers](#)
Subject: 724 Carroll
Date: Friday, May 29, 2026 7:06:22 AM
Attachments: [25-10839 - Drainage Plan.pdf](#)

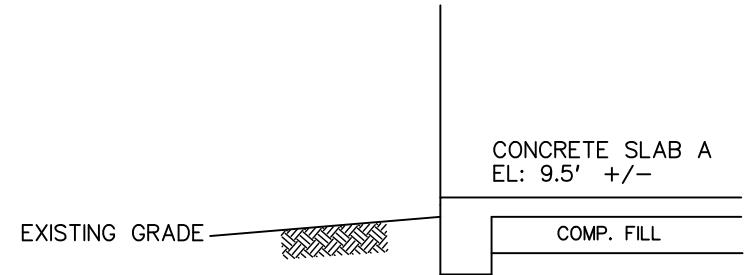
Tina,

We do not have a drainage plan produced for this building, but I can use information provided from the documents submitted for the permit on the primary structure. The applicant is proposing elevating the slab for the garage to Elevation 11.0 to comply with FEMA regulations. However, Section 5.2.3.3 Fill Sub-Area B 3 Slabs for Non-Habitable Areas only allow “6” inches (0.5’) of height above grade for any other slab”. The average existing elevations within the area of the proposed garage is (8.65’) . Fill Sub Area B would only allow the top of slab to be elevated to (9.15’). The variance request is to elevate the slab to elevation (11.0) a difference of (1.85’) . Additionally, 5.2.3.3 Fill Sub-Area B 1.f. allows for elevating the driveway 6” except within 16’ of the slab to ramp up onto the bottom slab. An additional variance maybe required for the driveway depending on the desired slope to access to building. According to the drainage plan submitted for the primary structure a 1% slope is shown for the driveway approaching the building. If the owner is looking to achieve the same slope the driveway surfacing near the garage would need to be elevated to (10.7’) which would result in fill height for the drive (1.1’) above the allowable (0.5’).

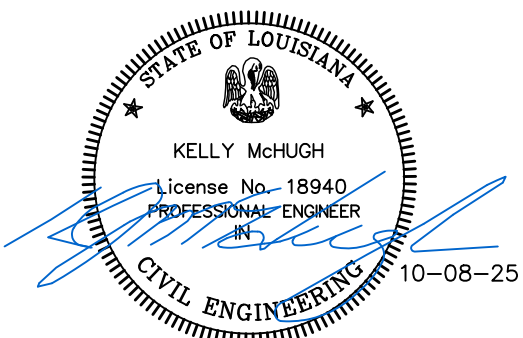
Clif Siverd
City of Mandeville
Department of Public Works
1100 Mandeville High Blvd.
Mandeville, La 70448
985-624-3169



- LEGEND:**
- 9.0' + = EXISTING GROUND ELEVATIONS
 - **** = PROPOSED ELEVATIONS AND DATA
 - = PROPOSED DRAINAGE PATTERN
 - = BENCHMARK—"MAG" NAIL IN EDGE OF PAVEMENT
ELEV. 9.56' MSL, NAVD 88 (GEOID 18)



SECTION A-A



DRAINAGE AND GRADING PLAN

PREPARED FOR:
KAREN BORDES

**A PORTION OF SQUARE 43-B
BEING 43890.32 sq.ft (1.01 acres)
CITY OF MANDEVILLE,
ST. TAMMANY PARISH, LA.**

SCALE: 1" = 60'	DATE: 09-18-25
DRAWN: DRJ	JOB NO.: 24-161
REVISED: 10-08-25	

KELLY J. MCHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 70401-5611

CASE SUMMARY SHEET**CASE NUMBER: V26-06-18****DATE RECEIVED: May 13, 2026****DATE OF MEETING: June 9, 2026 and June 23, 2026****Address: 519 Massena Mandeville Elementary****Subdivision: Old Town of Mandeville, Square A73A Lot A****Zoning District: I - Institutional District****Property Owner: St. Tammany School Board**

REQUEST: V26-06-18 – St. Tammany School Board requests a variance to CLURO Section 9.1.4. Minimum Off-Street Parking Requirements by Use and Section 9.2.5.7. Key Native Tree Species Protection Requirements, Old Town of Mandeville, Square A Lot 73-A-2-2, I - Institutional District, 519 Massena Mandeville Elementary

CASE SUMMARY: Remove one 24" dbh bald cypress tree and allow for a variance to 33 parking spaces as part of a renovation

The property at 519 Massena St., is located on the east side of Massena St., north of Monroe St., west of Maple St., and south of Pine Pl. The property measures 429' x 659' and contains 282,711 sqft per a survey prepared by Randall Brown and Associates and dated 7.25.2025. The property is currently improved with the Mandeville Elementary School.

A renovation and addition are planned for the school campus. This includes the demolition and rebuilding of the cafeteria kitchen and development of additional on-site parking spaces. As part of this demolition and site development, variances for protected tree removal and minimum off-street parking requirements are required.

Protected Tree Removal:

The existing cafeteria kitchen is planned to be demolished and rebuilt as interior cafeteria space. As part of this rebuilding a 24" dbh bald cypress must be removed. The tree is located on the edge of the existing cafeteria building and will be an obstruction to future pathways leading from the prekindergarten hall to the cafeteria for lunches. Regulations require four trees to be planted as replacement.

Parking Requirements:

There are currently 109 parking spaces provided, including on-street parking. The planned renovations will increase this to 117 parking spaces. CLURO Regulations require a total of 150 parking spaces. The site is currently deficient by 41 parking spaces. After the renovations, the site will still be deficient by 33 parking spaces.

CLURO SECTIONS:**6.3.19 Public and Private Primary and Educational Facilities**

2 per classroom plus 1 per faculty including administrative staff member, or the required kindergarten, elementary, parking spaces for any auditorium or middle & junior high schools gymnasium facility on the site, whichever is greater

9.2.5.7. Key Native Tree Species Protection Requirements

The following tree protection requirements shall be in place:

1. Definition of Protected Tree:

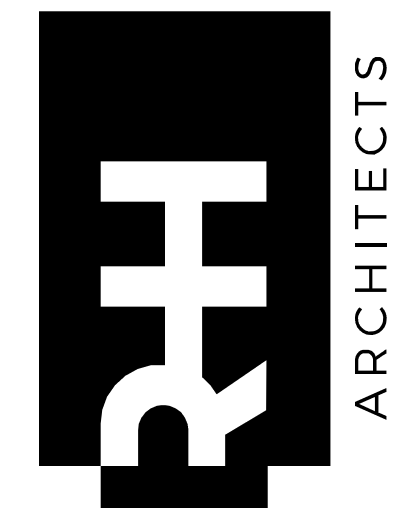
- a. Protected Live Oak: shall include any Live Oak with a diameter at breast height (dbh) of Six (6) inches or more;
- b. Protected Bald Cypress: shall include any Bald Cypress with a diameter at breast height (dbh) of Six (6) inches or more; and
- c. Protected Southern Magnolia: shall include any Southern Magnolia with a diameter at breast height (dbh) of six (6) inches or more.

3. Bald Cypress and Southern Magnolia Tree Protection Requirements

- a. A tree removal permit shall be obtained from the Landscape Inspector prior to cutting, clearing or removing any Bald Cypress or Southern Magnolia tree six (6) inches dbh or greater. Unpermitted removal of a qualifying Bald Cypress or Southern Magnolia tree shall subject the property owner, the responsible contractor, or both, to the violation provisions of Section 9.2.5.16.
- b. Upon submission of a tree removal permit, administrative removal shall only be permitted if the Landscape Inspector determines that the tree is dead, terminally diseased, or poses an imminent hazard to public safety or property that cannot be mitigated by other less impactful means. Additionally, Planning and Zoning approval shall be required where site-specific conditions require a tree to be within the proposed building footprint, without alternative building placement, making its preservation unfeasible.
- c. During any construction, development, or land-disturbing activity, all Protected Bald Cypress and Southern Magnolia trees shall be safeguarded pursuant to the Vegetation Protection Zone Barrier requirements of Section 9.2.5.3.
- d. It shall be unlawful for any person to engage in any activity that may damage a Bald Cypress or Southern Magnolia tree, including but not limited to root disturbance, soil compaction, significant grade changes within the drip line, or the attachment of signs, wires, or other objects that may compromise the tree's health or structural integrity.

- e. If a Protected Bald Cypress or Southern Magnolia tree is removed, or dies due to activities on the property, the property owner shall replace it with one (1) tree per 6 inches dbh of the same species removed or lost. Replacement trees shall be of a minimum size as established by the Landscape Inspector and planted in a location approved by the City.
- f. These regulations shall apply in all zoning districts.





CONSULTANTS:
 KYLE ASSOCIATES, LLC
 STRUCTURAL ENGINEER
 DDG, PC
 CIVIL ENGINEER AND LANDSCAPE ARCHITECT
 FUTCH DESIGN ASSOCIATES, INC.
 FOOD SERVICE CONSULTANT
 IMC CONSULTING ENGINEERS, INC.
 MECH/ELEC ENGINEER



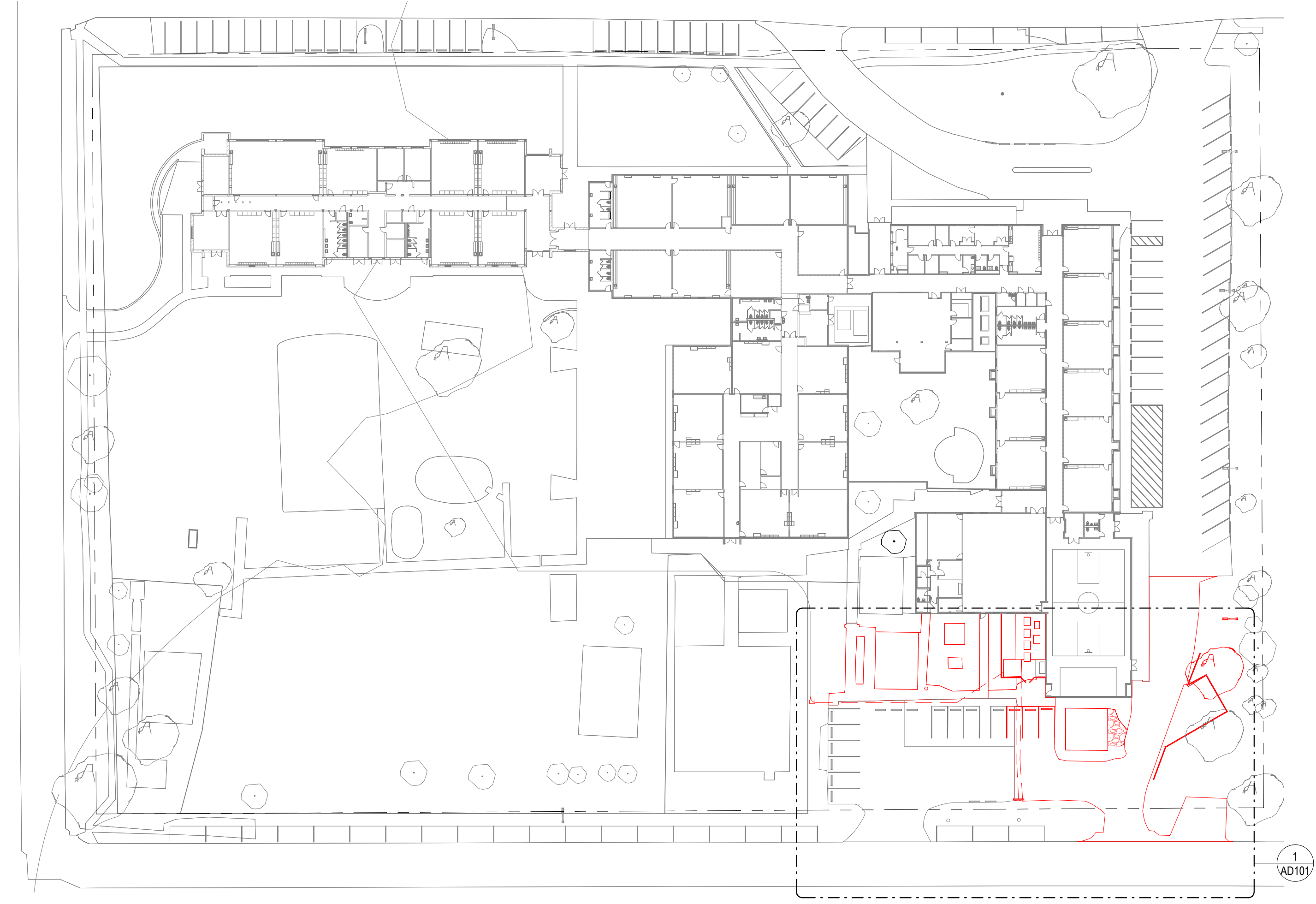
1 LEVEL 1 FLOOR PLAN - EXISTING

1" = 30'-0"

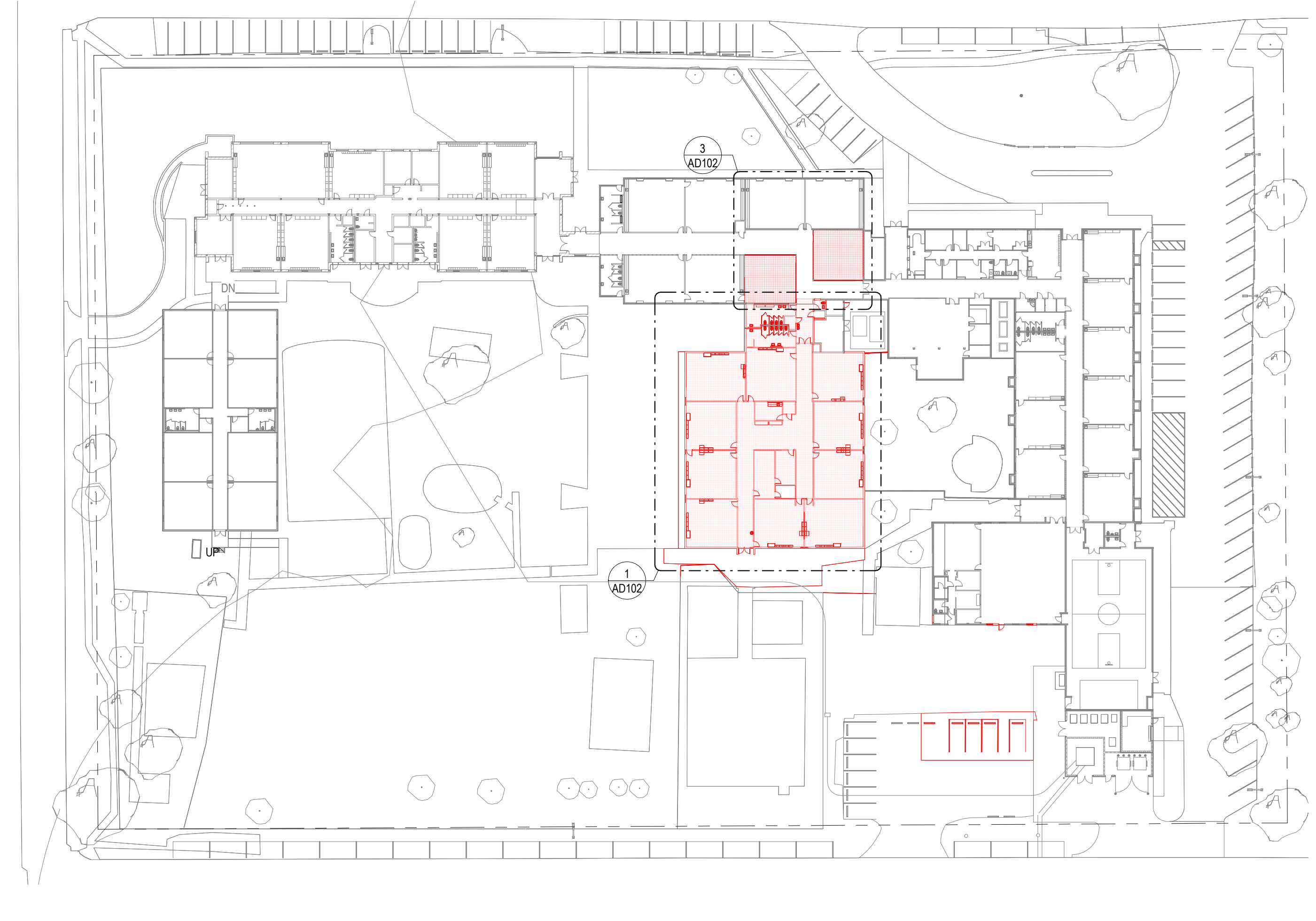
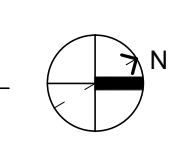
Design Development for
**Mandeville Elementary
 Renovations & Additions**
 STPSB Project Number: #P2545 | 519 Massena Street, Mandeville, LA 70448

PROJECT #:	1325-2002
DATE:	05/15/26
FOR:	REVIEW
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REVISION	DATE

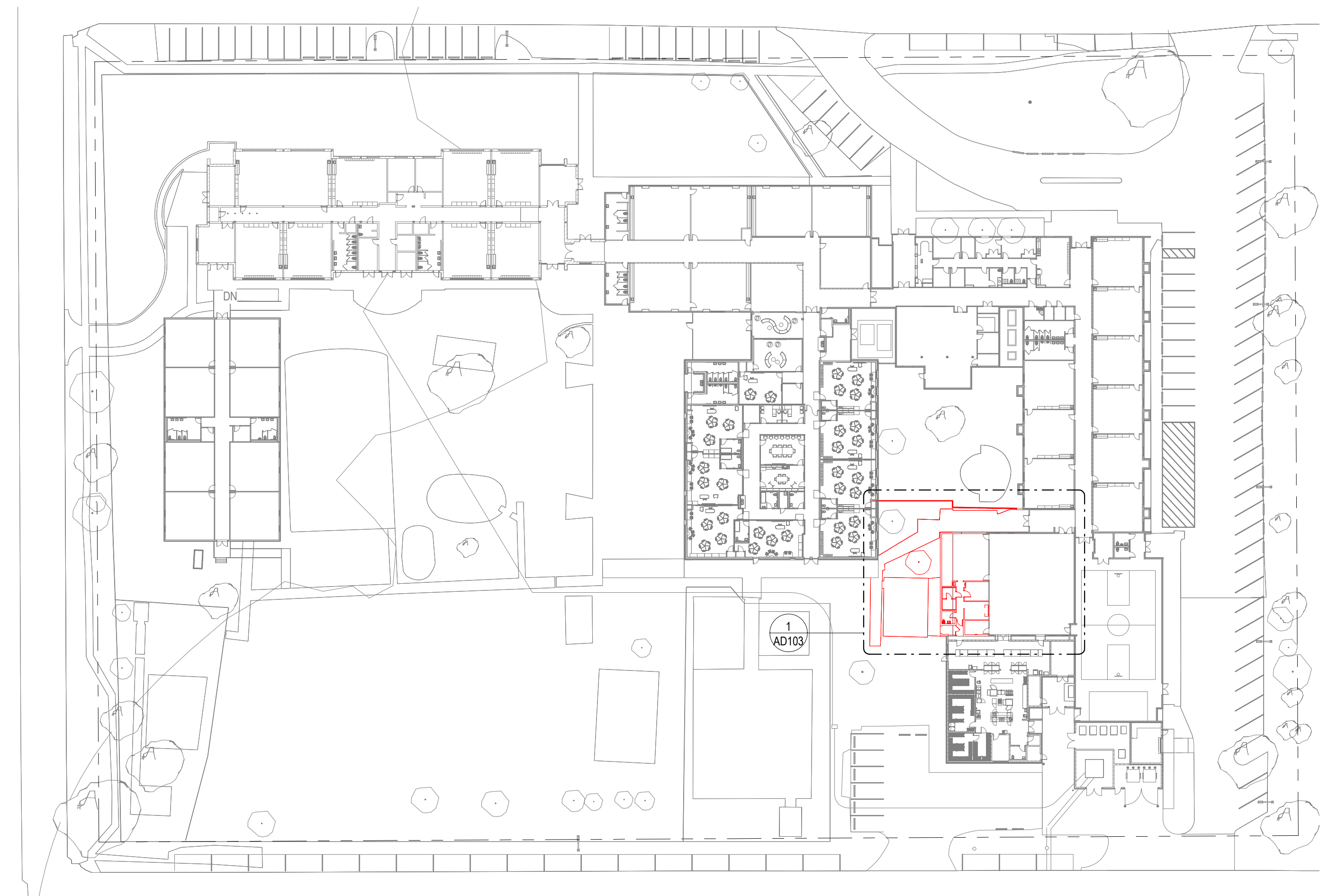
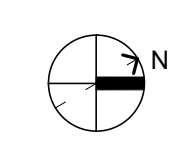
OVERALL
 FLOOR PLAN -
 EXISTING
AD100-A



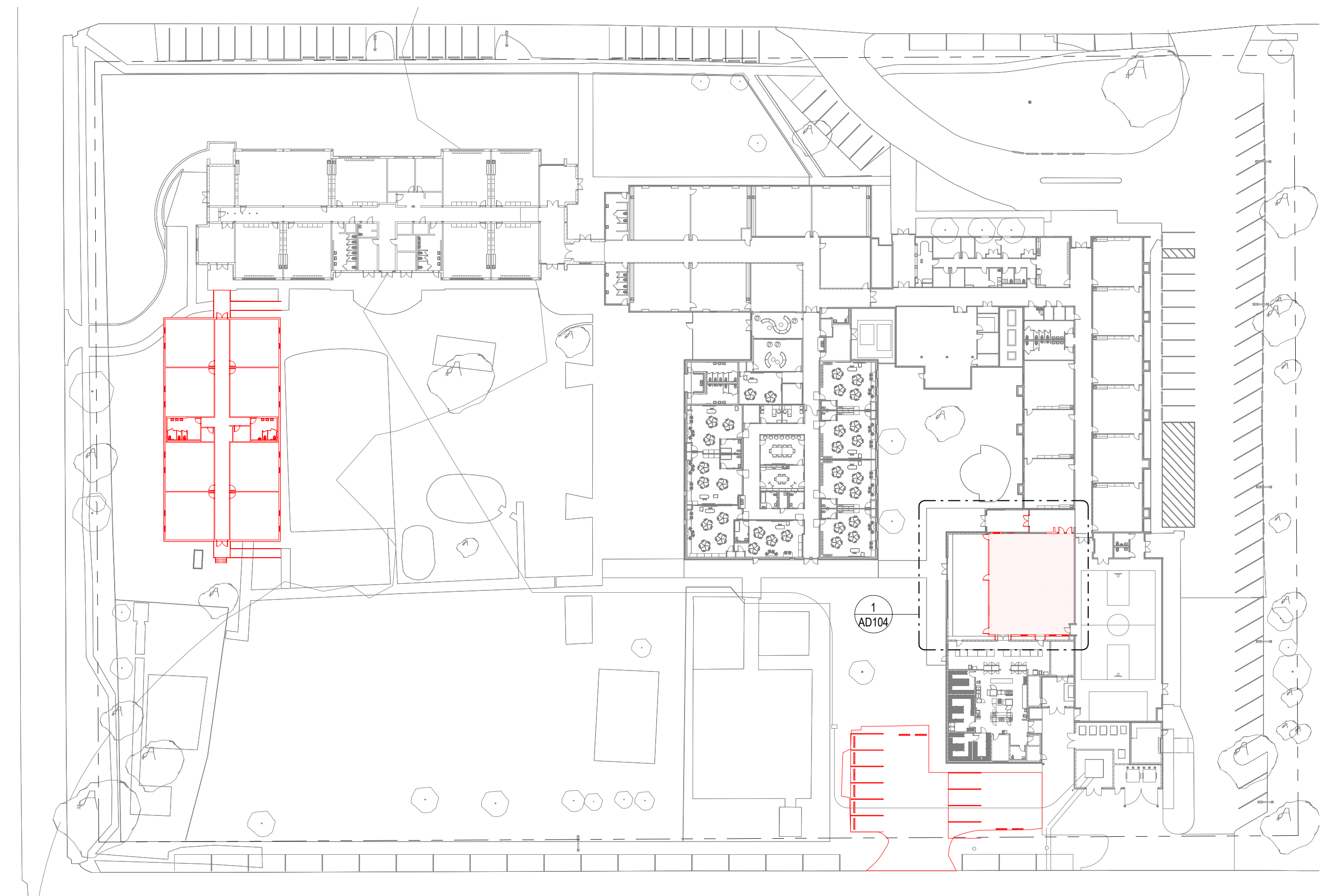
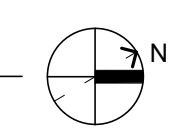
1 | SITE PLAN DEMO - PHASE 1
1" = 50'-0"



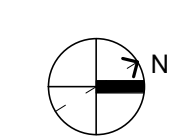
2 | SITE PLAN DEMO - PHASE 2
1" = 50'-0"



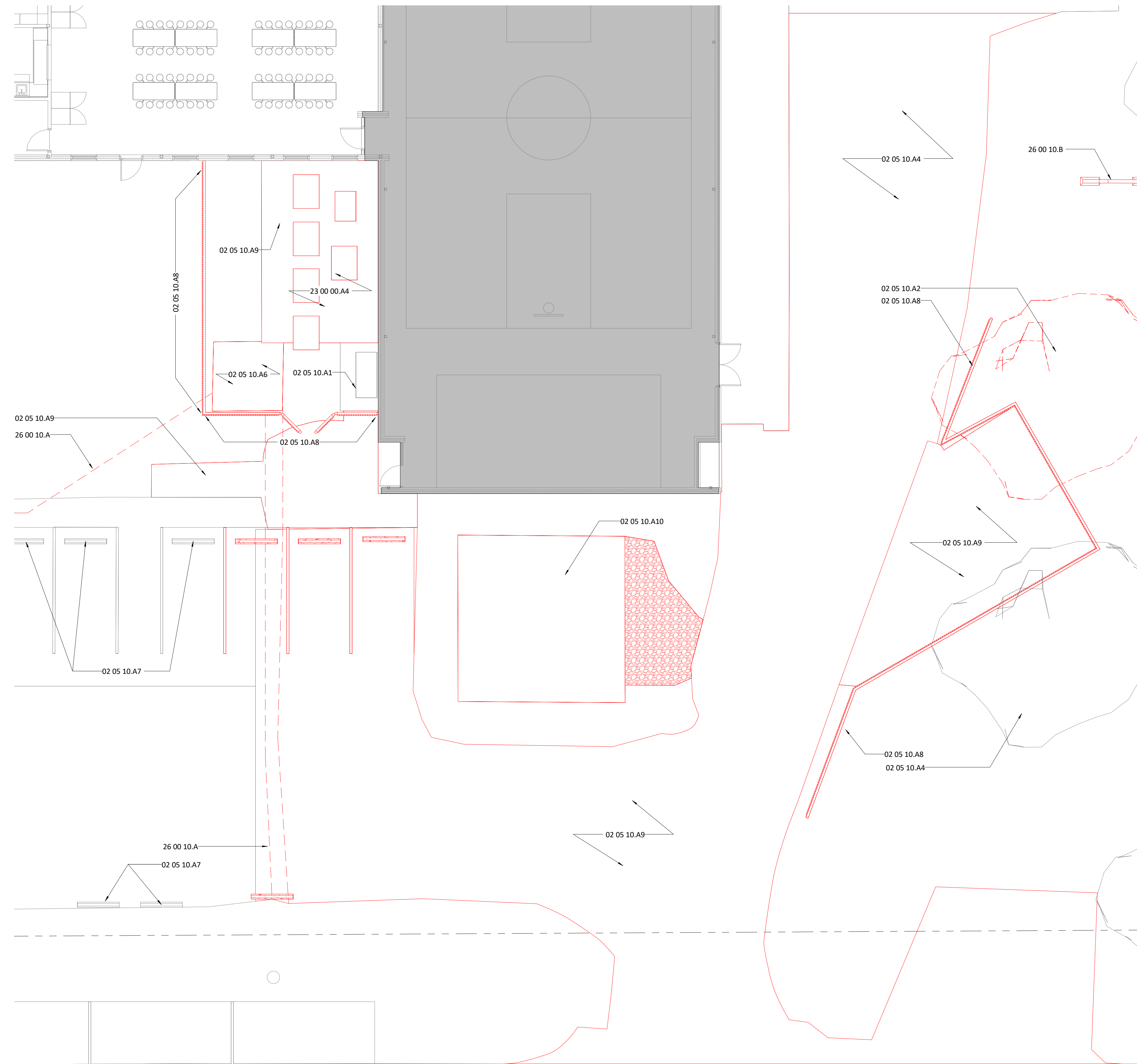
3 | SITE PLAN DEMO - PHASE 3
1" = 50'-0"



4 | SITE PLAN DEMO - PHASE 4
1" = 50'-0"



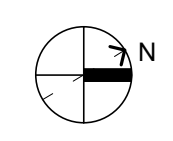
REVISION	DATE

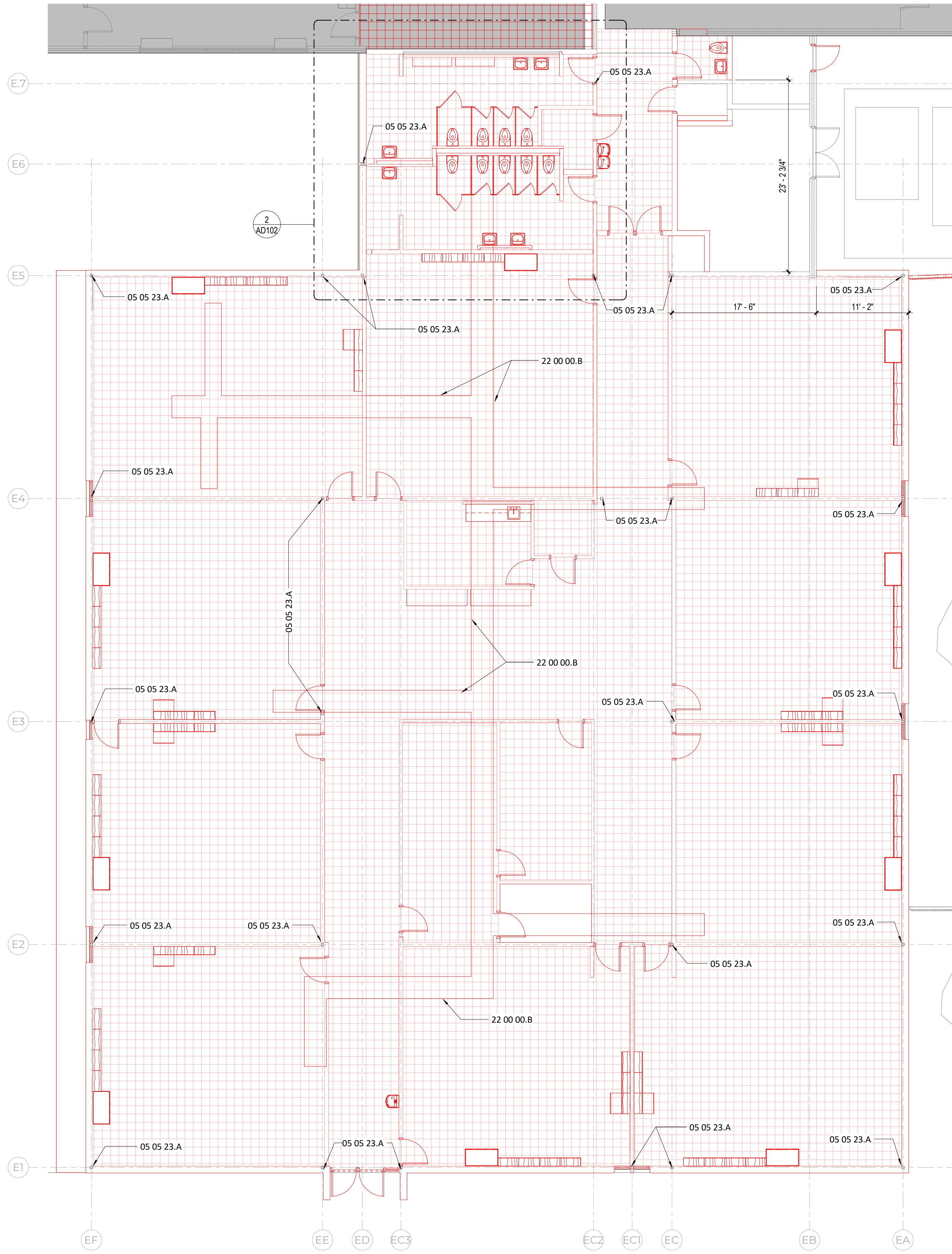


- DEMOLITION KEYNOTES**
- 02 05 10.A1 (020510) EXISTING TRANSFER GEAR AND ASSOCIATED SLAB TO REMAIN
 - 02 05 10.A2 (020510) EXISTING 24" WATER OAK TO BE DEMOLISHED
 - 02 05 10.A4 (020510) EXISTING TREE TO REMAIN. PROVIDE TREE PROTECTION AS INDICATED BY CIVIL.
 - 02 05 10.A6 (020510) EXISTING TRANSFORMER AND ASSOCIATED PAD TO BE REMOVED UPON COORDINATION AND COMPLETION OF NEW TRANSFORMER.
 - 02 05 10.A7 (020510) EXISTING WHEEL STOPS TO BE REMOVED. COORDINATE WITH OWNER FOR DISPOSAL OR REUSE. REMOVE ANY STRIPING ASSOCIATED WITH THE REMOVED WHEEL STOPS.
 - 02 05 10.A8 (020510) EXISTING FENCE AND ASSOCIATED GATES TO BE DEMOLISHED.
 - 02 05 10.A9 (020510) EXISTING PAVING TO BE DEMOLISHED.
 - 02 05 10.A10 (020510) EXISTING SHED STRUCTURE AND ASSOCIATED SLAB TO BE DEMOLISHED.
 - 23 00 00.A4 (230000) EXISTING CONDENSING UNITS TO BE REMOVED AND REINSTALLED IN NEW MECHANICAL YARD. RE-ROUTE CONDENSING LINES PER ENGINEER DRAWINGS.
 - 26 00 10.A (260000) EXISTING UNDERGROUND TRANSFORMER LINES. TO BE DISCONNECTED AS NOTED BY ENGINEER.
 - 26 00 10.B (260000) EXISTING LIGHT POLE TO BE REMOVED AND REPLACED WITH NEW LIGHT POLE.

PROJECT #:	1325-2002
DATE:	05/15/26
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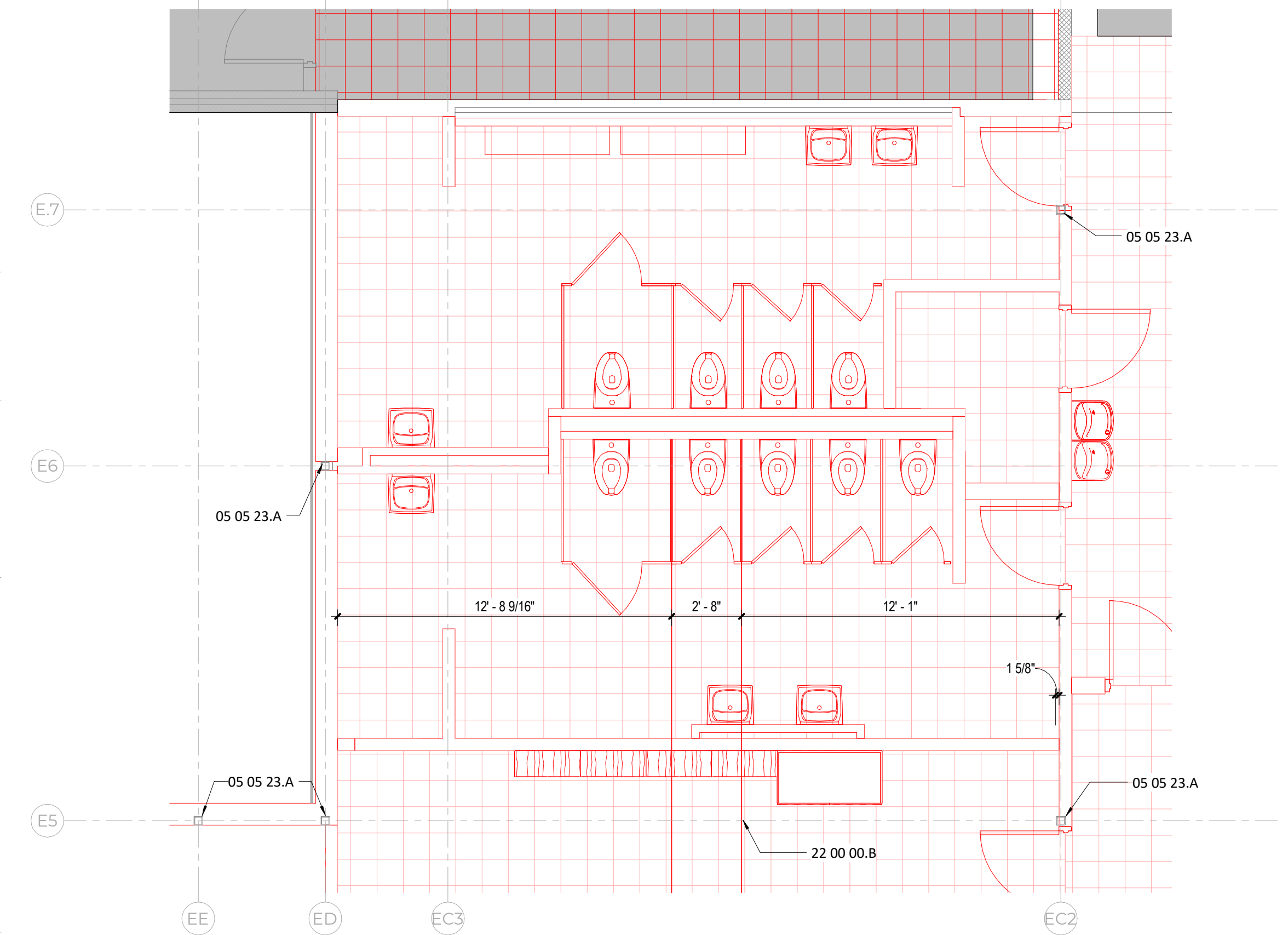
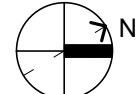
1 ENLARGED DEMO PLAN - PHASE 1
 1/8" = 1'-0"





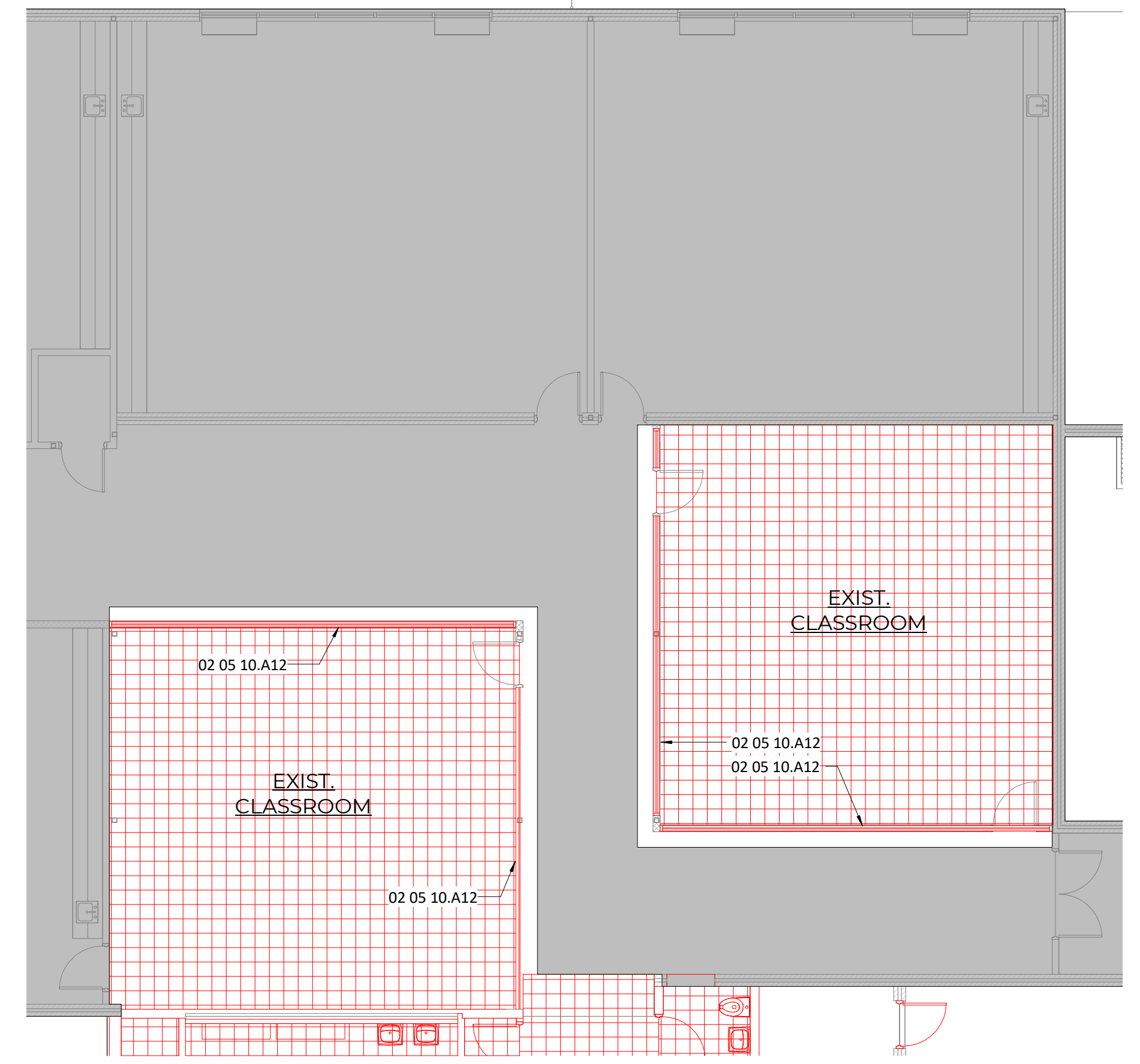
1 PHASE 2 - CLASSROOM DEMO PLAN

1/8" = 1'-0"



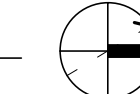
2 PHASE 2 - RESTROOM DEMO PLAN

1/4" = 1'-0"



3 PHASE 1 - CLASSROOM DEMO PLAN

1/8" = 1'-0"



- KEYNOTES**
- 02 05 (020510) DEMO EXISTING STOREFRONT
 - 10.A1 SYSTEM TO BE INFILLED WITH GYPSUM
 - 2 BOARD PARTITION
 - 05 05 (050523) EXISTING STRUCTURE TO REMAIN
 - 23.A
 - 22 00 (220000) SLAB CUTS FOR NEW PLUMBING.
 - 00.B



CONSULTANTS:
 KYLE ASSOCIATES, LLC
 STRUCTURAL ENGINEER
 DDG, PC
 CIVIL ENGINEER AND LANDSCAPE ARCHITECT
 FUTCH DESIGN ASSOCIATES, INC.
 FOOD SERVICE CONSULTANT
 IMC CONSULTING ENGINEERS, INC.
 MECH/ELEC ENGINEER

Design Development for
**Mandeville Elementary
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 STPSE Project Number: #2545 | 519 Massena Street, Mandeville, LA 70448

PROJECT #:	1325-2002
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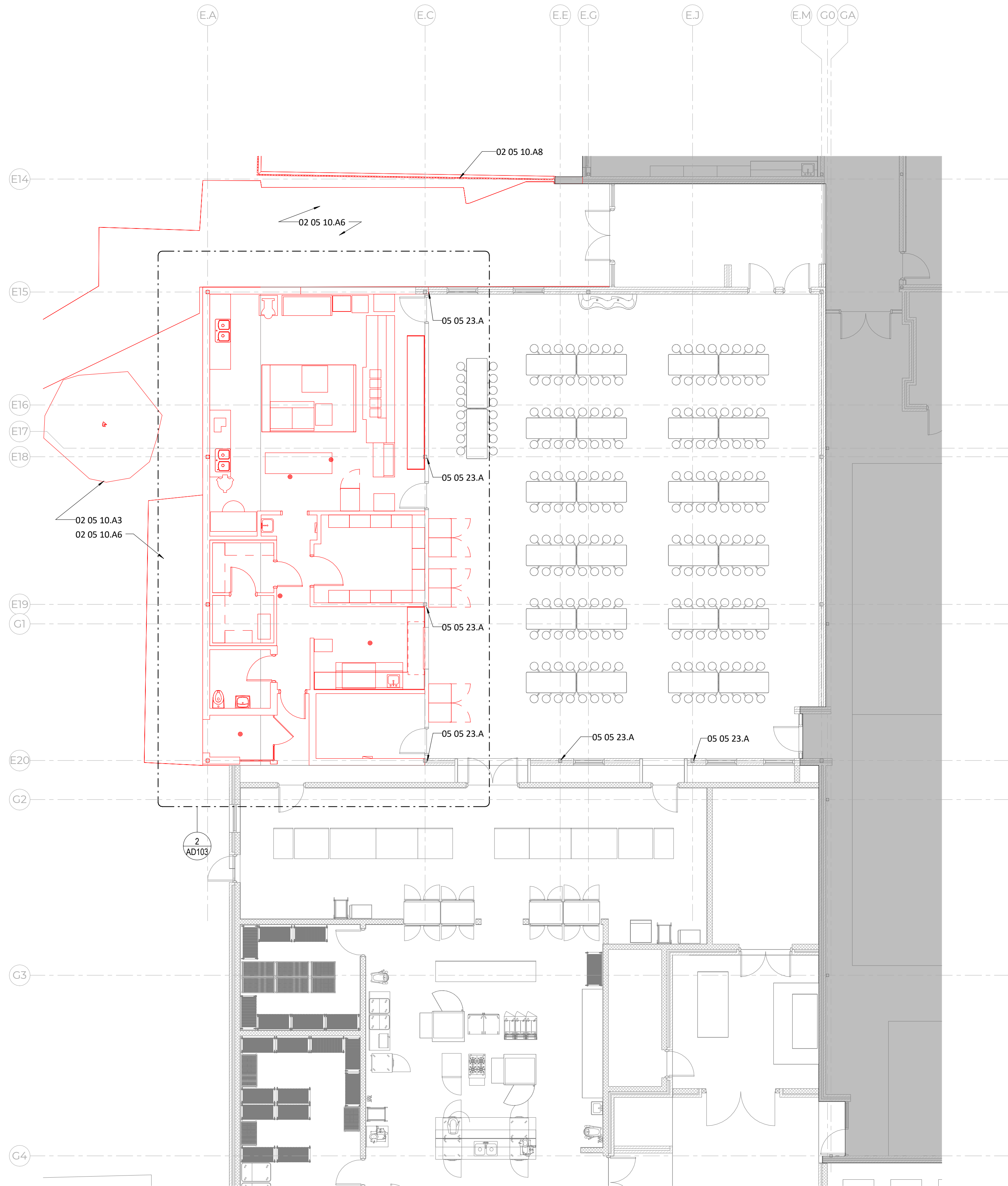
ENLARGED
 DEMO PLANS -
 PHASE 2
AD102



CONSULTANTS:
KYLE ASSOCIATES, LLC
STRUCTURAL ENGINEER
DDG, PC
CIVIL ENGINEER AND LANDSCAPE ARCHITECT
FUTCH DESIGN ASSOCIATES, INC.
FOOD SERVICE CONSULTANT
IMC CONSULTING ENGINEERS, INC.
MECH/ELEC ENGINEER

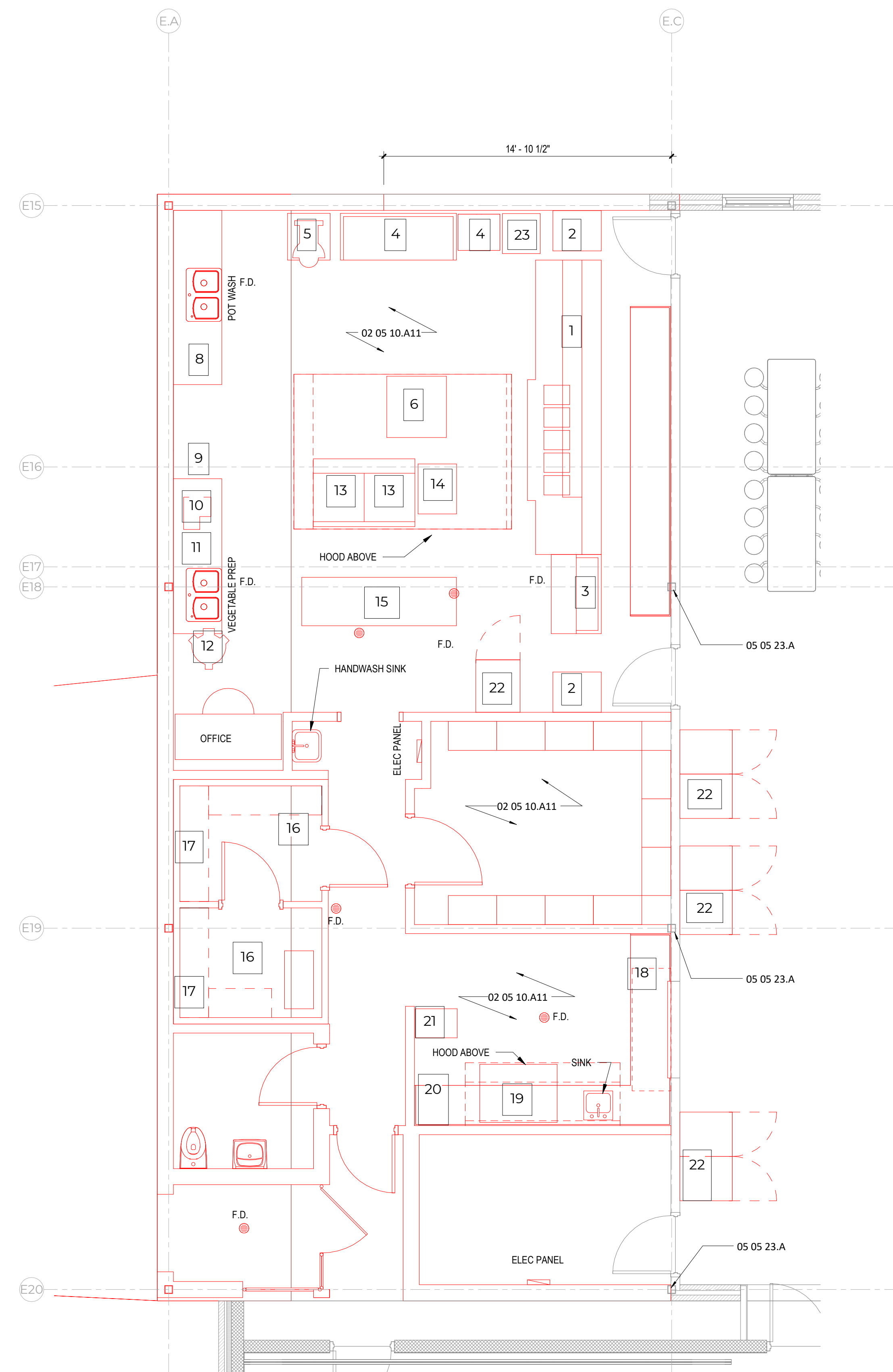
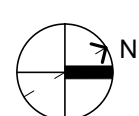
KEYNOTES

- 02 05 (020510) EXISTING 25" CYPRESS TO BE DEMOLISHED
- 10 A3 DEMOLISHED
- 02 05 (020510) EXISTING TRANSFORMER AND ASSOCIATED PAD TO BE REMOVED UPON COORDINATION AND COMPLETION OF NEW TRANSFORMER.
- 02 05 (020510) EXISTING FENCE AND ASSOCIATED GATES TO BE DEMOLISHED.
- 10 A8
- 02 05 (020510) COORDINATE REMOVAL OF KITCHEN EQUIPMENT WITH OWNER, CONFIRM IF TO BE SALVAGED.
- 10 A11
- 05 05 (050523) EXISTING STRUCTURE TO REMAIN
- 23 A



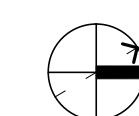
1 PHASE 3 - DEMO PLAN

1/8" = 1'-0"



2 PHASE 3 - ENLARGED DEMO PLAN

1/4" = 1'-0"



SCHEDULE OF EXISTING EQUIPMENT

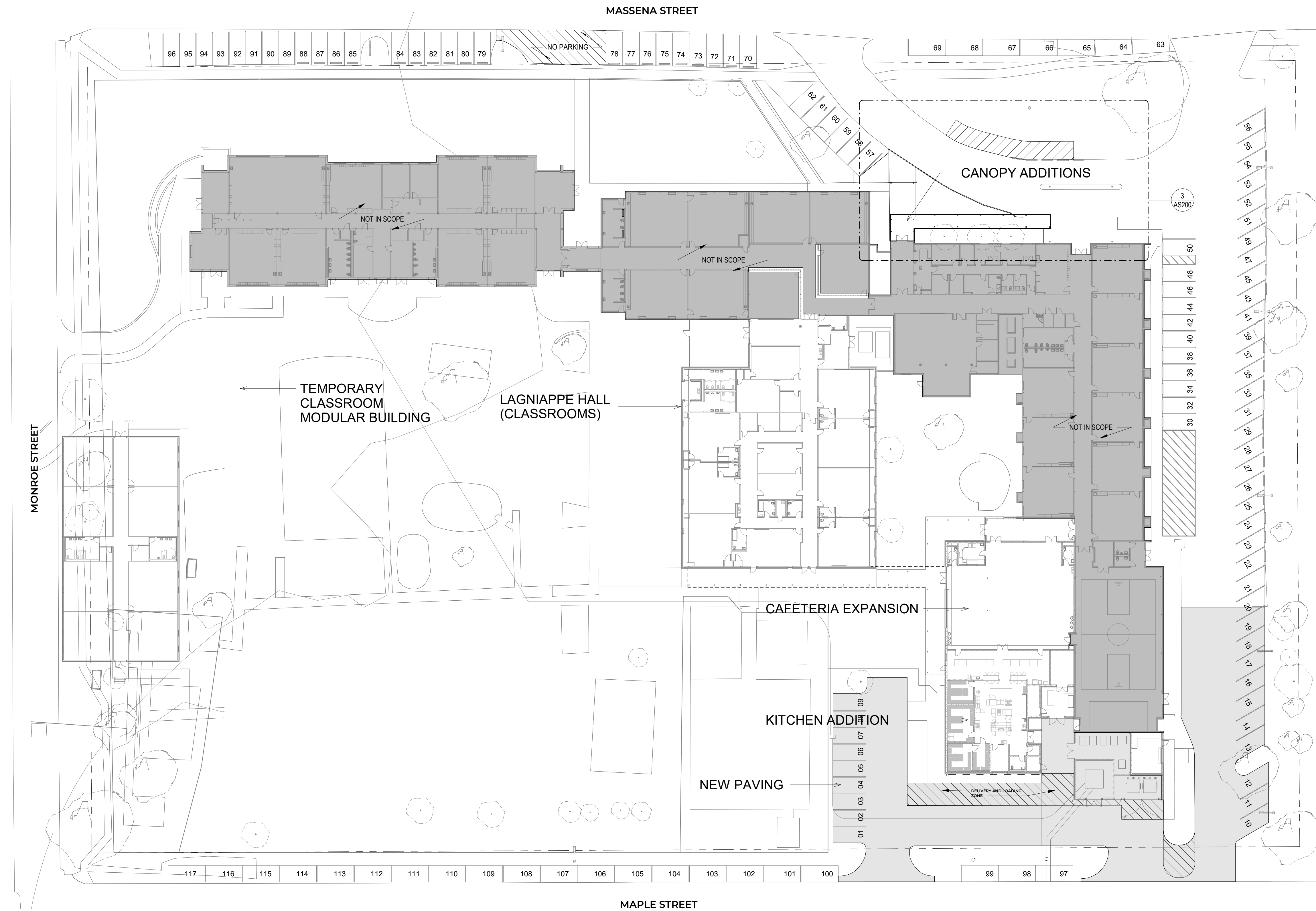
- 1. CAFETERIA COUNTER
- 2. TRAY SILVER CART
- 3. MILK BOX
- 4. BAKER'S TABLE
- 5. MIXER / MIXER TABLE
- 6. OVEN
- 7. STEAMER
- 8. TABLE WITH SINK
- 9. REFRIGERATOR
- 10. SLICER
- 11. TABLE WITH SINK
- 12. PEELER
- 13. RANGES
- 14. FOOD WARMER
- 15. COOK'S TABLE
- 16. WALK-IN COOLER & FREEZER
- 17. SHELVING
- 18. SOIL DISH TABLE
- 19. DISHWASHER
- 20. CLEAN DISH TABLE
- 21. DISH CART
- 22. WARMING OVEN
- 23. ICE MAKER

Design Development for
**Mandeville Elementary
Renovations & Additions**
STPSE Project Number: #2545 | 519 Massena Street, Mandeville, LA 70448

PROJECT #: 1325-2002
DATE: 05/15/26
FOR: REVIEW
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REVISION	DATE

ENLARGED
DEMO PLANS -
PHASE 3
AD103



SITE LEGEND:

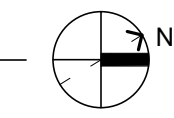
- CONCRETE PAVING
- ASPHALT PAVING
- TEMPORARY LIMESTONE PARKING (TO BE COMPLETED IN PHASE 2)
- PROPERTY LINE
- FLOOD ZONE "X"FAE
- UNDERGROUND ELECTRICAL TRANSMISSION LINES
- SCOPE BOUNDARY
- 2-HR RATED WALL
- 3-HR RATED WALL

PERVIOUS/IMPERVIOUS PAVEMENT CALCULATIONS:

Without including Modular Buildings:
 3.09 acres pervious; 3.41 acres impervious
 (52% impervious)

Including Modular Buildings:
 2.76 acres pervious; 3.74 acres impervious
 (58% impervious)

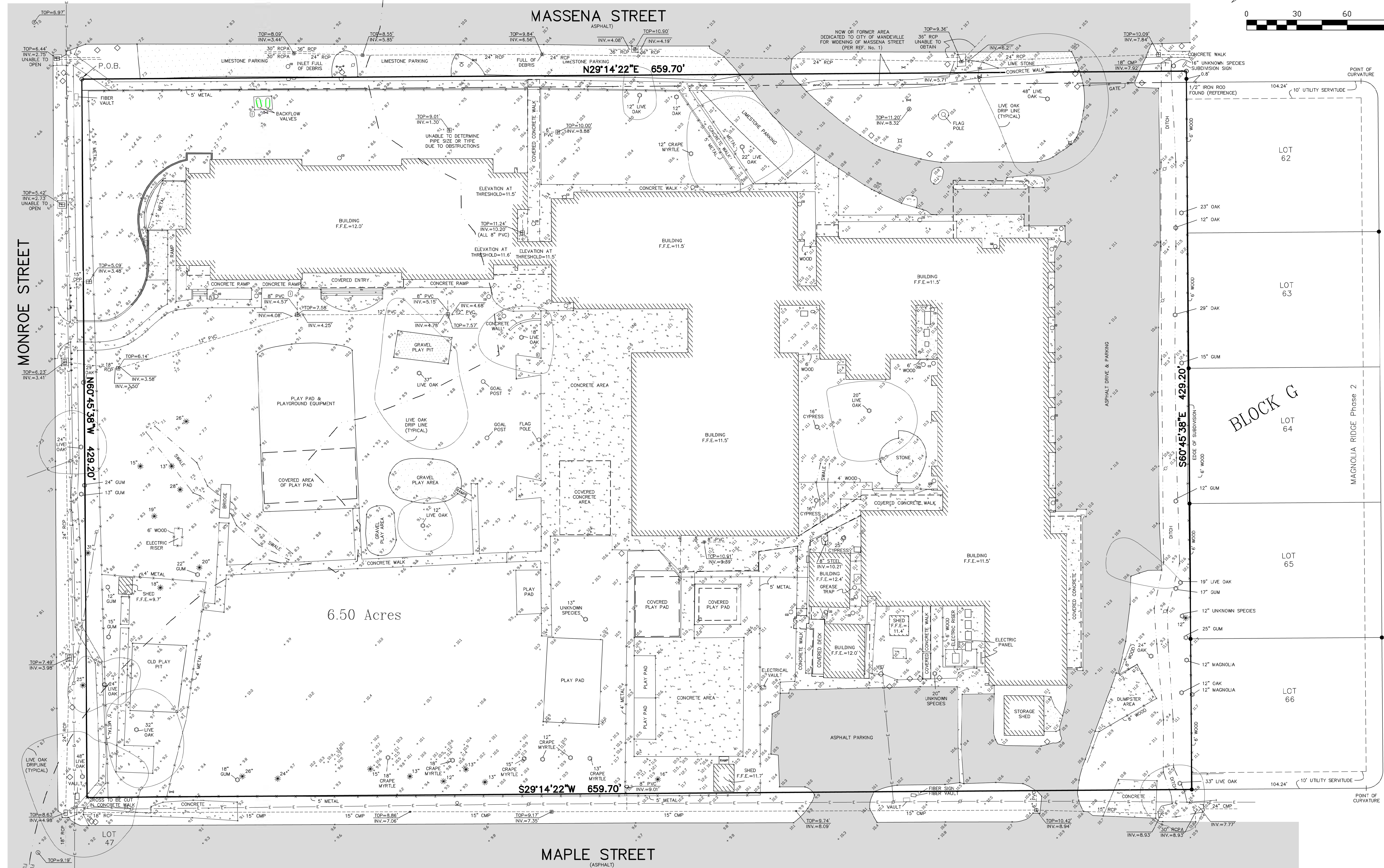
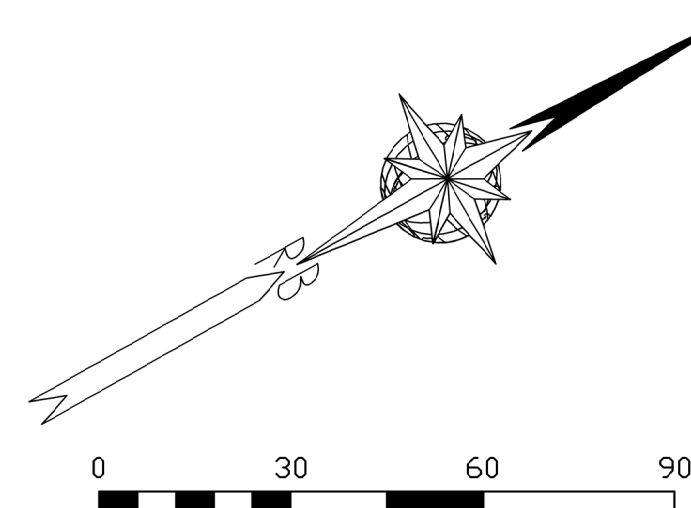
1 | SITE PLAN - ALL PHASES
 1" = 30'-0"



Design Development for
**Mandeville Elementary
 Renovations & Additions**
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REVISION	DATE

Survey of
MANDEVILLE ELEMENTARY SCHOOL
 KNOWN AS A 6.50 ACRE PARCEL OF LAND
 SITUATED IN BLOCKS 73, 74 & 75 * TOWN OF MANDEVILLE
 CITY OF MANDEVILLE * SEC 47, T-8-S, R-11-E
 GREENSBURG LAND DISTRICT * ST. TAMMANY PARISH, LOUISIANA



GENERAL NOTES

- BEARINGS SHOWN HEREON ARE REFERENCED TO LOUISIANA STATE PLANE COORDINATES, LA SOUTH ZONE 1702 -ALSO BASIS FOR BEARINGS
- ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88(GEOD12A)
- OWNER OR BUILDER RESPONSIBLE FOR OBTAINING SETBACKS BEFORE DESIGN OR CONSTRUCTION BEGINS
- NO ARBORIST WAS PRESENT DURING THIS TREE SURVEY. TREE SPECIES SHOWN HEREON WERE IDENTIFIED TO THE BEST OF THIS FIRM'S ABILITIES. THIS FIRM MAKES NO GUARANTEE THAT THE SPECIES SHOWN HEREON ARE CORRECT
- ALL BUILDING FINISHED FLOOR ELEVATIONS (F.F.E.) WERE TAKEN AT THE EXTERIOR THRESHOLD OF THE DOOR
- IF NO INVERT IS SHOWN THIS FIRM WAS UNABLE TO OBTAIN IT.

LEGEND

- DROP INLET
- SIGNAGE
- LIGHT STANDARD
- IRRIGATION CONTROL
- TELEPHONE RISER
- MAN HOLE
- SEWER CLEANOUT
- SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- GUY WIRE
- UTILITY POLE
- GAS VALVE
- DRAIN MANHOLE
- PINE TREE
- EXISTING ELEVATION
- OVERHEAD UTILITY LINE
- FENCE LINE
- OVERHANG & COVERED AREA
- 1/2" IRON ROD FOUND
- 1/2" IRON ROD TO BE SET

REFERENCE:
 MONROE RIDGE Phase 2 plat
 Map File No. 1156
 Date Filed: 8-25-1993
 NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVICED, EASEMENTS, SUBSURFACE UTILITIES, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

Note: Per FEMA LOMR-F letter dated 8-30-2016, Case No. 16-05-1792P the property described is located in a special flood hazard area. It is located in Flood Zone X-1.

ADVANCED

Randall W. Brown, P.L.S.
 Professional Land Surveyor
 LA Registration No. 04566

CALL "LOUISIANA ONE-CALL"
 BEFORE DIGGING
 PH. 1-(800)-272-3020

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM LA ONE CALL TICKET AND/OR VISIBLE UTILITY FEATURES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, EXCEPT ABOVE GROUND VISIBLE UTILITY FEATURES. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

RANDALL W. BROWN & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 228 W. CAUSEWAY APPROACH, MANDEVILLE, LA 70448
 (985) 624-5368 • INFO@BROWNSURVEYS.COM

**SURVEY OF
 MANDEVILLE ELEMENTARY SCHOOL**
 CITY OF MANDEVILLE * SEC 47, T-8-S, R-11-E
 GREENSBURG LAND DISTRICT * ST. TAMMANY PARISH, LOUISIANA

REVISED DATE:

DRAWN BY:
 J.E.D.
 CHECKED BY:
 RWB
 DATE:
 7-25-2025
 SCALE:
 1" = 30' ±
 SURVEY No.
 25350

SHEET

Copyright 2025 - Randall W. Brown & Associates, Inc. D:\Survey\2025\25350\25350.dwg

CASE SUMMARY SHEET

CASE NUMBER: V26-06-19

DATE RECEIVED: May 18, 2026

DATE OF MEETING: June 9, 2026 and June 23, 2026

Address: 1498 Rue Beauvais

Subdivision: Fontainebleau, Lot 243

Zoning District: R-1 - Single Family Residential District

Property Owner: Anthony Rabito III

REQUEST: V26-06-19 – Anthony Rabito III requests a variance to CLURO Section 7.5.1.3. R-1 Site Development Regulations, Fontainebleau, Lot 243, R-1 - Single Family Residential District, 1498 Rue Beauvais

CASE SUMMARY: Encroach into the side setbacks to construct an addition

The applicant owns the property at 1498 Rue Beauvais located on the north side of Rue Beauvais in the Fontainebleau Subdivision. The property is irregular in shape and measures 98' along the front property line, 152' along the east property line, 122' along the rear property line, and 187' along the west property line, containing 18,167 sqft per a site plan prepared by Diamond Design and dated 5.04.2026. The property is improved with a single-family residence.

A permit was submitted on May 12th for an addition and renovation of the main structure. The applicant is requesting to construct an addition on both sides of the existing structure. The addition would be 10' from the west property line and 10'-7" from the east property line. The lot has a frontage of 98' requiring side setbacks of 16'. The west side setback would be deficient by 6' and the east side setback would be deficient by 5'-5". The structure would be compliant with the front and rear setbacks, and the site would be compliant with the maximum allowed impervious percentage.

	Proposed	Required	Difference
Front Setback	25'	25'	0'
Rear Setback	30'	30'	0'
West Side Setback	10'	16'	-6'
East Side Setback	10'-7"	16'	-5'-5"

CLURO SECTIONS:**7.5.1.3. R-1 Site Development Regulations**

Each development site in the R-1 Single-Family Residential Zoning District shall be subject to the following site development regulations in addition to any regulations applicable under the provisions of Article 8. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

1. Minimum lot area	10,800 Square feet (except for legal non-conforming lots as provided)
2. Minimum building area (Square feet per unit)	1,200 Square feet
3. Minimum lot width	90'
4. Minimum lot depth	120'
5. Minimum Yard Setback Requirements	
a. Front yard	25'
b. Interior side yard*	
i. Frontage up to 50'	8' each side
ii. Frontage between 51' – 60'	10' each side
iii. Frontage between 61' – 75'	12' each side
iv. Frontage between 76' – 80'	13' each side
v. Frontage between 81' – 90'	15' each side
vi. Frontage between 91' – 100'	16' each side
vii. Frontage between 101' – 110'	18' each side
viii. Frontage between 111' +'	20' each side
c. Street side yard	15'
d. Rear yard	30'
6. Maximum Height of Structures	35'
7. Maximum Impervious Site Coverage	45%

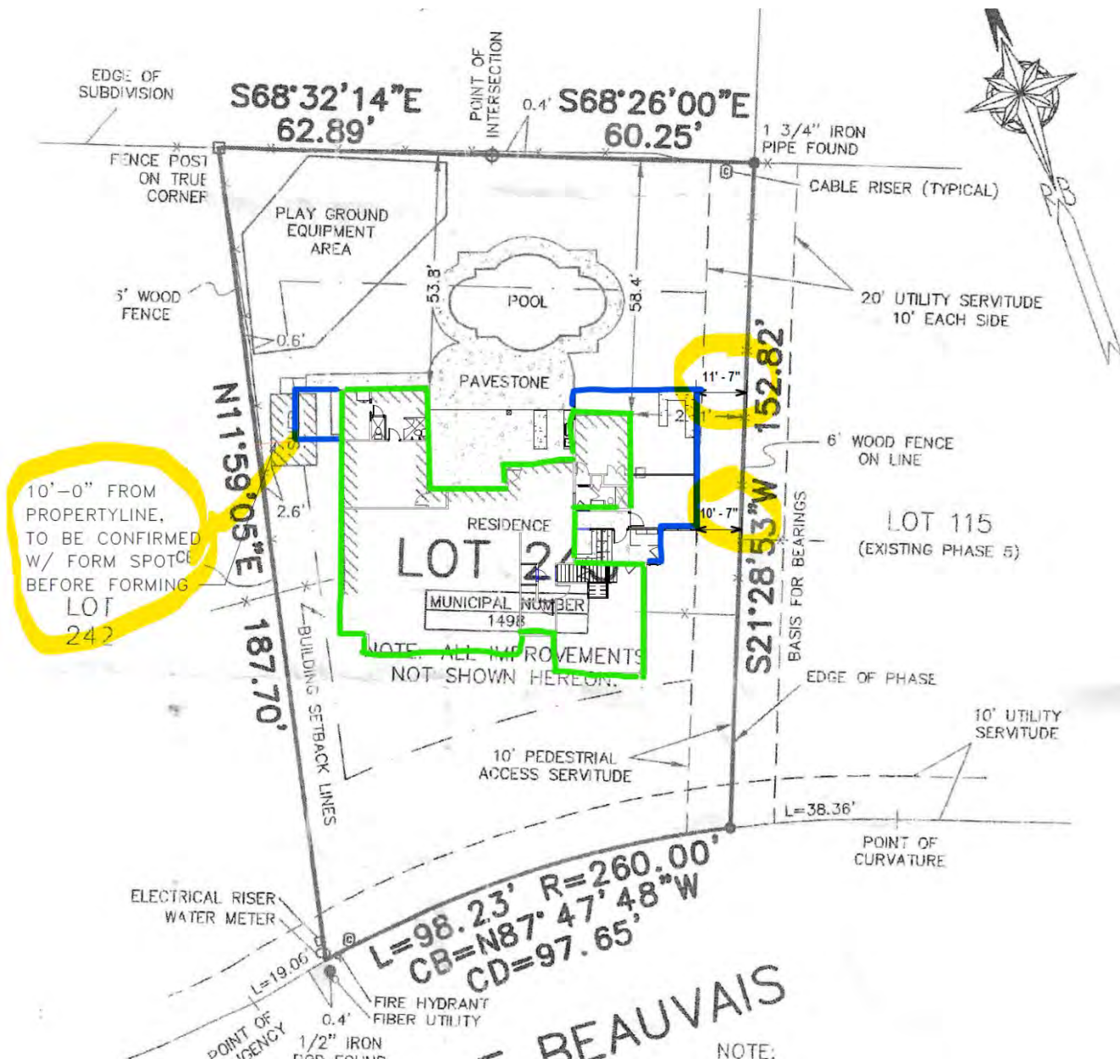
*The side yard setbacks of the site may be shifted into the opposite yard up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.



Site Plan - Old Footprint vs New w/ Setbacks

1498 Rue Beauvais | Permit 26-11319

Anthony Rabito III
5/20/2026

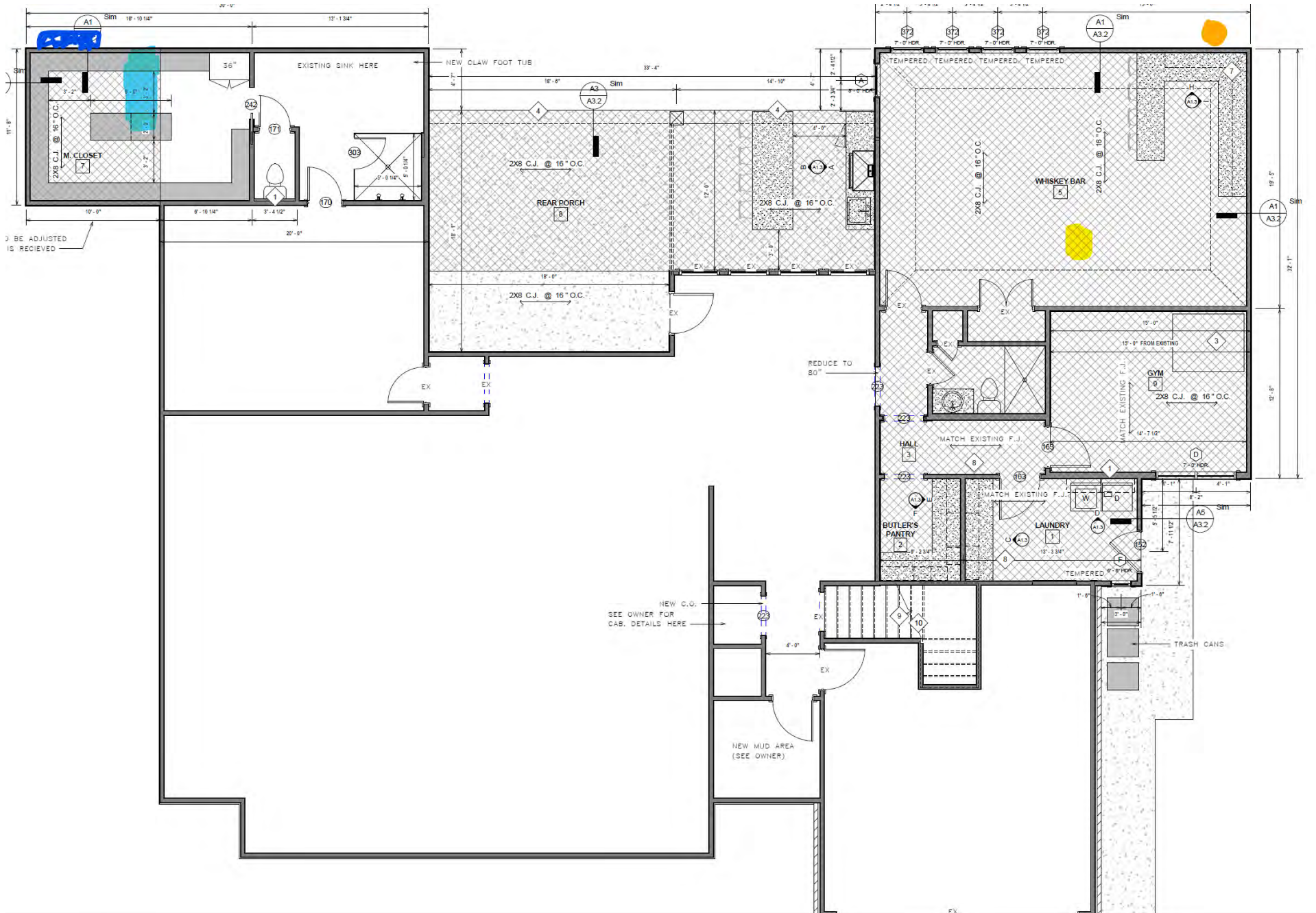


- The existing footprint is outlined in green
- The new addition footprint is outlined in blue
- The new setbacks are circled in yellow
- The entire addition is being added to the rear half of the house, all located behind the gated wooden fence
- Please refer to the separate site plan for mechanical locations

Site Plan – Mechanical Relocation 1498 Rue Beauvais | Permit 26-11319

Anthony Rabito III

5/20/2026



Site Plan – Mechanical Relocation
1498 Rue Beauvais | Permit 26-11319

Anthony Rabito III

5/20/2026

Pool Pump Equipment (top left):

- Light Blue is the existing location of the pool pump equipment
- Dark Blue is the planned and proposed new location of the pool pump equipment

A/C Condenser (top right):

- Light yellow is the existing location of the condenser unit
- Orange dot is the planned and proposed new location of the condenser unit

CASE SUMMARY SHEET

CASE NUMBER: V26-06-20

DATE RECEIVED: May 15, 2026

DATE OF MEETING: June 9, 2026 and June 23, 2026

Address: 2315 Jefferson

Subdivision: Old Town of Mandeville, Square 32 Lot 3

Zoning District: R1X50 - Single-Family Existing Small Lots

Property Owner: Ashley Gardner & Michael Dubreuil

REQUEST: V26-06-20 – Ashley Gardner & Michael Dubreuil requests a variance to CLURO Section 7.5.2.3. R-1X Site Development Regulations, Old Town of Mandeville, Square 32 Lot 3, R1X50 - Single-Family Existing Small Lots, 2315 Jefferson

CASE SUMMARY: Encroach into the rear setback to construct an addition

The property at 2315 Jefferson is located on the north side of Jefferson St., west of Coffee St., and east of Depre St. The property measures 61’ x 133’ containing 8,113 sqft per a survey prepared by Randall Brown & Associates and dated 4.21.2020. The property is improved with a single-family residence.

The existing structure is located 27’ from the rear property line and 8’ from the east property line. The property has a frontage of 61’ requiring side setbacks of 12’. The applicant is requesting to encroach an additional 4’ into the rear setback to construct an addition to the structure. The addition will be in line with the existing structure and measure 15’ in length.

	Proposed	Required	Difference
Front Setback	25’	25’	0’
Rear Setback	23’	30’	-7’
West Side Setback	15’-9 ⁵ / ₈ ”	12’	+3’-9 ⁵ / ₈ ”
East Side Setback	8’	12’	-4”

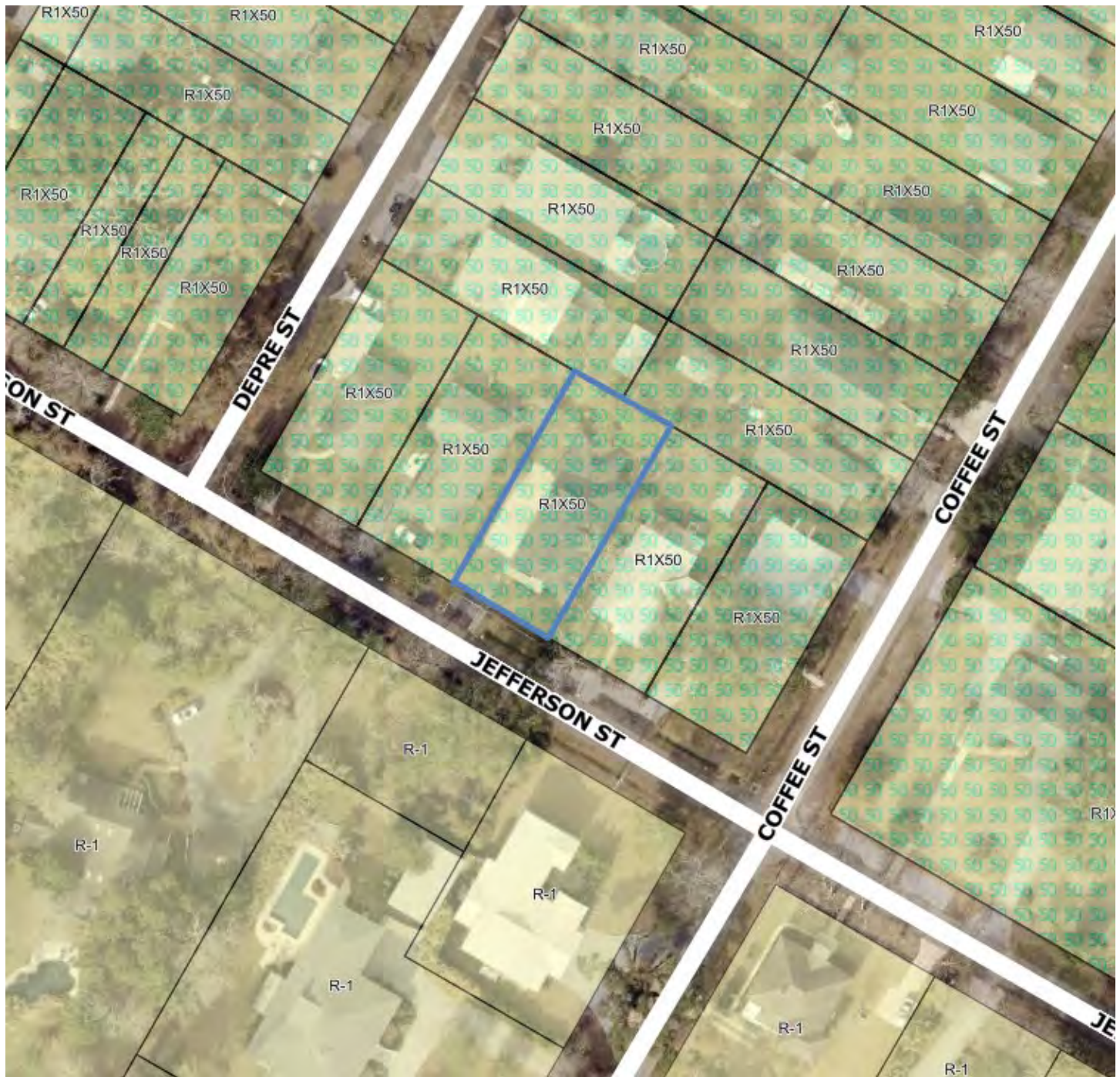
CLURO SECTIONS:

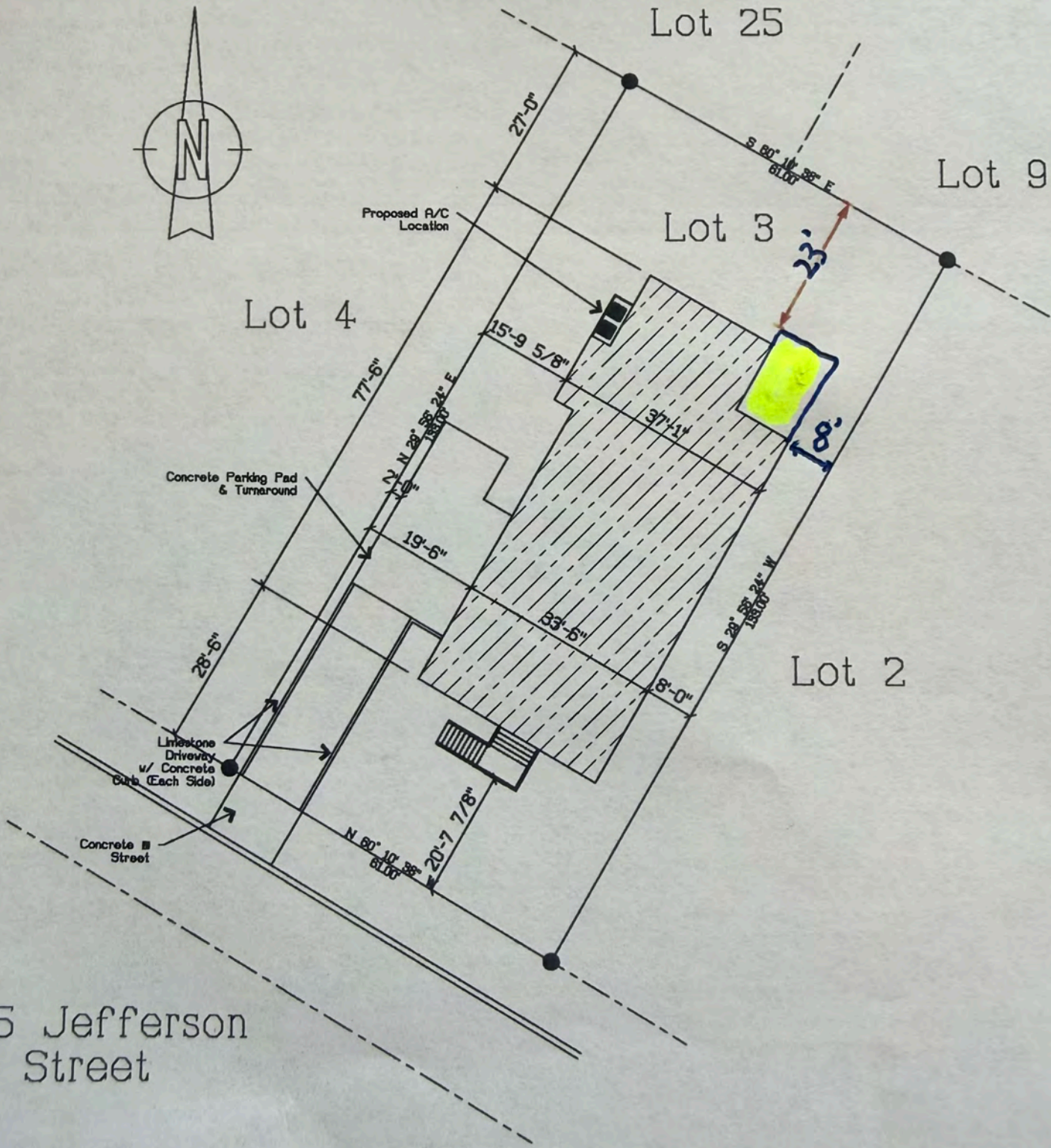
7.5.2.3. R-1X Site Development Regulations

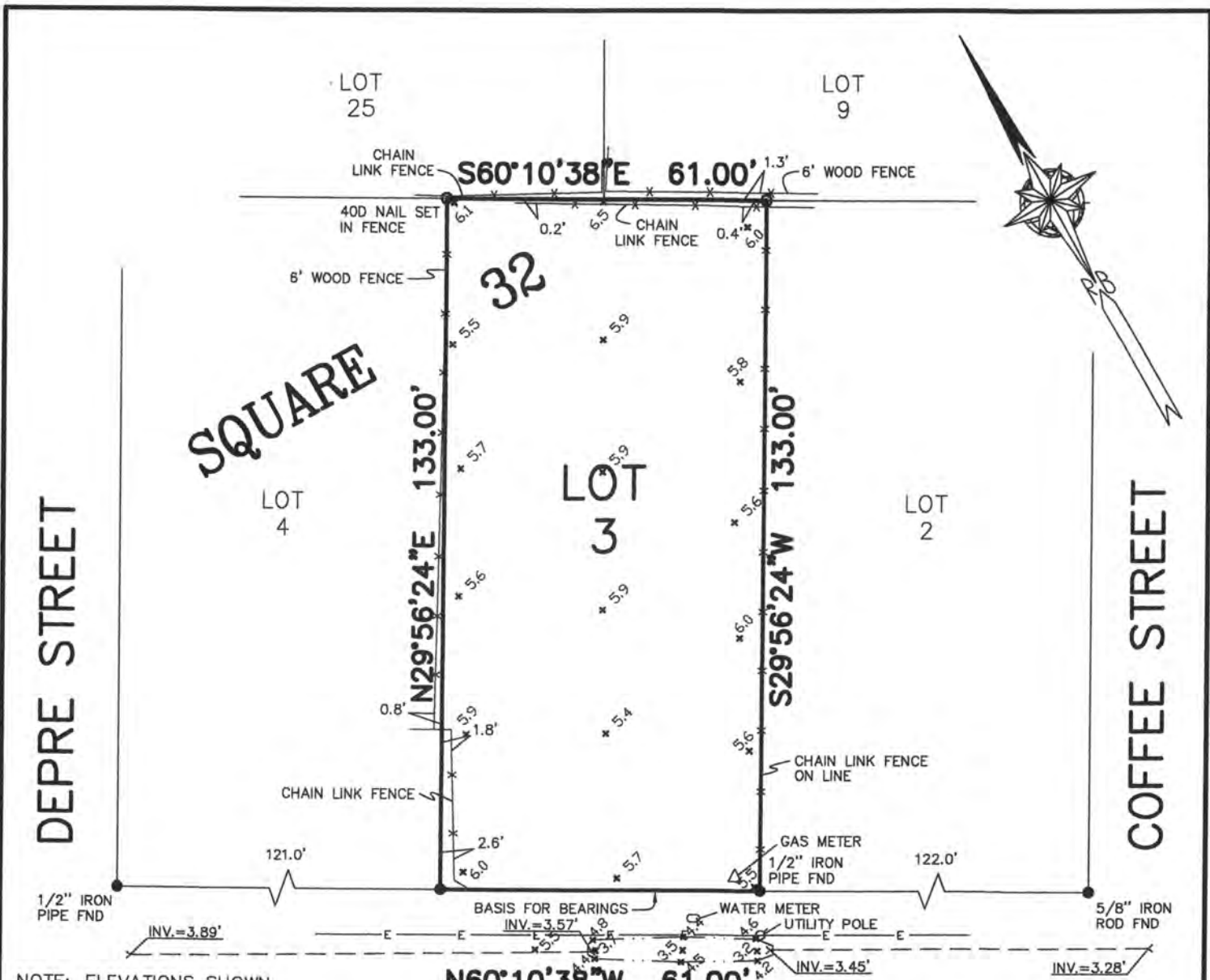
Each development site in the R-1X Single-Family Existing Residential Zoning District shall be subject to the following site development regulations in addition to any regulations applicable under the provisions of Article 8. The minimum lot area and width requirement within each specific R-1X district shall be noted on the Official Zoning District map within the specific R-1X district and determined as provided herein but under no circumstances shall the minimum lot width requirement be less than fifty (50) feet or the minimum lot area requirement be less than 5,000 square feet. For purposes of the creation of R-1X districts, the minimum lot area and widths shall be determined by the size of the predominant number of parcels of land under separate ownership from adjacent property within the area defined as the R-1X zoning district. A parcel of land under the same ownership, whether consisting of one or more lots of record, shall be considered a parcel of land in separate ownership from adjacent property owned by another individual or entity. Ownership shall be determined by tax rolls unless more recent information, recorded in the St. Tammany Parish Courthouse, is provided. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

1. Minimum Lot Area	5,000 Square feet or as noted on the Official Zoning Map for the district where the lot is located.
2. Minimum Building Area (Square feet per unit)	1,000 square feet per unit
3. Minimum Lot Width (Variable)	50' or the width of the predominant number of parcels of land under separate ownership from adjacent property within the zoning district (derived from the width of the existing subdivided parcels or a multiple thereof), whichever is the greater.
4. Minimum Yard Setback Requirements	
a. Front Yard	25'
b. Interior Side Yard*	10'
i. Frontage up to 50'	8' each side
ii. Frontage between 51' – 60'	10' each side
iii. Frontage between 61' - 75'	12' each side
iv. Frontage between 76' – 80'	13' each side
v. Frontage between 81' – 90'	15' each side
vi. Frontage between 91' – 100'	16' each side
vii. Frontage between 101' – 110'	18' each side
viii. Frontage between 111' +	20' each side
c. Street Side Yard	15'
d. Rear Yard	30'
5. Maximum Height of Structures	35'
6. Maximum Impervious Site Coverage	50%

*The side yard setbacks of the site may be shifted into the opposite side yard by up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.







NOTE: ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88(GEOID12A)

NOTE: BEARINGS SHOWN HEREON ARE REFERENCED TO LOUISIANA STATE PLANE COORDINATES, LA SOUTH ZONE 1702.

REFERENCE:
 PLAT SHOWING SUBDIVISION OF SQ. 32
 Map File No.: EM173
 Date Filed:

Note: I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS located in a special flood hazard area, it is located in Flood Zone AE.

FIRM Panel# 2202020427D Rev. 5-16-12

□ TBM=PAINTED SQUARE IN \odot OF STREET. ELEV.=5.5' (NAVD88)(GEOID12A)

NOTE: OWNER OR BUILDER RESPONSIBLE FOR OBTAINING SETBACKS BEFORE CONSTRUCTION BEGINS.

- EXISTING ELEVATION
- DENOTES 1/2" IRON PIPE SET UNLESS OTHERWISE NOTED
- DENOTES 1/2" IRON ROD FND UNLESS OTHERWISE NOTED

Survey of
LOT 3 * SQUARE 32 * TOWN OF MANDEVILLE
CITY OF MANDEVILLE
ST. TAMMANY PARISH, LOUISIANA
FOR
MICHAEL DUBREUIL

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

[Signature]
 RANDALL W. BROWN
 REG. NO. 04586
 Randall W. Brown, P.L.S.
 Professional Land Surveyor
 LA Registration No. 04586

Randall W. Brown
& Associates, Inc.
 Professional Land Surveyors
 228 W. Causeway Approach, Mandeville, LA 70448
 (985) 624-5368 FAX (985) 624-5309
 info@brownsurveys.com

Date: APRIL 21, 2020
 Survey No. 20236
 Project No. (CR5) D20236.TXT
 Scale: 1" = 30' ±
 Drawn By: J.E.D.
 Revised: 2-8-21/J.E.D./ADDED ELEVATIONS ONLY

CASE SUMMARY SHEET**CASE NUMBER: A26-06-01****DATE RECEIVED: May 21, 2026****DATE OF MEETING: June 9, 2026 and June 23, 2026****Address: 339 Marigny****Subdivision: Old Town of Mandeville, Square 13 Lot 15****Zoning District: R-1 - Single Family Residential District****Property Owner: Phyllis Marchand**

REQUEST: A26-06-01 – Mary Ann Simoneaux requests an appeal to the Zoning Commission regarding the decision of the Planning Director and the grading ordinance interpretation, Old Town of Mandeville, Square 13 Lot 15, 339 Marigny

CASE SUMMARY: An appeal of the compliance of a drainage plan for 339 Marigny

The subject property at 339 Marigny is located on the east side of Marigny Ave., south of Madison St., and north of Jefferson St. The property measures 63' x 202' and contains 12,726 sqft per a drainage plan prepared by Lowe Engineers and dated 2.12.2024. The property is improved with a single-family residence.

A permit was submitted in May of 2024 for the elevation of the structure to meet BFE + 2', and a paving permit was submitted in July of 2025 for a new driveway and sidewalk on the property. A final drainage inspection was conducted on 2.25.2026 for the paving permit and was passed.

The appellant met with Ms. Bartholomew, Mr. Siverd, and Mr. Parnell on May 5th, 2026 to discuss her concerns about the flooding of her property next door at 347 Marigny due to the actions taken in conjunction with the elevation and paving permits for 339 Marigny.

Two site visits were conducted, the first on May 7th after a significant rain event, and the second on May 12th after an inch of rain fell overnight. At the site visit on May 7th Mr. Siverd shot elevation grades on the property of 347 Marigny to compare against the submitted drainage plan, and determine if storm water had the ability to enter the City drains or if it was entering the property of 347 Marigny due to the recent improvements made.

The elevations shot demonstrate that there is a fall of over 6" from the rear to the front of the property, allowing for stormwater to enter the catch basins on Marigny. There were also numerous depressions identified at 347 Marigny which are contributing to the nuisance ponding experienced by the appellant. At the visit conducted on May 12th there was no standing water observed on the south side of 347 Marigny, but there was standing water observed on the north side of 339 Marigny.

It is the opinion of the Planning Department and Public Works that there is no apparent violation of the drainage plan submitted for 339 Marigny.

CLURO SECTIONS:**4.3.4.1. Procedures for Filing Appeals**

1. Any person aggrieved by a decision of any of the officers, departments, or City staff that administer the provisions of these land use regulations may appeal to the Zoning Commission within thirty (30) days after the decision has been rendered. If a building or structure is believed by the Building Inspector to be unsafe or dangerous, the Planning Director may limit the time for such appeal to a shorter period with the consent of the Mayor.
2. City officials or employees shall produce all papers, correspondence, and records requested by the Zoning Commission for any hearing or meeting held by the Board.
3. An appeal stays all proceedings and furtherance of the action appealed from, unless the Building Inspector certifies to the Commission, after a notice of appeal shall have been filed with the Planning Director, by reason of facts stated in the certificate, that a stay would, in his opinion, cause imminent peril of life or property. In such cases, proceedings shall not be stayed other than by a restraining order which may be granted to the Zoning Commission by the District Court of the parish, and notice to the City Clerk and on due cause shown.
4. The Zoning Commission shall adopt rules of procedure to fix a reasonable time for hearing appeals, give notice thereof, as well as due notice to the interested parties, and shall decide the appeal within a reasonable time and in accordance with the Adopted Rules and Procedures of the Zoning Commission. At the hearing, any party may appear in person or by an attorney.





MANDEVILLE

A Historic Lakefront Community

Department of Planning and Development

CLAY MADDEN
MAYOR

CARA BARTHOLOMEW, AICP
DIRECTOR, DEPT. OF PLANNING & DEVELOPMENT

CITY COUNCIL:
JASON ZUCKERMAN
SCOTT DISCON
CYNTHIA STRONG-THOMPSON
KEVIN VOGELTANZ
JILL MCGUIRE

May 12, 2026

Mary Ann Simoneaux
347 Marigny Ave
Mandeville, LA 70448

RE: Drainage Complaint

Mrs. Simoneaux,

At your request, a drainage inspection was completed by Clif Siverd with the Dept. of Public Works on Thursday May 7, after a significant rain event. Mr. Siverd, with your permission, shot elevation grades on your property. The property owner at 339 Marigny submitted a drainage plan by Lowe Engineers dated February 12, 2024.

Mr. Siverd went to the property to see if the storm water has the ability to enter the City drains at the property line of 339 and 347 Marigny and observe if storm water is entering 347s yard due to recent improvements and elevation of the home at 339.

The elevations demonstrate that storm water can make it to the catch basins on Marigny with a difference of fall over 6" from the rear to the front on your property. There were numerous depressions on your property that are contributing to the nuisance ponding you are experiencing. Looking under and over the fence, into 339's property it appeared the property is slightly lower and is accommodating run off from the property.

An additional site visit was conducted on May 12, 2026, the morning after an inch of rain fell overnight. No standing water was observed on 347 Marigny on the south side. There was standing water on the north side of 339 Marigny.

There is no apparent violation of the drainage plan submitted.

ATTACHED:

Drainage Plan with elevation
Photos taken 5.07.2026
Photos taken 5.12.2026

Sincerely,

Cara Bartholomew, AICP

Director, Dept. of Planning & Development









Photos 5.07.26





LOT 13

(60' FRENCH)

S30°W 63.95'

LOT 15

"13"

LOT 16

MADISON STREET
HOME LINE

Concrete slab

SQUARE



NOTE: EXISTING DRAINAGE TO REMAIN UNCHANGED.

[F.F.E.=12.0'] = PROPOSED ELEVATIONS

NOTE: ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88.

LEGEND

- = GAS METER
- = WATER METER
- = POWER POLE
- = DROP INLET
- = FENCE
- = OVERHEAD ELEC

NOTE: CITY OF MANDEVILLE HAS A 2' FREEBOARD ADDED TO BASE FLOOD ELEVATION.

BUILDING SETBACKS:	REFERENCE SURVEY:
FRONT: N/A	A survey by John E. Bonneau & Associates with survey no. 2001 311 dated 5/8/01
SIDE: N/A	
SIDE STREET: N/A	BASIS FOR BEARINGS:
REAR: N/A	The Reference Survey.

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "AE" with a Base Flood Elevation of 10' in accordance with Community Panel No.220202 0427 D; Revised: MAY 16, 2012

NOTE: Setback lines shall be verified by owner or contractor prior to any construction, as an abstract has not been performed by the undersigned.

NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS C SURVEY.

A SURVEY MAP OF
LOT 15, SQUARE 13, TOWN OF MANDEVILLE

in
The City of Mandeville
St. Tammany Parish, Louisiana
for
PHYLLIS MARCHAND

Survey No. 24-140063
Date: FEBRUARY 12, 2024

Drawn by: SPH
Revised: 3/18/24(CLURO); 6/3/24(OFFICE-SH)
Scale: 1" = 40'

This Survey is Certified
True and Correct By



Professional Land Surveyors
Planners and Consultants
1011 NORTH CAUSEWAY BLVD., SUITE 34
MANDEVILLE, LA 70471
OFFICE NO. (985)845-1012
FAX NO. (985)845-1778
www.loweengineers.com
e-mail: MandevilleTeam@loweengineers.com

STATE OF LOUISIANA
Professional Land Surveyor
Registration No. 4423
John E. Bonneau

CASE SUMMARY SHEET**CASE NUMBER: A26-06-02****DATE RECEIVED: May 2, 2026****DATE OF MEETING: June 9, 2026 and June 23, 2026****Address: Hermitage Subdivision****Subdivision: Hermitage on the Lake****Zoning District: R-1 - Single Family Residential District****Property Owner: Hermitage Subdivision HOA**

REQUEST: A26-06-02 – Jason Matlock representing Hermitage Subdivision HOA requests an appeal to the Zoning Commission regarding the decision of the Planning Director and the interpretation of CLURO Section 5.2.6.1. Installation of Culverts, Hermitage on the Lake, R-1 - Single Family Residential District, Hermitage Subdivision

CASE SUMMARY: An appeal of the permit denial to culvert the entire subdivision

Hermitage on the Lake subdivision is located on the south side of Monroe St., west of the West Beach Parkway subdivision.

On May 18th the HOA president of the subdivision submitted a culvert application to install culverts on the remaining 9 lots and completely culvert the subdivision. That same day the Public Works Review was denied with the reasoning "The Department of Public Works has not allowed full covering of roadside drainage ditches for the past 5 years. The maximum allowed is 40 continuous linear feet. Reference CLURO 5.2.6.1 "Installation of Culvert" 8. Culverts shall be limited in subdivisions designed with "open ditches" to ensure proper surface drainage. No more than forty (40) feet of culverting shall be allowed for each lot of record without the express written authorization of the Public Works Director of his designee".

The appellant is requesting an appeal of this denial to complete the culverting of the remaining lots in the subdivision to comply with the precedent set by the architectural review committee for the subdivision.

CLURO SECTIONS:**4.3.4.1. Procedures for Filing Appeals**

1. Any person aggrieved by a decision of any of the officers, departments, or City staff that administer the provisions of these land use regulations may appeal to the Zoning Commission within thirty (30) days after the decision has been rendered. If a building or structure is believed by the Building Inspector to be unsafe or dangerous, the Planning Director may limit the time for such appeal to a shorter period with the consent of the Mayor.
2. City officials or employees shall produce all papers, correspondence, and records requested by the Zoning Commission for any hearing or meeting held by the Board.
3. An appeal stays all proceedings and furtherance of the action appealed from, unless the Building Inspector certifies to the Commission, after a notice of appeal shall have been filed with the Planning Director, by reason of facts stated in the certificate, that a stay would, in his opinion, cause imminent peril of life or property. In such cases, proceedings shall not be stayed other than by a restraining order which may be granted to the Zoning Commission by the District Court of the parish, and notice to the City Clerk and on due cause shown.
4. The Zoning Commission shall adopt rules of procedure to fix a reasonable time for hearing appeals, give notice thereof, as well as due notice to the interested parties, and shall decide the appeal within a reasonable time and in accordance with the Adopted Rules and Procedures of the Zoning Commission. At the hearing, any party may appear in person or by an attorney.

5.2.6.1. Installation of Culverts

1. Any person who desires to install or have installed culverts in any public drainageways or servitudes of drain shall make application to the City of Mandeville for permission to install such culverts.
2. The Public Works Director shall determine the appropriate culvert size which may be installed by the applicant. The culvert shall be installed in accordance with the material specifications, depth and grade requirements established by the Public Works Director.
3. Culvert installation for both residential and commercial construction shall be the responsibility of the owner and performed by his/her representative. At completion of the permitted project, a final certificate from a Louisiana Licensed Civil Engineer is required stating the installation of the culvert(s) was performed not to impede upstream or downstream drainage before occupancy is granted. The certificate shall indicate MSL inverts for the installed culvert(s) and its location on the property.
4. Installation shall be completed within sixty (60) days of City's approval of the culvert installation or the approval shall be null and void.
5. No person shall construct any improvement on, across, over or through a public drainage way or public servitude of drain, or any part or parts thereof, unless and until the proposed construction is approved by the Building Inspector or his designee after review by the Public Works Director or City Engineer.
6. In all instances in which concrete parking or access facilities (such as, by way of illustration only, parking spaces, walkways, or driveways) are constructed over, across, on or through a public drainage way or public servitude of drain, said construction shall include the provision of construction or expansion joints two and one-half (2.5) feet on each side of the center line of any culverts underlying said construction. In all cases in which there are no

culverts either underlying the proposed construction or to be installed in connection therewith, said construction or expansion joints shall be located within one (1) foot of the boundaries of said public drainage way or servitude of drain. The provisions of this subsection (6) shall not apply to constructions comprised entirely of earthen, gravel or shell materials.

7. The owner of the property accessed across culverts installed in public rights-of-way shall be required to maintain said culverts in good working order, clear of obstruction and shall be required to replace culverts damaged or deteriorated to the point of requiring replacement as determined by the Director of Public Works.
8. Culverts shall be limited in subdivisions designed with "open ditches" to ensure proper surface drainage. No more than forty (40) feet of culverting shall be allowed for each lot of record without the express written authorization of the Public Works Director of his designee.





USE OF RIGHT OF WAY PERMIT APPLICATION

1. APPLICANT INFORMATION (Please print or type)

Applicant Name Jason Matlock HOA President
Applicant Mailing Address 444 W Chase Ct City/State/ZIP Mandeville, LA 70448
Contact Phone 504-382-6996 Email j-matlock@hotmail.com
Property Owner _____ Phone/Email _____
Owner Mailing Address _____ City/State/ZIP _____

2. PROPERTY INFORMATION

Subdivision Hermitage on the Lake Square _____ Lot #31, 28, 38, 33, 20,
14, 11, 10, 9
Street Address _____
VACANT LOT? EXISTING STRUCTURE ON PROPERTY? _____

3. PROPOSED ROW USE

Is the proposed work in the ROW to be:

Landscaping New Driveway Utility Other (Explain) full enclosure for subdivision

4. GROUND DISTURBANCE INFORMATION

Length of ROW area required _____ Proposed Width of ROW required _____

Type of Materials being installed _____

Name of the Nearest Cross Street

Monroe Distance from Cross Street _____

Direction from Cross Street (circle one) East West North South

**ATTACH A SITE PLAN, TO SCALE, SHOWING EXISTING AND PROPOSED CONSTRUCTION
MORE DETAILED DRAWINGS MAY BE REQUIRED BEFORE A PERMIT MAY BE ISSUED**

All driveway or construction in the ROW must be completed in accordance with the Comprehensive Land Use Regulations Ordinance (CLURO), and any other additional requirements as directed by the City of Mandeville. The permit applicant and/or property owner understand and agree that a representative of the City of Mandeville may make scheduled or unscheduled inspections of the property upon the issuance of the permit.

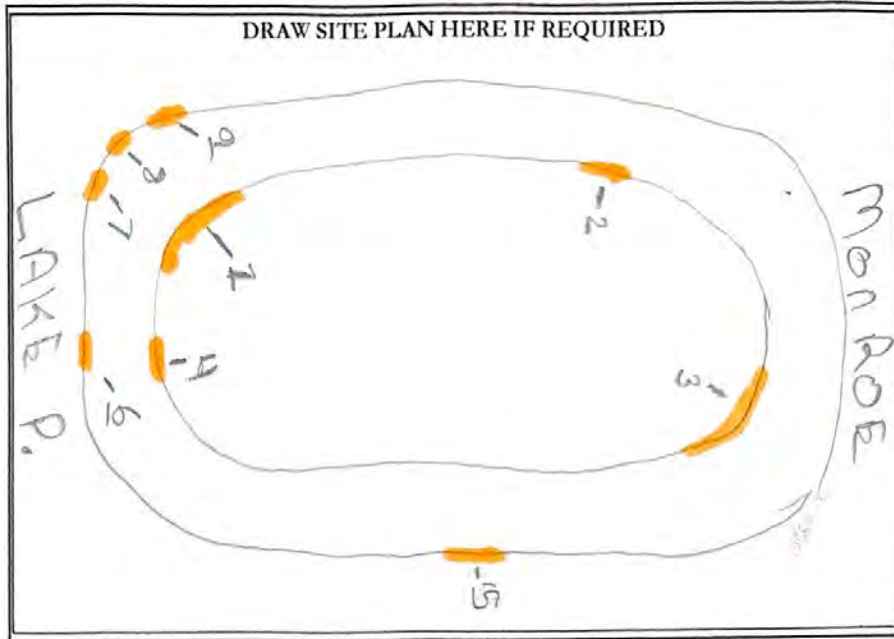
1100 Mandeville High Blvd., Mandeville, LA 70471 - (985) 624-3169

I, Jason Matlock, the undersigned, have carefully reviewed this application and my answers to all
PRINT NAME OF APPLICANT/AGENT
questions. To the best of my knowledge, the answers are all true and correct.

SIGNATURE of Applicant/Agent or Attorney _____ Date 1-2-26

CITY OF MANDEVILLE
DRIVEWAY/CULVERT PERMIT APPLICATION (CON'T)

DRAW SITE PLAN HERE IF REQUIRED



CITY USE ONLY BELOW LINE

CATCH BASIN REQUIRED? YES NO _____

PIPE DIAMETERS

UPSTREAM _____"

DOWNSTREAM _____"

REQUIRED DIAMETER _____"

APPROVED LENGTH _____

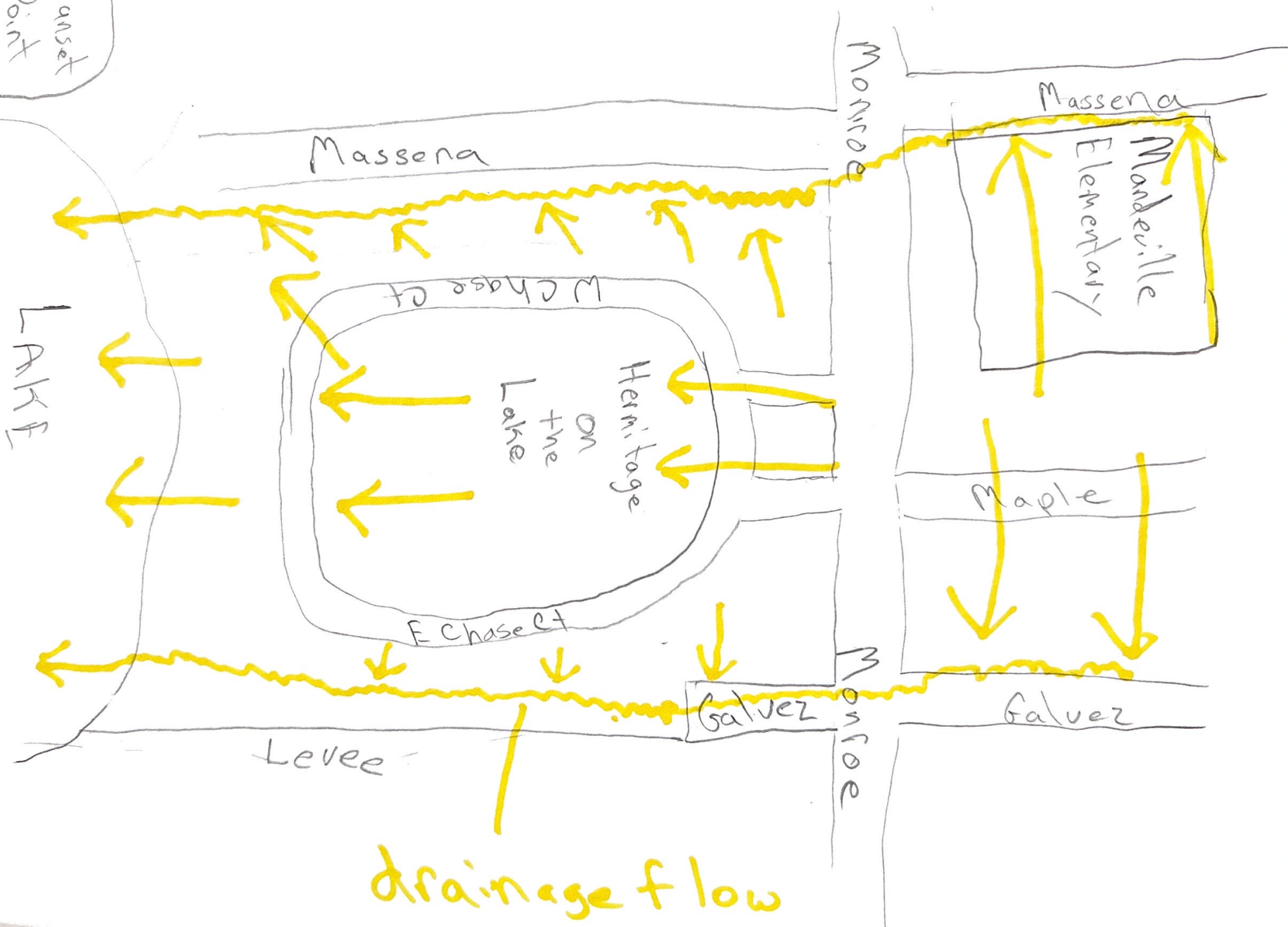
SALTWATER INTRUSION LOCATION? YES NO

1100 Mandeville High Blvd., Mandeville, LA 70471 - (985) 624-3169

APPLICATION APPROVED BY _____ DATE _____

1100 Mandeville High Blvd., Mandeville, LA 70471 - (985) 624-3169

Sanset Point



drainage flow

Frontage

#31 - 323.08'

#28 - 100'

#38 - 292.40'

#33 - 105.89'

#20 - 100'

#14 - 125'

#11 - 68'

#10 - 68.16'

#9 - 78.64'