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CASE SUMMARY SHEET**CASE NUMBER: V26-03-06****DATE RECEIVED: January 28, 2026****DATE OF MEETING: March 10, 2026 and March 24, 2026****Address: 149 Coffee****Subdivision: Old Town of Mandeville, Square 26 Lot Z****Zoning District: R-1 Single Family Residential District****Property Owner: Josh & Luci Brandner****REQUEST: V26-03-06 – Josh & Luci Brandner requests a variance to CLURO Section 9.2.5.2. Vegetation Protection Zones, Old Town of Mandeville, Square 26 Lot Z, R-1 Single Family Residential District, 149 Coffee****Previous Cases: V22-04-12 – Live oak protection encroachment****CASE SUMMARY: Place a fence within the vegetation protection zone of a live oak**

The property at 149 Coffee is located on the east side of Coffee St., north of Lakeshore Dr., west of Carroll St., and south of Jefferson St. The property measures 280' x 180' and contains 50,400 sqft per a survey prepared by Randall Brown & Associates and dated 11.16.2022. The property is improved with a single-family residence.

There are five live oak trees located on the property. In May 2022 a variance was approved to allow the construction of an addition to the main residence within the vegetation protection zones of two of the live oak trees. A permit was issued in 2023, and construction is in progress for the elevation of the main structure and construction of an addition.

Prior to the start of construction there was a wrought iron fence installed along the front property line and located within the vegetation protection zone of the live oak at the front of the property. The homeowners want to replace the fence with a new iron fence and brick columns. Per the submitted fence specifications there will be a 3 ½" concrete pad running underneath the length of the fence, with 12" footings located at the gate piers. The concrete pad has already been constructed without approval.

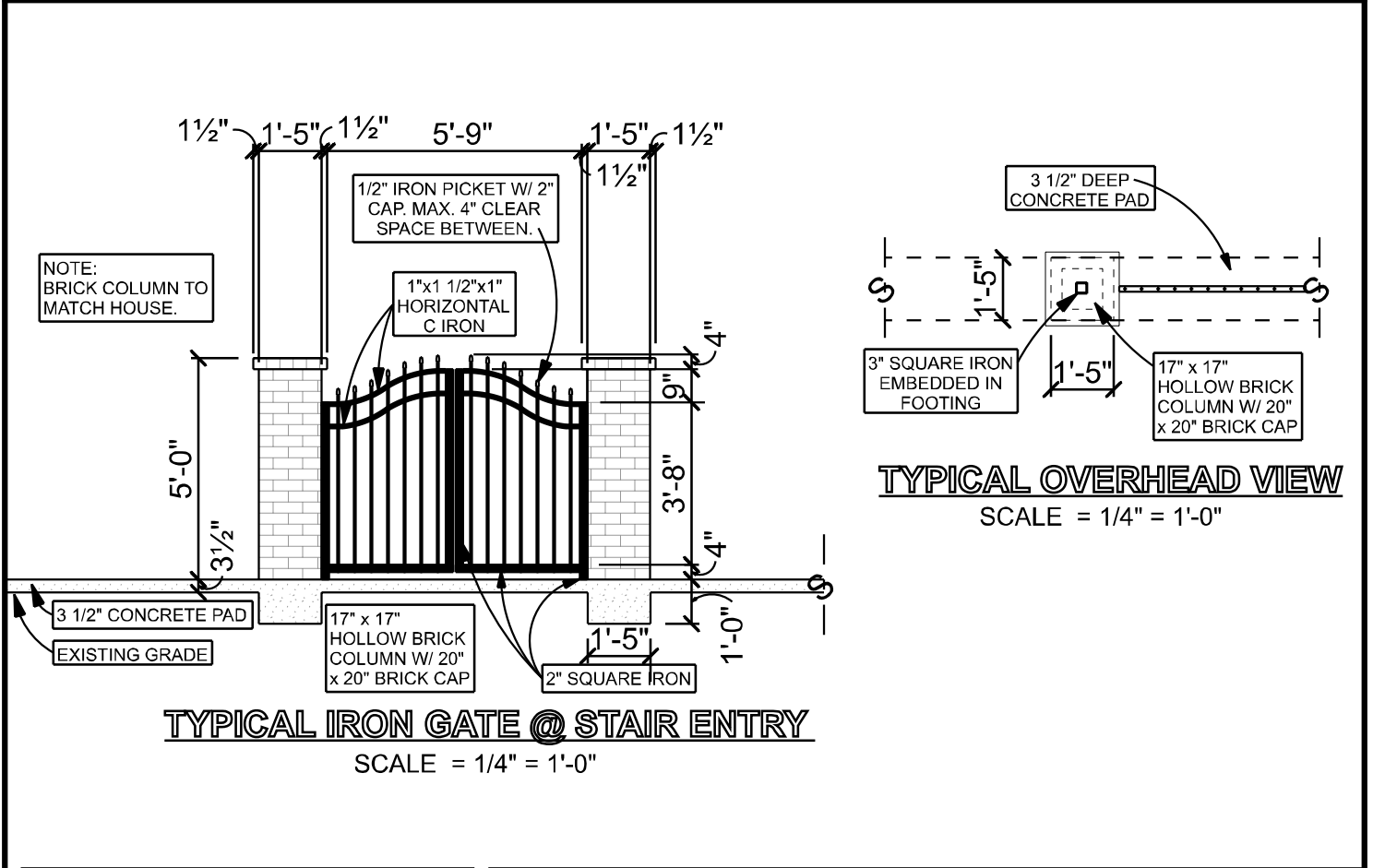
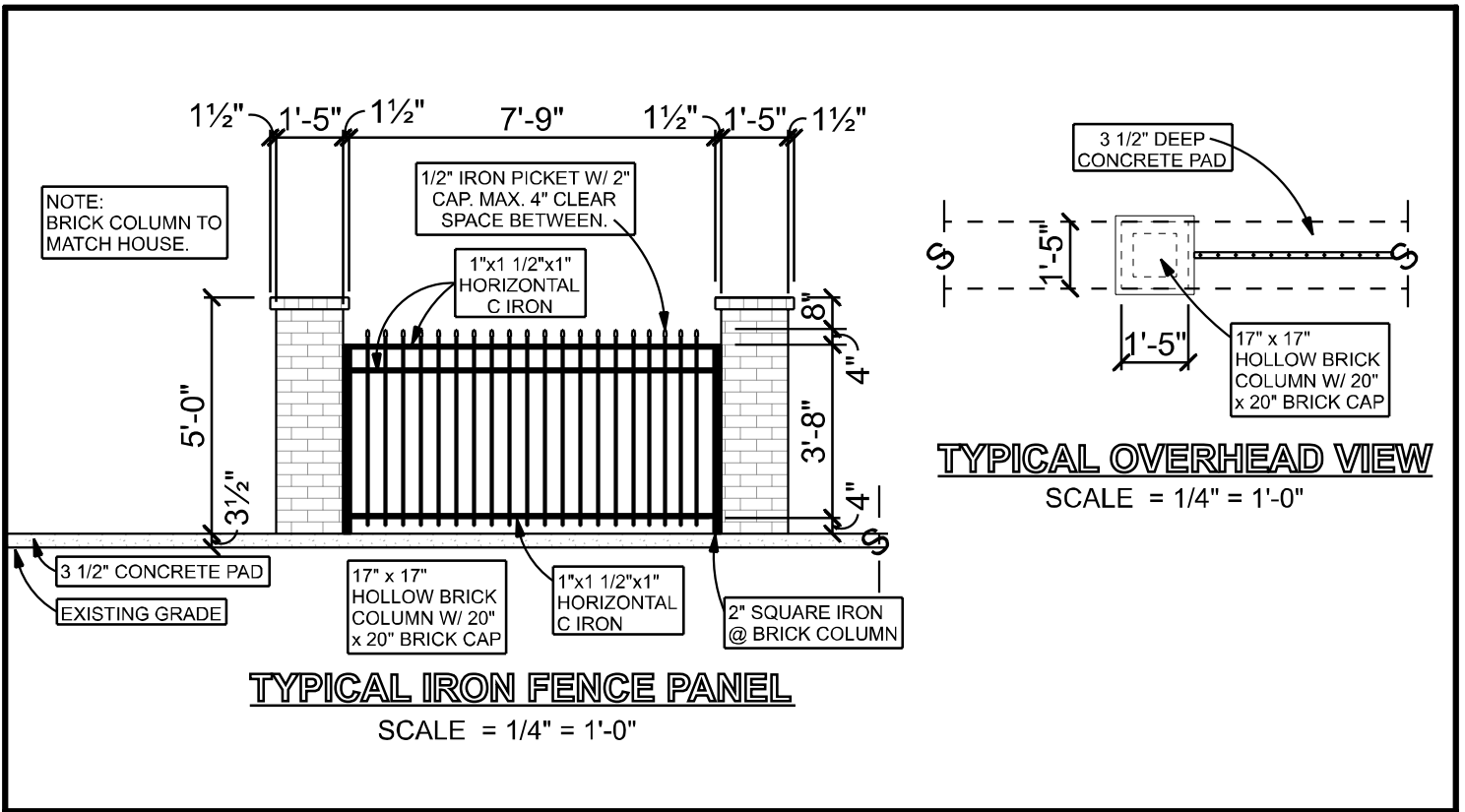
The City Arborist performed a site inspection and had the following comments: *"The owners of 149 Coffee installed a fence without first obtaining a permit. That permit could have been approved if it was submitted prior to the installation and showed that the soil disturbance was no greater than 3 inches deep within the dripline of the tree. This is a unique style of fence construction that appears to use footing rather than posts. After an onsite inspection, my assessment is that the tree roots were harmed. I measured about 12 inches of disturbance (depth) near the base of the tree and at least 5 inches in several other places. The CULRO - specifically article 9.1.2 - does not give me the power to approve of something with this much disturbance. Therefore, a variance is required for something of this depth within the dripline of the tree."*

At the last meeting the Commission requested a report from Bayou Tree Service. The report states that *"By our assessment, the placement of the concrete footing wall had little to no impact to the health of the live oak."* The report details that air spading was performed about 3"-4" below existing grade behind the concrete footing and no major roots were observed to be damaged. There were some small fibrous roots that were cut, but nothing that would be concerning to the health of the tree. There was one major root found that was not cut or damaged and it continued onto the other side of the wall intact.

CLURO SECTIONS:**9.2.5.2. Vegetation Protection Zones**

1. 1. An area extending at least fifteen (15) feet in all directions from the trunk of any tree required or proposed to be preserved to meet the requirements of this or encompassing a minimum of two-thirds (2/3) of the entire canopy area of the tree, whichever is greater, shall be required to be maintained undisturbed under the provisions of this Article. This area is defined as the Vegetation Protection Zone.
2. 2. Exception: The Vegetation Protection Zone for Live Oaks will be a circle with a radius which is eighty-two (82) percent of the canopy of the tree, measured from the trunk to the drip line. A barrier shall be erected and maintained around this area at all times during construction. No soil deposits, construction materials, equipment, or other materials shall be temporarily or permanently stored in locations within or immediately adjacent to the Vegetation Protection Zone which would cause suffocation of root systems of trees required or proposed to be preserved. No paving with concrete, asphalt, or other impervious material shall be allowed within the Vegetation Protection Zone. No structure shall be placed or constructed at any time within the Vegetation Protection Zone.
3. 3. FEMA elevation exception. Any structure required to be elevated pursuant to application, participation, grant receipt or other involvement in any FEMA elevation program shall be permitted to construct or perform operations within the Vegetation Protection Zone after administrative review and written approval. Structures that are subject to this exception shall not be required to submit for any Vegetation Protection Zone variance and may be permitted for work after review and administrative approval. No work on any structure that asserts an entitlement to elevation within the Vegetation Protection Zone shall commence without written approval of the administration.






**CLARKE'S DESIGN
SERVICE LLC**

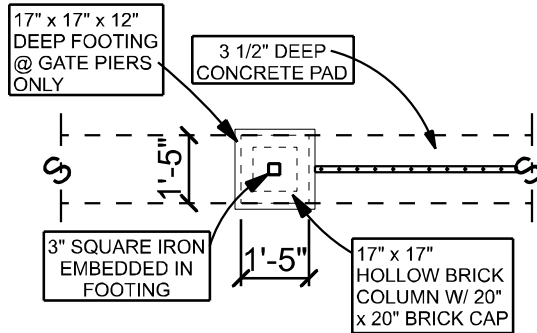
WWW.CLARKESDESIGN.COM

CONTACTS

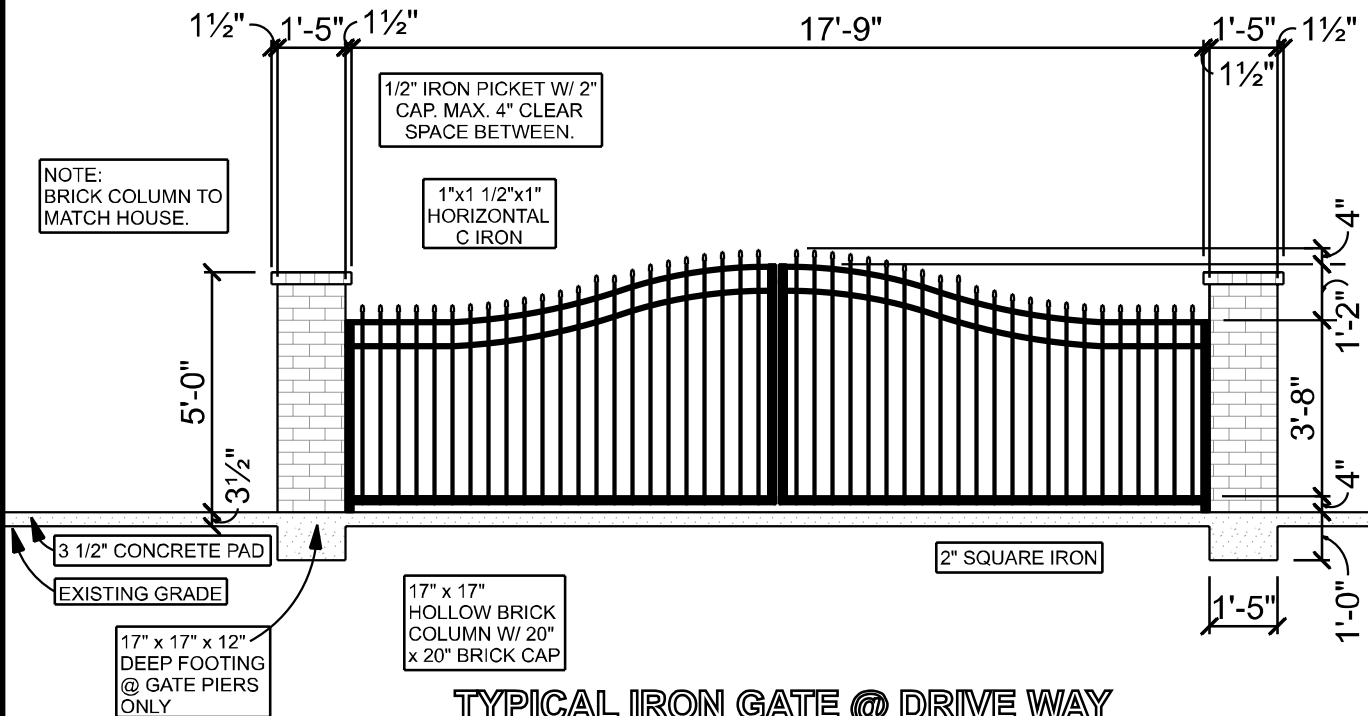
PH. (504) 723-0696
PH. (985) 641-0531

149 COFFEE STREET
CITY OF MANDEVILLE, LA

1 OF 2



TYPICAL OVERHEAD VIEW
SCALE = 1/4" = 1'-0"



TYPICAL IRON GATE @ DRIVE WAY
SCALE = 1/4" = 1'-0"



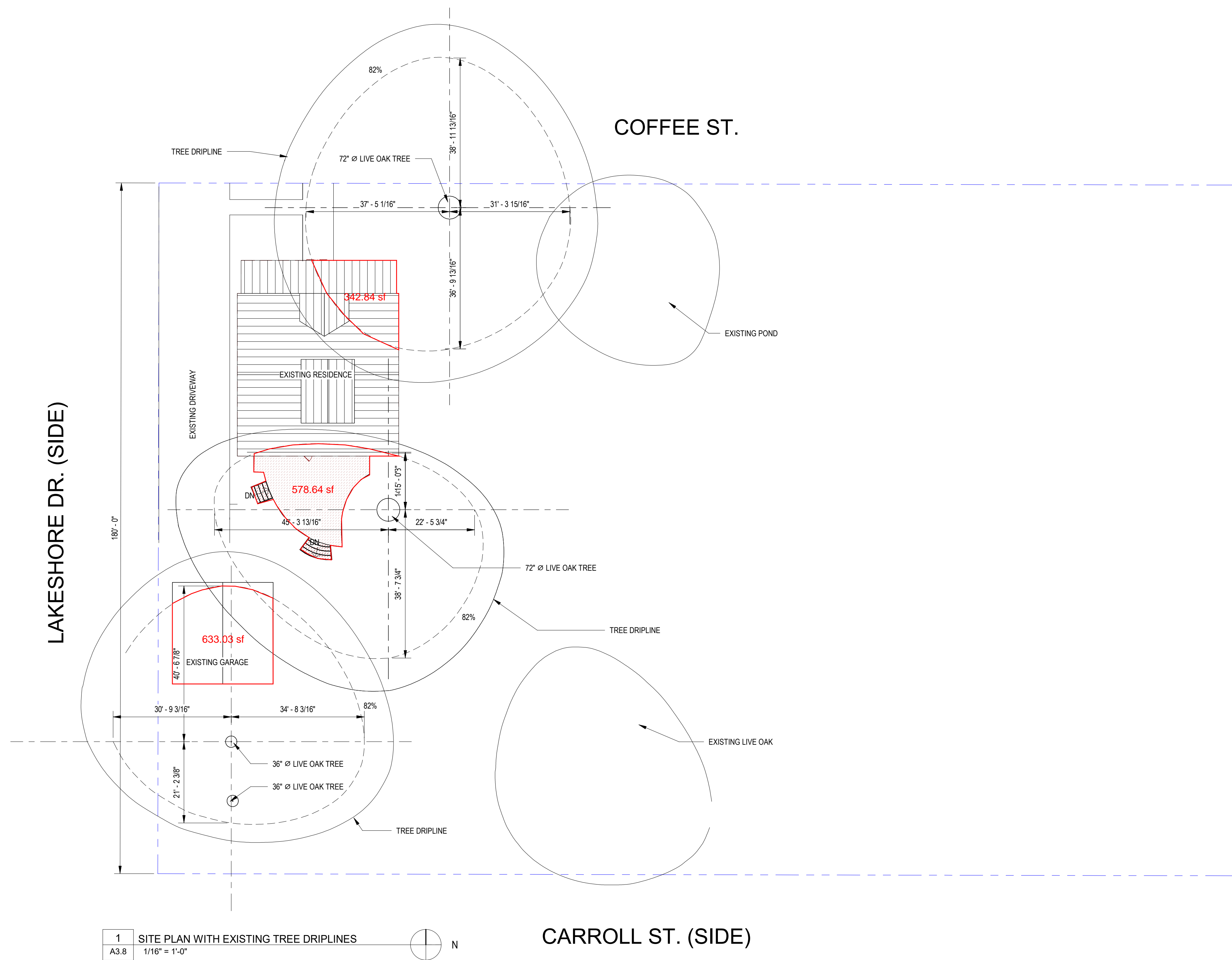
**CLARKE'S DESIGN
SERVICE LLC**

WWW.CLARKESDESIGN.COM

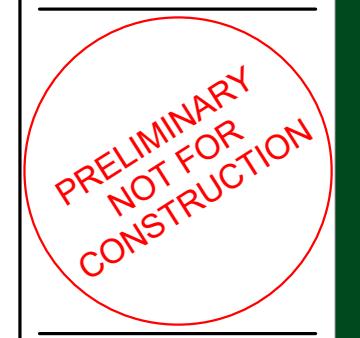
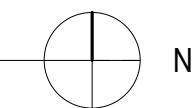
CONTACTS

PH. (985) 641-0531

**149 COFFEE STREET
CITY OF MANDEVILLE, LA**



1 SITE PLAN WITH EXISTING TREE DRIPLINES
 A3.8 1/16" = 1'-0"



Project no.	21029
Drawn by:	JMD
Checked by:	JFD
Date:	3/21/22
Issued for:	PRELIMINARY

NO.	DESCRIPTION	DATE

From: [Luci Brandner](#)
To: [Alex Weiner](#)
Subject: Fwd: 149 coffee st
Date: Tuesday, April 7, 2026 5:18:18 PM
Attachments: [image003.png](#)

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Alex,
See forwarded email from the arborist at Bayou Tree Service.
Thanks,
Luci

----- Forwarded message -----

From: **Joey Fallas** [REDACTED]
Date: Tue, Mar 24, 2026 at 11:36 AM
Subject: 149 coffee st
To: Luci Brandner <[REDACTED]>

Hey Ms. Luci,

After air spading and exposing the root system of the live oak where the new concrete footing for the fencing that was poured, we did not see any major roots damaged. We air spaded about 3-4" below existing grade behind the concrete footing. There were some small fibrous roots that were cut in those few inches but nothing that would be concerning for the health of the tree. We found the bottom of the concrete footing around that 3-4" mark with roots intact and growing under the footing. We found one major root that was not cut or damaged and it continued onto the other side of the wall intact. **By our assessment, the placement of the concrete footing wall had little to no impact to the health of the live oak.** The live oak tree is currently on a fertilization program with visits 3 times per year delivering key nutrients throughout the year. We have also aerated the soil under the canopy out to drip lines via "grow gun". Grow gunning injects air and diatomaceous clay "zeolite" into the soil to alleviate soil compaction from construction activities.

Thank you,

Joey Fallas

LA Arborist 2156

ISA Arborist SO-7318A



Office: 504-837-8733 Ext. 115

Mobile: 504-388-6721

Fax: 504-835-8733

Address: 264 Industrial
Ave, New Orleans, LA
70121

www.bayoutree.com



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Luci Brandner, PharmD, BCPS



From: [Rad Dickson](#)
To: [Luci Brandner](#); [Cara Bartholomew](#)
Cc: [Joshua Stephen Brandner](#); [Sean Killeen](#); [Mike Demoran](#)
Subject: RE: bayou tree service - 149 Coffee st
Date: Tuesday, November 4, 2025 2:19:35 PM
Attachments: [image001.png](#)
[image004.png](#)
[image005.png](#)

Lucy,

I do think that vertical mulching is a great idea and will benefit the tree. I also could have approved a fence permit if it was submitted prior to the installation and showed that the soil disturbance was no greater than 3 inches deep within the dripline of the tree. However, I disagree with your arborist's assessment that the tree roots were not harmed. I measured about 12 inches of disturbance (depth) near the base of the tree and at least 5 inches in several other places. The CULRO -specifically article 9.1.2 does not give me the power to approve something with this much disturbance. Therefore, a variance is still required for something of this depth within the dripline of the tree.

I do apologies for the extra time, inconvenience, and money. However, it is not within my discretion to permit this kind of activity and shall be up to the Planning and Zoning Commission to make this sort of decision.

Sincerely,

Rad Dickson

Planner/Arborist

City of Mandeville

3101 East Causeway Approach

Mandeville, LA 70448

[CLURO](#)

985.626.3144



From: Luci Brandner [REDACTED]
Sent: Tuesday, November 4, 2025 1:48 PM
To: Rad Dickson <rdickson@cityofmandeville.com>; Cara Bartholomew <cbartholomew@cityofmandeville.com>
Cc: Joshua Stephen Brandner <[REDACTED]>; Sean Killeen <[REDACTED]>; Mike Demoran <[REDACTED]>
Subject: Re: bayou tree service - 149 Coffee st

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Great! Since we agreed when I was in the office a few weeks ago that our variance included everything on the submitted plans (elevation and addition-which included the stairs and fence) then we are free to proceed with the fence without an additional waste of time and money?

Luci

On Tue, Nov 4, 2025 at 11:46 AM Rad Dickson <rdickson@cityofmandeville.com> wrote:

Very good, this is the same recommendation I had, I had just used the term vertical mulching. Should really help out with the compacted soil on the site.

From: Cara Bartholomew <cbartholomew@cityofmandeville.com>

Sent: Tuesday, November 4, 2025 11:42 AM

To: Luci Brandner [REDACTED]

Cc: Joshua Stephen Brandner [REDACTED]; Sean Killeen <[REDACTED]>; Mike Demoran [REDACTED]; Rad Dickson <rdickson@cityofmandeville.com>

Subject: Re: bayou tree service - 149 Coffee st

I have copied Rad on this email.

Cara Bartholomew, AICP

Director, Dept. of Planning & Development
City of Mandeville
3101 East Causeway Approach
Mandeville, LA 70448
985.624.3103



From: Luci Brandner [REDACTED]

Sent: Tuesday, November 4, 2025 11:37 AM

To: Cara Bartholomew <cbartholomew@cityofmandeville.com>

Cc: Joshua Stephen Brandner [REDACTED]; Sean Killeen [REDACTED]; Mike Demoran [REDACTED]

Subject: Fwd: bayou tree service - 149 Coffee st

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Cara,

I don't have Rad's contact info to forward this email to him. This is from the arborist at Bayou Tree Service who has been coming to service our trees since 2021. I can also forward over our tree health plan if needed - we have the grow gun treatment scheduled for next week.

Luci

Begin forwarded message:

From: Joey Fallas [REDACTED]
Date: October 17, 2025 at 1:28:47 PM CDT
To: [REDACTED]
Subject: bayou tree service - 149 Coffee st

Ms. Brandner,

After looking at the trees on your property at 149 coffee st I recommend the two big live oaks (one in front of the house and the one right in back of the house) be put on our tree health care program so we can monitor them for the next year or so with a visit from us three times a year doing different fertilizations for the season we are in. I also recommend that we grown gun the front tree which is to help break up that compacted soil during all the construction. After looking at the new concrete for the new fencing to put in I don't see any real negative impact that would have done to the live oak in front. The concrete pour seems to be at grade level or one to two inches below grade where no major roots were affected. The trees over all still look in good condition but these steps taken with the tree health care program and the grow gun should help keep the tree in good condition.

Thank you,

Joey Fallas

LA Arborist 2156

ISA Arborist SO-7318A



[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

www.bayoutree.com



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Luci Brandner, PharmD, BCPS





Pruning, Fertilization & Planting
 Large Scale Transplanting
 Arboricultural Consulting
 Preservation
 Lightning Protection
 Insect & Disease Treatment
 Tree & Stump Removal

Accredited Member of the
 Tree Care Industry Association

Member of the International
 Society of Arboriculture

Member of the New Orleans
 Horticulture Society

Proposal

Job Name
Brandner 20251015

Ms. Luci Brandner
 149 Coffee St
 Mandeville, LA 70448

Phone: [REDACTED]

Monday, November 3, 2025

Salesperson: Joey Fallas

Email: [REDACTED]

Phone: [REDACTED]

Worksite: 149 Coffee St
 Mandeville, LA 70448

#	Item	Description	Qty	Cost
1	Live Oaks	Tree Health Care Program	2	\$1,280.00

Site Visit:

- Program is administered per tree, not per property
- Initial site visit includes
 - DBH (diameter at breast height)
 - Compaction Test
 - Health Assessment
 - Hazard Assessment
 - Termite Inspection
 - Log tree data/pictures for Tree Valuation

Application Schedule:

- Spring Visit: Greening Bud Break
 - **Buckmoth application- Systemic injection**
 - Broad spectrum Systemic insecticide
 - Spring Organic fertilization
- Summer Visit: Maintain Spring Push
 - Summer Organic fertilization
 - Preventative termite treatment
 - If active termites found drill/treat trunk and visible trails
 - Inspect and advise
- Winter Visit: Fibrous Root Development/Stabilization
 - Beneficial fungi, Humic Acids and Simple Sugars
 - Root stimulant
 - DBH measurement: To be done every 3 years

2	Live Oaks	Cambistat Treatment Apply growth regulator treatment for 2 live oaks. one front yard and one back yard.	2	\$1,050.00
3		Grow Gun Aerate soil around front yard live oak via grow gun in a grid out to drip lines in a 4-6ft spacing injecting with air and zeolite.	1	\$900.00

Subtotal: \$3,230.00

Tax: \$0.00

Signature _____

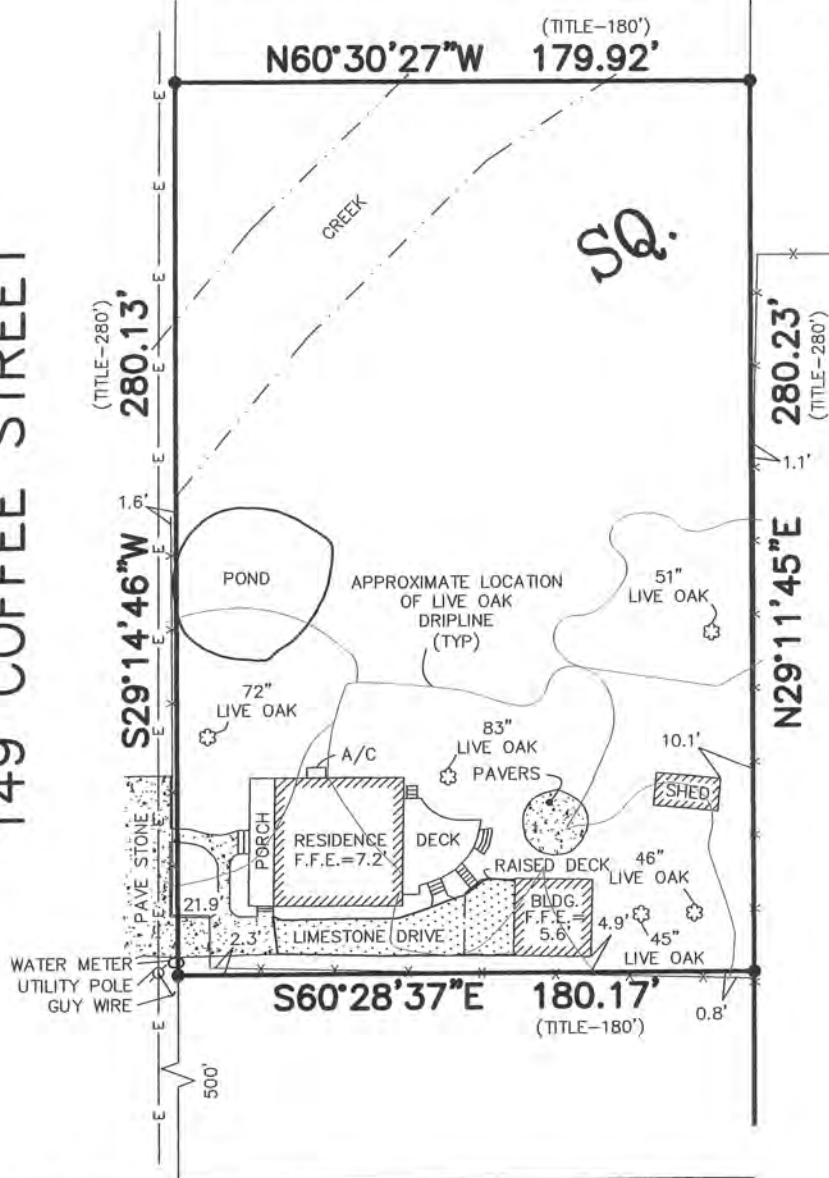
Date _____

Total: **\$3,230.00**

JEFFERSON STREET (SIDE)

149 COFFEE STREET

CARROLL STREET (SIDE)



NOTE:
 BEARINGS SHOWN HEREON ARE REFERENCED TO LOUISIANA STATE PLANE COORDINATES. LA SOUTH ZONE 1702.

REFERENCE:
 Survey By EDDIE J. CHAMPAGNE, PLS
 Dwg. No.: 4063
 Dated: 10-7-1976

Note: I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS located in a special flood hazard area, it is located in Flood Zone AE.

FIRM Panel# 2202020427D Rev. 5-16-2012

NOTE:
 OWNER OR BUILDER RESPONSIBLE FOR OBTAINING SETBACKS BEFORE DESIGN OR CONSTRUCTION BEGINS.

● DENOTES 1/2" IRON ROD FND UNLESS OTHERWISE NOTED

Survey of
 A PARCEL OF GROUND SITUATED IN
 SQUARE 26 * TOWN OF MANDEVILLE
 CITY OF MANDEVILLE
 ST. TAMMANY PARISH, LOUISIANA

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

[Signature]
 Randall W. Brown, P.L.S.
 Professional Land Surveyor
 LA Registration No. 04586

Randall W. Brown
 & Associates, Inc.
 REGISTERED PROFESSIONAL
 Professional Land Surveyors
 228 W. Causeway Approach, Mandeville, LA 70448
 (985) 624-5368 FAX (985) 624-5309
 info@brownsurveys.com

Date: NOVEMBER 16, 2022
 Survey No. 22695
 Project No. (CR5) D22695.TXT
 Scale: 1" = 60' ±
 Drawn By: J.E.D.
 Revised:

CASE SUMMARY SHEET**CASE NUMBER: SUP26-04-01****DATE RECEIVED: March 26, 2026****DATE OF MEETING: April 14, 2026 and May 12, 2026****Address: 3317 Hwy 190****Subdivision: Chinchuba, Lot Q****Zoning District: B-2 - Highway Business District****Property Owner: Diamond Properties, LLC**

REQUEST: SUP26-04-01 – Diamond Properties, LLC represented by Michael Powers requests Special Use Approval to allow Outdoor Dining pursuant to CLURO Section 8.2.3.1., Chinchuba, Lot Q, B-2 - Highway Business District, 3317 Hwy 190

CASE SUMMARY:

The property at 3317 Hwy 190 is located within a shopping center on the north side of Hwy 190 and west of Asbury Dr. The applicant operates ÚR Teas, which is located in the smaller building to the south of the main building.

The applicant is requesting Special Use approval for Outdoor Dining – On-site in the B-2 District. The outdoor dining space is proposed to be located within the parking area in front of the business according to the submitted application. The application states that a metal pergola will be installed in front of the business and will replace three parking spaces. The dimensions of the pergola are 13' x 19' and 9'-8" high. The pergola will be placed where the sidewalk ends and will not obstruct or impede sidewalk traffic.

Parking:

Shopping Center - Minor requires 4.5 spaces per 1,000 sqft of gross floor area. The combined square footage of both buildings is 43,302 sqft which requires a total of 195 parking spaces. The existing site provides 200 parking spaces. Three spaces directly in front of the business would be removed for the outdoor dining area, leaving 197 parking spaces.

CLURO SECTIONS:**6.4.70.2. Shopping Center - Minor**

A Shopping Center consisting of uses permitted within the district in which it is located and between 15,000 and 100,000 square feet of gross leasable area.

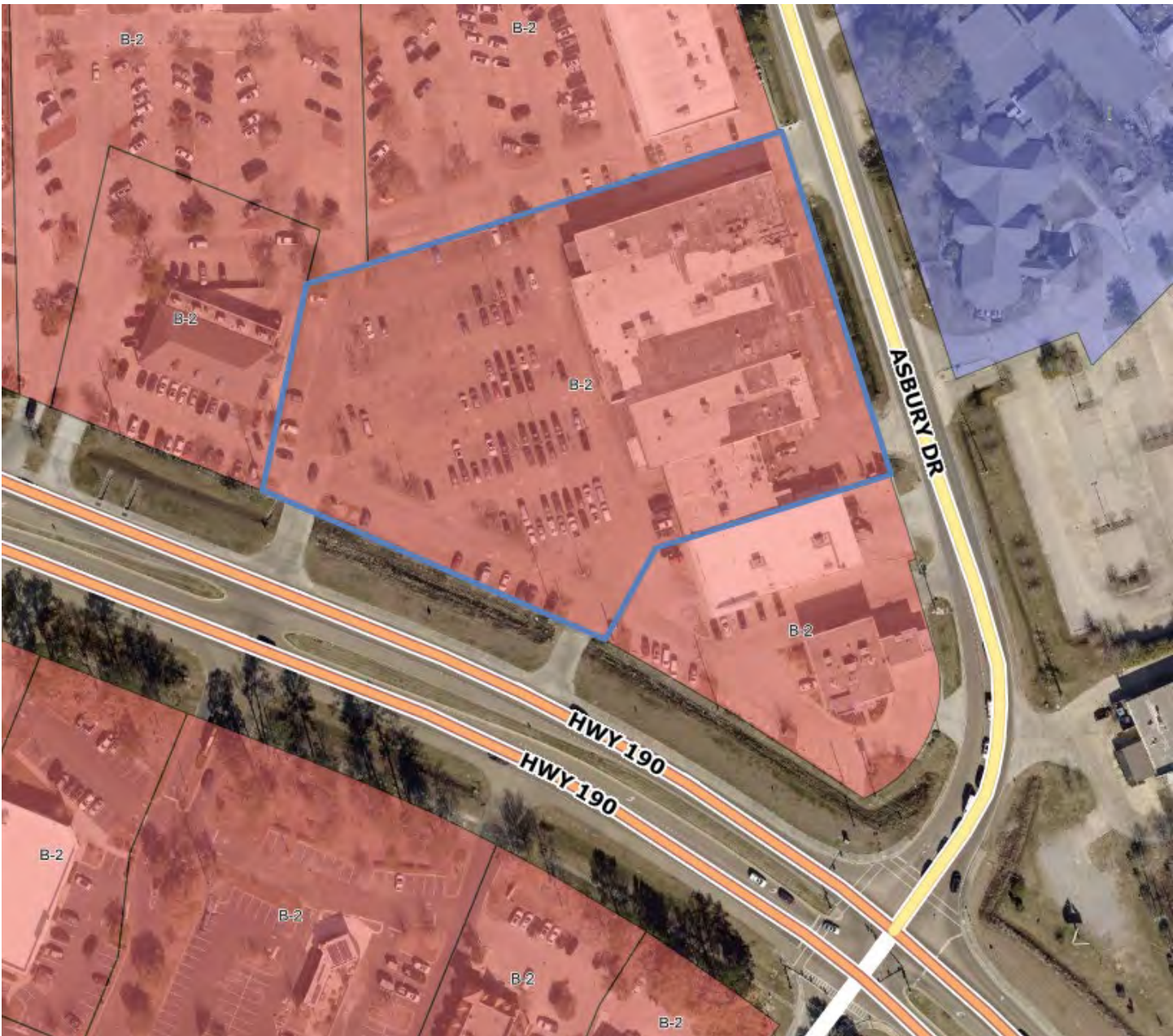
6.8.6. Accessory Use – Outdoor Dining

Outdoor seating and tables for a restaurant that is otherwise allowed within the applicable zoning district and complies with applicable district regulations.

8.2.3.1. Outdoor Dining

Outdoor dining may be authorized subject to the conditions and procedures established in this section and any additional zoning district standards.

1. Outdoor dining behind the front building setback may be allowed pursuant to approval of a Special Use Permit in the B-1, B-2, B-3 and B-4 zoning districts provided that:
 - a. Outdoor dining seating and operations shall not obstruct sidewalks, building entries or driveways; and
 - b. Outdoor dining shall not be located within the sight triangle designated for intersection and driveway visibility as established in section 8.1.1.8 of this CLURO.
2. Outdoor dining may be allowed in required front setback areas within the B-3 zoning district subject to issuance of a Special Use Permit and compliance with the criteria in paragraph 1 and the B-3 district standards established in section 7.5.10.5 of this CLURO.
3. Outdoor dining may be allowed within the public right-of-way subject to approval of a Conditional Use Permit that satisfies the criteria established in paragraphs 1 and 2 of this section, section 4.3.3.8 and the following criteria:
 - a. Seating areas shall be located to minimize the risks from traffic on abutting streets through the use of on-street parking, plantings, planter boxes or other barriers between traffic lanes and seating areas;
 - b. Operator enters into a cooperative endeavor agreement with the City that recognizes the true value of the right-of-way and adequately addresses indemnification of the City and the City's minimum insurance requirements.





G. Harris

UR teas Courtyard Pagoda

3/27/2026

Diamond Properties, LLC

Sam Markovich

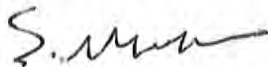
**RE: UR Teas pergola addition - replacing (3) parking spaces
directly in front of the business address at 3317 HWY 190,
Mandeville, LA 70471**

To whom it may concern,

I approve the above referenced project from My long-term tenant,
White Squirrel LLC dba UR Teas.

Respectfully submitted,

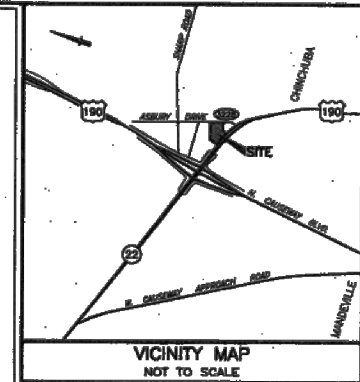
Sam Markovich



Cc: Michael Powers

UR Teas

ASBURY DRIVE - (LA. HIGHWAY 3228)
(Formerly U.S. HWY. 190)



**ALTA/ACSM SURVEY (URBAN)
OF A PORTION OF GROUND - PARCEL 3
(DELCHAIPS SITE)
SECTION 34, 17S-11E, CHINCUBA
ST. TAMMANY PARISH, LA.**



**ALTA/ACSM SURVEY (URBAN)
OF A PORTION OF GROUND - PARCEL 3
(DELCHAIPS SITE)
SECTION 34, 17S-11E, CHINCUBA
ST. TAMMANY PARISH, LA.**

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR RECORD	3/7/02	E.W.P.	

SCALE: 1" = 30'

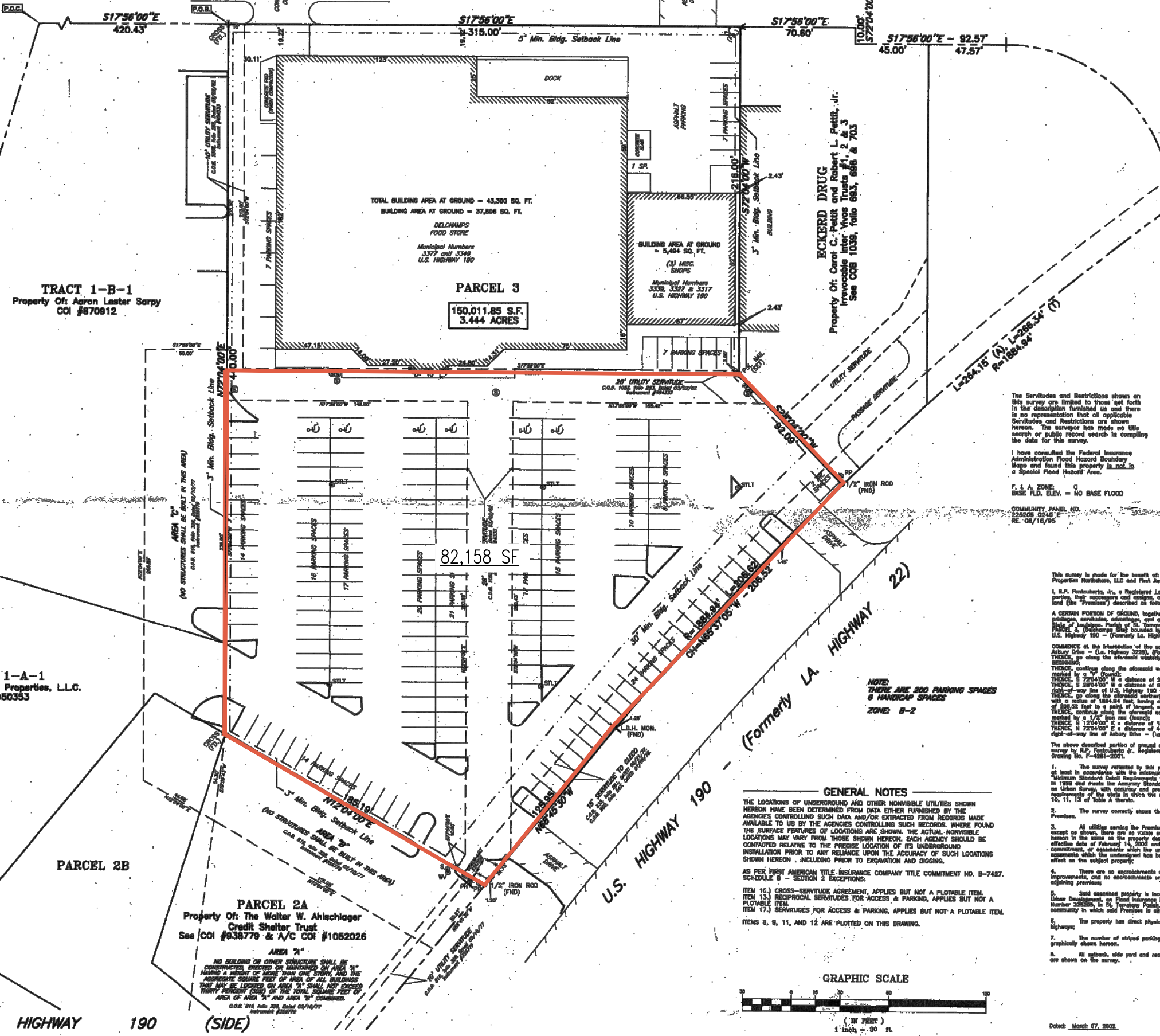
DATE: 12/11/01

DRAWN BY: N.L.S. CHECKED BY: T.T.T.

DRAWING NO. F-4281-2001

PROJECT NO. NONE

SHEET 1 OF 1



- LEGEND**
- ⊙ --- S --- SEWER MANHOLE, SEWER LINE
 - ⊙ --- W --- WATER MANHOLE, WATER LINE
 - ⊙ --- D --- DRAIN MANHOLE, DRAIN LINE
 - ⊙ --- I --- DRAIN INLET, DRAIN LINE
 - ⊙ --- G --- GAS MANHOLE, GAS LINE
 - ⊙ --- U --- UGTEL --- UGTEL
 - ⊙ --- E T V --- POWER POLE / OVERHEAD LINES
 - ⊙ --- E T V --- ELECTRIC/TELEPHONE/CABLE TV
 - ⊙ --- E T V --- ELEC TOWER / OVERHEAD LINES
 - --- CATCH BASIN
 - --- GAS METER
 - --- GAS VALVE
 - --- WATER METER
 - --- SEWER CLEANOUT
 - --- DRAIN CLEANOUT
 - --- FIRE HYDRANT
 - --- WATER VALVE
 - --- ANCHOR
 - --- SIGN
 - --- GUARD POST
 - --- STREET LIGHT
 - --- TRAFFIC LIGHT
 - --- TEL. PEDESTAL
 - --- TREE
 - --- BUSH
 - --- FENCE

The Servitudes and Restrictions shown on this survey are limited to those set forth in the description furnished us and there is no representation that all applicable Servitudes and Restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey.

I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found this property is not in a Special Flood Hazard Area.

F. L. A. ZONE: C
BASE FLD. ELEV. = NO BASE FLOOD

COMMUNITY PANEL NO. 225005 0240
RE. 03/18/95

SURVEYOR'S CERTIFICATE

This survey is made for the benefit of Bear Stearns Commercial Mortgage, Inc. Its successors and assigns, Diamond Properties Northshore, L.L.C. and First American Title Insurance Company.

I, R.P. Fontcuberta, Jr., a Registered Land Surveyor in the State of Louisiana, do hereby certify to the foregoing parties, their successors and assigns, or of the data set forth above, that I have made a careful survey of a tract of land (the "Premises") described as follows:

A CERTAIN PORTION OF GROUND, together with all the buildings and improvements thereon and all the rights, ways, privileges, servitudes, easements, and appurtenances thereunto appertaining or in anywise pertaining, situated in the Parish of St. Tammany, Parish of Louisiana, in Section 34, Township 17 South - Range 11 East, Commencing at PARCEL 3 (Delchaips Site) bounded by La Salle Street, Asbury Drive - (La. Highway 3228), (Formerly U.S. Highway 190), U.S. Highway 190 - (Formerly La. Highway 22) and U.S. Highway 190 (Side) and is more fully described as follows:

COMMENCE at the intersection of the westerly right-of-way line of La Salle Street and the westerly right-of-way line of ASBURY DRIVE - (La. Highway 3228), (Formerly U.S. Highway 190);

THENCE, going along the aforesaid westerly right-of-way line, S 17°56'00" E a distance of 420.43 feet to the POINT OF BEGINNING;

THENCE, cutting along the aforesaid westerly right-of-way line, S 17°56'00" E a distance of 315.00 feet to a point, marked by a 1/2" iron rod (found);

THENCE, S 72°04'00" W a distance of 215.00 feet to a point, marked by a P.M. nail (found);

THENCE, S 22°04'00" W a distance of 22.59 feet to a point, marked by a 1/2" iron rod (found), located on the northerly right-of-way line of U.S. Highway 190 - (Formerly La. Highway 22);

THENCE, go along the aforesaid right-of-way line, along a curve to the left, in a westerly direction, with a radius of 189.24 feet, having an arc length of 206.62 feet, along a chord bearing of N 87°31'02" W a distance of 206.52 feet to a point of tangency, said point is near an L.D.H. manhole;

THENCE, cutting along the aforesaid northerly right-of-way line, N 87°31'02" W a distance of 125.95 feet to a point, marked by a 1/2" iron rod (found);

THENCE, N 12°04'00" E a distance of 182.18 feet to a point, marked by a Cross (found);

THENCE, N 72°04'00" E a distance of 440.00 feet to a point, marked by a Cross (found), located on the westerly right-of-way line of ASBURY DRIVE - (La. Highway 3228), (Formerly U.S. Highway 190), being the POINT OF BEGINNING.

The above described portion of ground contains 150,011.85 square feet or 3.444 acres. All in accordance with a plan of survey by R.P. Fontcuberta, Jr., Registered Professional Land Surveyor, dated December 11, 2001; recorded March 07, 2002; Drawing No. F-4281-2001.

1. The survey reflected by this plan was actually made upon the ground, that the attached plot of survey is made at least in accordance with the minimum standards established by the State of Louisiana for surveys and with the minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, duly established and adopted by ALTA and ACSM in 1993 and meets the Accuracy Standards (as compiled by ALTA and ACSM and in effect on the date this certificate) of an Urban Survey, with accuracy and precision requirements modified to meet current minimum accuracy and lesser tolerance requirements of the state in which the subject property is located, and contains Items 1, 2, 3, 4, 5, 6, 7(a), 7(b), 8, 9, 10, 11, 12 of Table A therein.

2. The survey correctly shows the location of all buildings, structures and other improvements situated on the Premises.

3. All utilities serving the Premises enter through adjoining public streets and/or easements of record; that except as shown, there are no visible easements of rights of way, access and Premises; that the property described hereon is the same as the property described in First American Title Insurance Company's Commitment No. B-7427 with an effective date of February 14, 2002 and that all covenants, conditions and restrictions referred to in said commitment, or easements which the undersigned has been advised or restrictions referred to in said title commitment, or easements which the undersigned has been advised or has knowledge, have been plotted or otherwise noted on to their effect on the subject property.

4. There are no encroachments onto adjoining premises, streets or alleys by any buildings, structures or the improvements, and no encroachments onto said Premises by buildings, structures or other improvements situated on adjoining premises.

5. Said described property is located within an area having a "Zone Designation" "U" by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 240 E with a date of Modification of August 16, 1993, for Community Number 220005, in St. Tammany Parish, State of Louisiana, which in the current Flood Insurance Rate Map for the community in which said Premises is situated.

6. The property has direct physical access to Asbury Drive (La. Hwy. 3228) and (U.S. Hwy. 190) both public Highways.

7. The number of striped parking spaces located on the subject property is 206, and to the extent possible, are graphically shown hereon.

8. All setback, side yard and rear yard lines shown on the recorded plot or set forth in the applicable ordinances are shown on the survey.

GENERAL NOTES

THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. SUCH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.

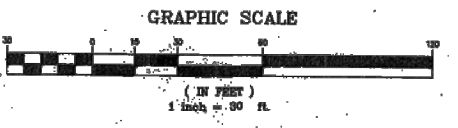
AS PER FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT NO. B-7427, SCHEDULE B - SECTION 2 EXCEPTIONS:

ITEM 10) CROSS-SERVITUDE AGREEMENT, APPLIES BUT NOT A PLOTTABLE ITEM.

ITEM 13) RECIPROCAL SERVITUDES FOR ACCESS & PARKING, APPLIES BUT NOT A PLOTTABLE ITEM.

ITEM 17) SERVITUDES FOR ACCESS & PARKING, APPLIES BUT NOT A PLOTTABLE ITEM.

ITEMS 8, 9, 11, AND 12 ARE PLOTTED ON THIS DRAWING.



TRACT 1-B-1
Property Of: Aaron Laslar Sorpy
COI #870812

TRACT 1-A-1
Property Of: Viola Properties, L.L.C.
COI #950353

PARCEL 2A
Property Of: The Walter W. Ahleschlager
Credit Shelter Trust
See COI #938779 & A/C COI #1052026

AREA "A"
NO BUILDING OR OTHER STRUCTURE SHALL BE CONSTRUCTED, ENLARGED OR MAINTAINED ON AREA "A" HAVING A HEIGHT OF MORE THAN ONE STORY AND THE AGGREGATE SQUARE FEET OF AREA OF ALL BUILDINGS THAT MAY BE LOCATED ON AREA "A" SHALL NOT EXCEED THIRTY PERCENT (30%) OF THE TOTAL SQUARE FEET OF AREA OF AREA "A" AND AREA "B" COMBINED.

C.O.B. 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

CASE SUMMARY SHEET

CASE NUMBER: V26-04-08

DATE RECEIVED: March 25, 2026

DATE OF MEETING: April 14, 2026 and May 12, 2026

Address: 621 Magnolia Ridge Dr. E

Subdivision: Magnolia Ridge, Square D Lot 88A

Zoning District: R1X8A - Single-Family Existing Small Lots

Property Owner: Christian and Kristen Bartholomew

REQUEST: V26-04-08 – Christian and Kristen Bartholomew request a variance to CLURO Section 7.5.2.3. R-1X Site Development Regulations and Section 9.2.5.7. Key Native Tree Species Protection Requirements, Magnolia Ridge, Square D Lot 88A, R1X8A - Single-Family Existing Small Lots, 621 Magnolia Ridge Dr. E

CASE SUMMARY:

The applicants own the property at 621 Magnolia Ridge Dr. E. The lot is a through lot located between Magnolia Ridge Dr. E and Galvez St. The property measures 79’ x 120’ and contains 9,480 sqft per a survey prepared by Kelly McHugh & Associates and dated 3.04.2026. The property is currently unimproved.

A permit for new residential construction has been applied for. As part of the application two variances are being requested. One for the side setback requirements and one for protected tree removal.

Side Setbacks

The property is located in Phase 2 of the Magnolia Ridge subdivision. When the lot was originally platted in 1993 the side setbacks were 7.5’. In 2018 an ordinance was passed changing the side setbacks to a sliding scale based on the lot frontage. The lot has a frontage of 79’ which requires side setbacks of 13’ under current regulations. The applicants are requesting to use the originally platted setbacks for the new construction. This is the last lot to be developed in the subdivision, and all other lots were built with the 7.5’ side setbacks.

	Required	Proposed	Change
Front Setback	25’	30’	+5’
Rear Setback	30’	30’	0’
North Side Setback	13’	7.5’	-5.5’
South Side Setback	13’	7.5’	-5.5’

Protected Tree Removal

There are three magnolia trees on the property shown on the submitted tree preservation plan. One tree is located within the footprint of the structure, one borders the rear of the proposed structure, and the last one is located in the north side setback. The applicant is requesting to remove all three trees as part of the permit.

CLURO SECTIONS:

7.5.2.3. R-1X Site Development Regulations

Each development site in the R-1X Single-Family Existing Residential Zoning District shall be subject to the following site development regulations in addition to any regulations applicable under the provisions of Article 8. The minimum lot area and width requirement within each specific R-1X district shall be noted on the Official Zoning District map within the specific R-1X district and determined as provided herein but under no circumstances shall the minimum lot width requirement be less than fifty (50) feet or the minimum lot area requirement be less than 5,000 square feet. For purposes of the creation of R-1X districts, the minimum lot area and widths shall be determined by the size of the predominant number of parcels of land under separate ownership from adjacent property within the area defined as the R-1X zoning district. A parcel of land under the same ownership, whether consisting of one or more lots of record, shall be considered a parcel of land in separate ownership from adjacent property owned by another individual or entity. Ownership shall be determined by tax rolls unless more recent information, recorded in the St. Tammany Parish Courthouse, is provided. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

1. Minimum Lot Area	5,000 Square feet or as noted on the Official Zoning Map for the district where the lot is located.
2. Minimum Building Area (Square feet per unit)	1,000 square feet per unit
3. Minimum Lot Width (Variable)	50' or the width of the predominant number of parcels of land under separate ownership from adjacent property within the zoning district (derived from the width of the existing subdivided parcels or a multiple thereof), whichever is the greater.
4. Minimum Yard Setback Requirements	
a. Front Yard	25'
b. Interior Side Yard*	10'
i. Frontage up to 50'	8' each side
ii. Frontage between 51' – 60'	10' each side

iii. Frontage between 61' - 75'	12' each side
iv. Frontage between 76' - 80'	13' each side
v. Frontage between 81' - 90'	15' each side
vi. Frontage between 91' - 100'	16' each side
vii. Frontage between 101' - 110'	18' each side
viii. Frontage between 111' +	20' each side
c. Street Side Yard	15'
d. Rear Yard	30'
5. Maximum Height of Structures	35'
6. Maximum Impervious Site Coverage	50%

*The side yard setbacks of the site may be shifted into the opposite side yard by up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.

9.2.5.7. Key Native Tree Species Protection Requirements

The following tree protection requirements shall be in place:

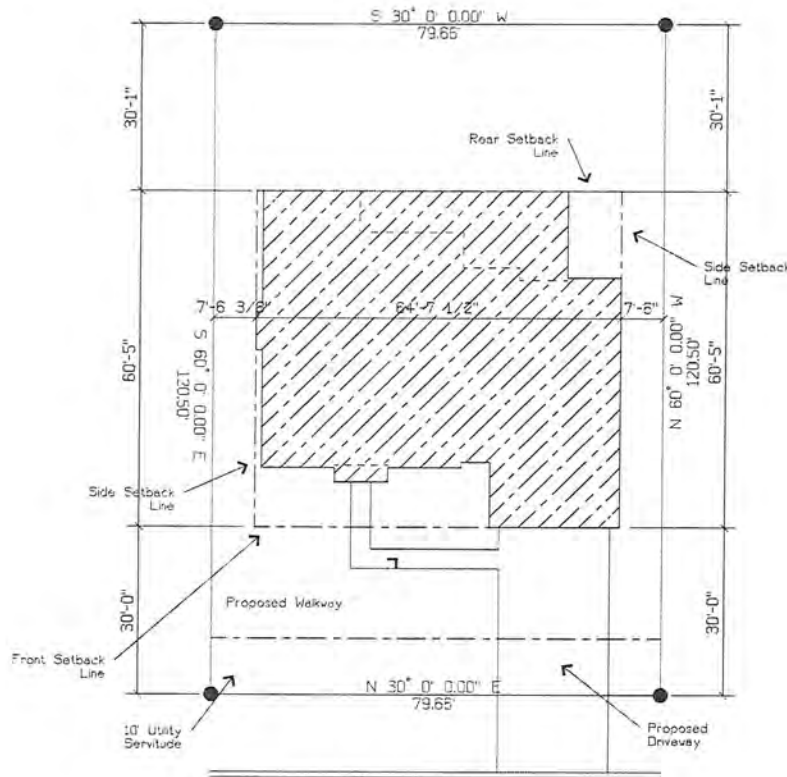
1. Definition of Protected Tree:

- a. Protected Live Oak: shall include any Live Oak with a diameter at breast height (dbh) of Six (6) inches or more;
- b. Protected Bald Cypress: shall include any Bald Cypress with a diameter at breast height (dbh) of Six (6) inches or more; and
- c. Protected Southern Magnolia: shall include any Southern Magnolia with a diameter at breast height (dbh) of six (6) inches or more.

3. Bald Cypress and Southern Magnolia Tree Protection Requirements

- a. A tree removal permit shall be obtained from the Landscape Inspector prior to cutting, clearing or removing any Bald Cypress or Southern Magnolia tree six (6) inches dbh or greater. Unpermitted removal of a qualifying Bald Cypress or Southern Magnolia tree shall subject the property owner, the responsible contractor, or both, to the violation provisions of Section 9.2.5.16.
- b. Upon submission of a tree removal permit, administrative removal shall only be permitted if the Landscape Inspector determines that the tree is dead, terminally diseased, or poses an imminent hazard to public safety or property that cannot be mitigated by other less impactful means. Additionally, Planning and Zoning approval shall be required where site-specific conditions require a tree to be within the proposed building footprint, without alternative building placement, making its preservation unfeasible.
- c. During any construction, development, or land-disturbing activity, all Protected Bald Cypress and Southern Magnolia trees shall be safeguarded pursuant to the Vegetation Protection Zone Barrier requirements of Section 9.2.5.3.
- d. It shall be unlawful for any person to engage in any activity that may damage a Bald Cypress or Southern Magnolia tree, including but not limited to root disturbance, soil compaction, significant grade changes within the drip line, or the attachment of signs, wires, or other objects that may compromise the tree's health or structural integrity.
- e. If a Protected Bald Cypress or Southern Magnolia tree is removed, or dies due to activities on the property, the property owner shall replace it with one (1) tree per 6 inches dbh of the same species removed or lost. Replacement trees shall be of a minimum size as established by the Landscape Inspector and planted in a location approved by the City.
- f. These regulations shall apply in all zoning districts.





621 Magnolia Drive

PLOT PLAN

SCALE 1" = 20'-0"

Plans For:
 Hurley Hornes
 Bartholomew Residence
 Lot 88, Block D, Phase 2 Magnolia Ridge
 621 Magnolia Ridge Drive
 St. Tammany Parish, Louisiana

Date: 12-23-25

Setbacks

Front - 30'
 Side - 7.5'
 Rear - 30'
 Side Street - n/a

The Setbacks And Restrictions Shown On This Plot Plan Are Limited To Those Set Forth In The Description Furnished To Us.

It Is Recommended That Setbacks And Lot Dimensions Be Confirmed By Professional Land Surveyor And Owner Before Location Of Building Is Established.

Owner or Contractor Is Responsible For Obtaining Building Setbacks Before Construction Begins.

1: gum

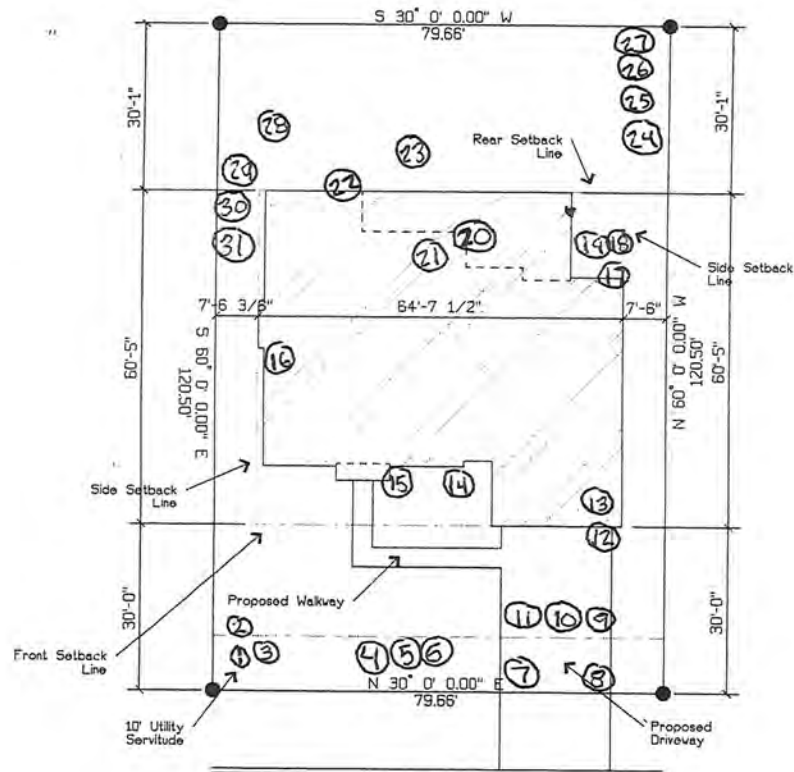
2, 3, 4, 5, 7, 9, 16, 18, 20, 21, 23, 30: Pin oak (TBD)

6, 8, 10, 11, 12, 14, 15, 24, 25, 28: Pine

17, 19, 26, 27, 29: TBD (unknown)

13, 22, 31: Magnolia

Tree Preservation Plan



PLOT PLAN

SCALE 1" = 20'-0"

Plans For:
 Hurley Homes
 Bartholomew Residence
 Lot 88, Block D, Phase 2 Magnolia Ridge
 621 Magnolia Ridge Drive
 St. Tammany Parish, Louisiana

Date: 12-23-25

Setbacks

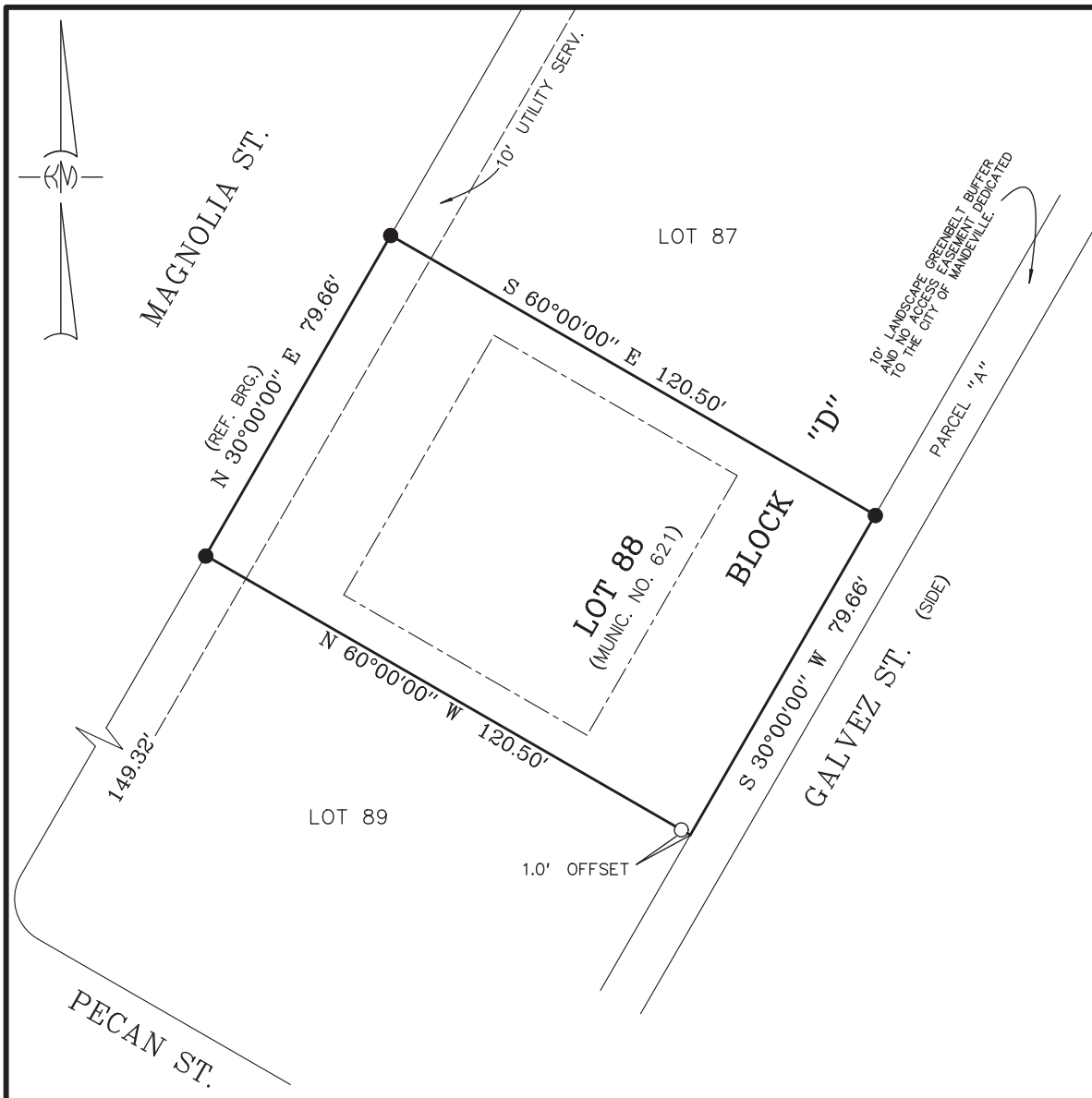
Front - 30'
 Side - 7.5'
 Rear - 30'
 Side Street - n/a

The Setbacks And Restrictions Shown On This Plot Plan
 Are Limited To Those Set Forth In The Description
 Furnished To Us.

It Is Recommended That Setbacks And Lot Dimensions
 Be Confirmed By Professional Land Surveyor And,
 Owner Before Location Of Building Is Established.

Owner or Contractor Is Responsible For
 Obtaining Building Setbacks Before
 Construction Begins.

621 Magnolia Drive



BUILDING SETBACKS
 FRONT 30'
 SIDE 7.5'
 REAR 30'

-- LEGEND --
 ● = 1/2" IRON ROD FOUND
 ○ = 1/2" IRON ROD SET

THIS PROPERTY IS LOCATED IN FLOOD ZONE: SHADED X, BASE FLOOD ELEV. N/A, RE: F.J.R.M. PANEL NO. 2202020427D, REVISED 05-16-2012

NOTE:
 NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES, ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.



[Signature]
 03-04-26
 KELLY J. McHUGH REG. NO. 4443

CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

REFERENCE:
 PLAT OF MAGNOLIA RIDGE PH. 2 BY THIS FIRM, FILED FOR RECORD 08-25-1993, MAP FILE NO. 1156, FROM WHICH SETBACKS, SERVITUDES, AND BASIS OF BEARINGS WERE TAKEN.

BOUNDARY SURVEY OF: LOT 88, BLOCK "D", MAGNOLIA RIDGE SUBD. PH. 2, CITY OF MANDEVILLE, ST. TAMMANY PARISH, LA.	
PREPARED FOR: KRISTEN & CHRISTIAN BARTHOLOMEW	
KELLY J. McHUGH & ASSOC., INC. CIVIL ENGINEERS & LAND SURVEYORS 845 GALVEZ ST., MANDEVILLE, LA. 626-5611	
SCALE: 1" = 30'	DATE: 03-04-26
DRAWN: MDM	JOB NO.: 26-011
REVISED:	

CASE SUMMARY SHEET**CASE NUMBER: V26-04-09****DATE RECEIVED: March 26, 2026****DATE OF MEETING: April 14, 2026 and May 12, 2026****Address: 300 Wilkinson****Subdivision: Old Town of Mandeville, Square 88 Lot 7****Zoning District: R-1 - Single Family Residential District****Property Owner: Brandon and Diana Matherne**

REQUEST: V26-04-09 – Brandon and Diana Matherne represented by KVS Architecture, requests a variance to CLURO Section 9.2.5.7. Key Native Tree Species Protection Requirements, Old Town of Mandeville, Square 88 Lot 7, R-1 - Single Family Residential District, 300 Wilkinson

CASE SUMMARY:

The property at 300 Wilkinson is located on the west side of Wilkinson St., east of Carondelet St., north of Jefferson St., and south of Monroe St. The property measures 276' x 335' and contains 92,460 sqft per a site plan prepared by KVS architecture and dates 3.24.2026. The property is improved with a single-family residence and an accessory structure.

There are 10 live oak trees located on the property, with the existing structure located within the dripline of two trees and in close proximity to two more. The owners want to move the residence to the north side of the property where the existing barn is located. This would allow the homeowners to construct an addition to the residence without disturbing the live oak trees currently surrounding the building. As part of this relocation two cypress trees will need to be removed.

A report written by Ladson Poole of ArborWorks was submitted on behalf of the property owner. The report discusses the proposed work to be done on the property and identifies four live oaks that will be directly involved during the project. It also discusses recommendations for post project care for two of the live oaks. The two cypress trees that are being removed measure 9" and 12" dbh and are not considered specimen trees by the report. Regulations would require 3 trees to be planted as replacements.

CLURO SECTIONS:**9.2.5.7. Key Native Tree Species Protection Requirements**

The following tree protection requirements shall be in place:

1. Definition of Protected Tree:

- a. Protected Live Oak: shall include any Live Oak with a diameter at breast height (dbh) of Six (6) inches or more;
- b. Protected Bald Cypress: shall include any Bald Cypress with a diameter at breast height (dbh) of Six (6) inches or more; and
- c. Protected Southern Magnolia: shall include any Southern Magnolia with a diameter at breast height (dbh) of six (6) inches or more.

3. Bald Cypress and Southern Magnolia Tree Protection Requirements

- a. A tree removal permit shall be obtained from the Landscape Inspector prior to cutting, clearing or removing any Bald Cypress or Southern Magnolia tree six (6) inches dbh or greater. Unpermitted removal of a qualifying Bald Cypress or Southern Magnolia tree shall subject the property owner, the responsible contractor, or both, to the violation provisions of Section 9.2.5.16.
- b. Upon submission of a tree removal permit, administrative removal shall only be permitted if the Landscape Inspector determines that the tree is dead, terminally diseased, or poses an imminent hazard to public safety or property that cannot be mitigated by other less impactful means. Additionally, Planning and Zoning approval shall be required where site-specific conditions require a tree to be within the proposed building footprint, without alternative building placement, making its preservation unfeasible.
- c. During any construction, development, or land-disturbing activity, all Protected Bald Cypress and Southern Magnolia trees shall be safeguarded pursuant to the Vegetation Protection Zone Barrier requirements of Section 9.2.5.3.
- d. It shall be unlawful for any person to engage in any activity that may damage a Bald Cypress or Southern Magnolia tree, including but not limited to root disturbance, soil compaction, significant grade changes within the drip line, or the attachment of signs, wires, or other objects that may compromise the tree's health or structural integrity.
- e. If a Protected Bald Cypress or Southern Magnolia tree is removed, or dies due to activities on the property, the property owner shall replace it with one (1) tree per 6 inches dbh of the same species removed or lost. Replacement trees shall be of a minimum size as established by the Landscape Inspector and planted in a location approved by the City.
- f. These regulations shall apply in all zoning districts.



PROPERTY LINE 334.34'

15' REAR SETBACK

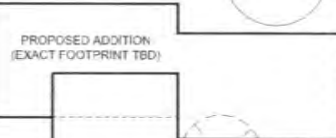
PROPERTY LINE 276.00'

30' REAR SETBACK

72" LIVE OAK

PECAN TREE

CITRUS TREE



PROPOSED ADDITION
(EXACT FOOTPRINT TBD)

PROPOSED BUILDING LOCATION

MODIFIED PORCH



25' LIVE OAK



25' LIVE OAK

(2) CYPRESS TREES
REQUESTED
TO BE
REMOVED

15' REAR SETBACK

PROPERTY LINE 335.86'

EXTEND LIMESTONE DRIVEWAY



24' LIVE OAK

EXIST. BLDG. LOCATION



29' LIVE OAK

EXISTING LIMESTONE DRIVEWAY

22' LIVE OAK

25' REAR SETBACK

21" LIVE OAK

PROPERTY LINE 276.00'

WILKINSON STREET

1 SITE PLAN
1/8" = 1'-0"



RELOCATION, RENOVATION, ELEVATION, & ADDITION FOR:

THE MATHERNE RESIDENCE

300 WILKINSON ST. MANDEVILLE, LA 70448

REVISION

DATE

3.24.25

PROJECT No.

250#

DRAWING

A1.0

KVS

architecture

235 Girod Street, Mandeville, Louisiana
985 674 8077 www.kvsarchitecture.com



To Whom It May Concern,

Property

300 Wilkinson St
Mandeville, LA 70448

On March 23, 2026 I visited the property along with KVS Architecture and the contractor responsible for moving the house to discuss the scope of work and potential impact to the surrounding protected trees. We developed a plan that would cause the least amount of damage to these protected species as possible, as well as recommended follow up care. This letter will outline that plan and the recommendations for post-project care.

It should be noted that one of the main reasons for moving the structure is to preserve the long-term health of the many mature trees on the lot. The structure currently sits within the dripline of 2 large live oak trees, and its footprint is very close to a number of others. This close proximity causes stress that could be avoided by this relocation. Some of the current stressors include: inhibiting root development, the ongoing need for maintenance pruning, soil compaction, & drainage issues. The long-term benefit of moving the structure far outweighs the minimal potential damage that the move itself may cause. The recommended follow up care aims to minimize that potential damage even further, leaving a net result that will allow these mature trees to thrive for many years to come.

I've met and discussed the scope and plan with the contractor regarding the house move. Most work will be done by hand and with minimal heavy equipment (a single skid steer will be required). This will reduce the largest threat - soil compaction.

Tree Plan: (see attached drawing)

Live Oak "A" - Will require TPZ installation. The current plan does not call for any encroachment or mitigation work.

Live Oak "B" - Will require TPZ installation. The current plan does not call for any encroachment or mitigation work.

Live Oak "C" - Will require TPZ installation. May also require variance to push TPZ approximately 10 feet inside the dripline on the house side of the canopy. The current plan does not call for machinery needs on this side of the house, but we will need access for a work zone around the house. Any work on this side of the house will be done by hand. **Post-project** - I recommend that the house side of the canopy be vertically mulched and the tree be placed on a fertilization program for at least 1 year.

Live Oak "D" - Will require TPZ installation. Will require variance to push TPZ approximately 15-20 feet inside the dripline on the house side of the canopy. The current plan does call for the use of a skid steer near the edge of the dripline, but most of the work, including beam installation, can be done by hand. **Post-project** - I recommend that the house side of the canopy be vertically mulched and the tree be placed on a fertilization program for at least 1 year. There are also a handful of tertiary branches that will need to be pruned in order to provide clearance for the peak of the roof. These branches are all under 3 inches in diameter and will pose no threat to the tree's health if removed. A larger secondary branch will need to be moved with ropes/rigging for clearance as well, but does not need to be pruned.

2 Small Cypress Trees "E" - These 2 trees will need to be removed to make room for the new structure location. Both trees are younger/smaller and not what would be considered "specimen" trees. This small sacrifice is necessary so that the larger and older live oak trees can thrive

Overall, I am extremely confident that this project will enhance the lives of the mature protected trees on the lot. The process will cause minimal impact to these trees and the post-project plan that we have in place will further minimize that impact.

Best Regards,

Ladson Poole
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Disclaimer

Arborists are tree specialists who use their education, knowledge, training, experience, and research to examine trees and woodlands. Arborists recommend measures to enhance the beauty and health of trees and forests, while attempting to reduce the risk of living near them. Clients may choose to accept or disregard the recommendations of the arborist or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms subject to attack by disease, insects, fungi and other forces of nature. There are some inherent risks with trees that cannot be predicted with any degree of certainty, even by a skilled and experienced arborist. Arborists cannot predict acts of nature including, without limitation, storms of sufficient strength, which can cause even a healthy tree to fail. Any entity that develops land and builds structures with a tree in the vicinity should be aware and inform future residents of the risks of living with trees and this arborist's disclaimer.

Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like medical care, cannot be guaranteed. In addition, construction activities are hazardous to trees and cause many short and long-term injuries, which can cause trees to die or topple either in the short term or over many years or decades.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services, such as property boundaries, property ownership, disputes between neighbors, and other issues. Consulting arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist by the client. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Neither the author nor ArborWorks LLC has assumed any responsibility for liability associated with the tree(s) on or adjacent to this project site, their future demise and/or any damage, which may result from them. To live near trees is to accept some degree of risk.