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CASE SUMMARY SHEET

CASE NUMBER: CU25-11-07  
DATE RECEIVED: October 14, 2025  
DATE OF MEETING: November 18, 2025 and December 9, 2025

Address: 449 Lafitte  
Subdivision: Old Town of Mandeville, Square 18 Lot 2-A  
Zoning District: B-3 - Old Mandeville Business District  
Property Owner: Warren J. Salles, Jr. Family Trust

REQUEST: CU25-11-07–Warren J. Salles, Jr. Family Trust, represented by Miranda Cruz, requests Conditional Use Approval for Outdoor Dining pursuant to CLURO Section 8.2.3.1, Old Town of Mandeville, Square 18 Lot 2-A, B-3 - Old Mandeville Business District, 449 Lafitte

CASE SUMMARY: Allow outdoor dining in the Lafitte St Right-of-Way

The applicant owns the property at 449 Lafitte St., located on the corner of Monroe St. and Lafitte St. The property measures 44’ x 67’ and contains 2,959 sqft per a survey prepared by Randall Brown & Associates and dated 2.20.2024. The property is improved with a commercial business, Cilantros.

The applicant is requesting to have outdoor dining located within the Lafitte Street right-of-way. A drawing was submitted by the applicant showing there is 16’ from the building to the edge of the street. The plan shows three tables with two chairs at each table, along with four planters to serve as a barrier between the tables and the street. There is 7’ space between the planters and the street.

Regulations state that the outdoor dining shall not be located within the sight triangle for the intersection of Lafitte and Monroe. This intersection is between an arterial street and a collector or local street. Monroe St. is designated as an arterial street while Lafitte St. is designated as a local street. As such, there cannot be any seating located along Lafitte St. within 20’ from the edge of Monroe St.

In order to conduct outdoor dining the applicant will have to enter into a cooperative endeavor agreement with the City. This agreement will have to recognize the true value of the right-of-way and adequately address indemnification of the City and the City’s minimum insurance requirements.

Public Works has reviewed the request and stated that *“The outdoor dining would have to allow 5’ minimum of clearance between the proposed tables and the planters for pedestrian access. In addition to the 5’ clearance, there may be site line issues concerning the planter boxes when approaching the intersection. We do not have true dimensions of the tables or site line alignment to scale from the submitted drawing. The measurements from the street to the wall of the building indicate 16’, but when dimensions are added it equals a sum of 18’. We do not recommend the proposed layout as submitted. The applicant should modify the layout and submit for further review.”*

Since the last meeting, the applicant has submitted two revised layouts. The first layout is arranged so that there are three 2’x2’ tables along the building, with a 1’ gap between them and then a row of six 2’x4’ planters and 11’ to the edge of the street. The second layout is arranged so that there are three 3’x3’ tables along the building, with a 6’ gap between the tables and planter row, and then 5’ to the edge of the street.

Public Works has received the revised submittals and is in the process of reviewing them.

CLURO SECTIONS:

6.8.6. Accessory Use – Outdoor Dining

Outdoor seating and tables for a restaurant that is otherwise allowed within the applicable zoning district and complies with applicable district regulations.

8.2.3.1. Outdoor Dining

Outdoor dining may be authorized subject to the conditions and procedures established in this section and any additional zoning district standards.

1. Outdoor dining behind the front building setback may be allowed pursuant to approval of a Special Use Permit in the B-1, B-2, B-3 and B-4 zoning districts provided that:
  - a. Outdoor dining seating and operations shall not obstruct sidewalks, building entries or driveways; and
  - b. Outdoor dining shall not be located within the sight triangle designated for intersection and driveway visibility as established in section 8.1.1.8 of this CLURO.
2. Outdoor dining may be allowed in required front setback areas within the B-3 zoning district subject to issuance of a Special Use Permit and compliance with the criteria in paragraph 1 and the B-3 district standards established in section 7.5.10.5 of this CLURO.
3. Outdoor dining may be allowed within the public right-of-way subject to approval of a Conditional Use Permit that satisfies the criteria established in paragraphs 1 and 2 of this section, section 4.3.3.8 and the following criteria:
  - a. Seating areas shall be located to minimize the risks from traffic on abutting streets through the use of on-street parking, plantings, planter boxes or other barriers between traffic lanes and seating areas;

- b. Operator enters into a cooperative endeavor agreement with the City that recognizes the true value of the right-of-way and adequately addresses indemnification of the City and the City's minimum insurance requirements.

#### **7.5.10.2. B-3 Permitted Uses**

The uses permitted in this zoning district, including signage, shall be in accordance with those uses listed under this district in the Table of Permitted Uses By Zoning District found at the end of this Article and shall be subject to all applicable provisions of this Land Use Regulations Ordinance including any supplemental or special use criteria provided in Article 8 and the Sign Code in Article 10. Unless it is part of a mixed use development, no new townhouse, condominium, or other multi-family residence shall be established

2. **Outdoor Dining.** Subject to compliance with the standards established in sections 7.5.10.5 and 8.2.3:
  - a. On-site outdoor dining shall be allowed by right upon issuance of a Special Use Permit.
  - b. Outdoor dining within the right-of-way may be allowed subject to approval of a Conditional Use Permit.

#### **4.3.3.8. Review and Evaluation Criteria (Conditional Use)**

The Planning Director, the Planning Commission and the City Council shall review and evaluate and make the following findings before granting a Conditional Use Permit or Planned District zoning using the following criteria:


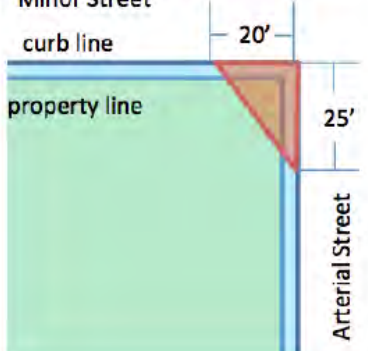
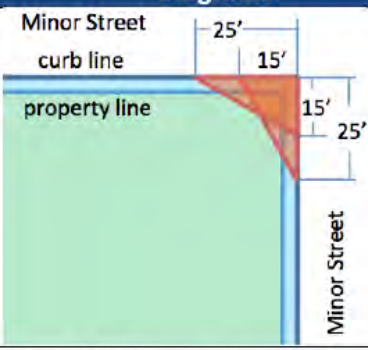
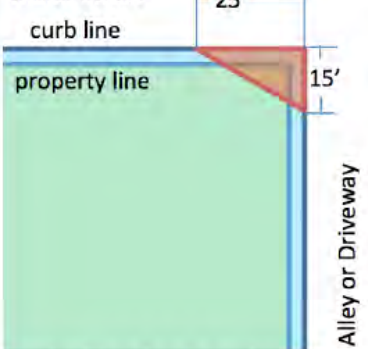
1. Comparison with applicable regulations and standards established by the Comprehensive Land Use Regulations applicable to the proposed use and site.
2. Compatibility with existing or permitted uses on abutting sites, in terms of building height, bulk and scale, setbacks and open spaces, landscaping and site development, and access and circulation features.
3. Potentially unfavorable effects or impacts on other existing conforming or permitted uses on abutting sites, to the extent such impacts exceed these which reasonably may result from use of the site by a permitted use.
4. Modifications to the site plan which would result in increased compatibility, or would mitigate potentially unfavorable impacts, or would be necessary to conform to applicable regulations and standards and to protect the public health, safety, morals, and general welfare.
5. Safety and convenience of vehicular and pedestrian circulation in the vicinity, including traffic reasonably expected to be generated by the proposed use and other uses reasonable and anticipated in the area considering existing zoning and land uses in the area.
6. Protection of persons and property from erosion, flood or water damage, fire, noise, glare, and similar hazards or impacts.
7. Location, lighting, and type of signs; and relation of signs to traffic control and adverse effect on adjacent properties.
8. Adequacy and convenience of off-street parking and loading facilities and protection of adjacent property from glare of site lighting.
9. Conformity with the objectives of these regulations and the purposes of the zone in which the site is located.
10. Compatibility of the proposed use and site development, together with any modifications applicable thereto, with existing or permitted uses in the vicinity.
11. That any conditions applicable to approval are the minimum necessary to minimize potentially unfavorable impacts on nearby uses and to ensure compatibility of the proposed use with existing or permitted uses in the same district and the surrounding area.
12. That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety, or welfare, or community aesthetics, or materially injurious to properties or improvements in the vicinity.

#### **8.1.1.8. Sight Triangles Required**

Visibility of and between pedestrians, bicyclists, and motorists shall be assured at all intersections in accordance with this section.

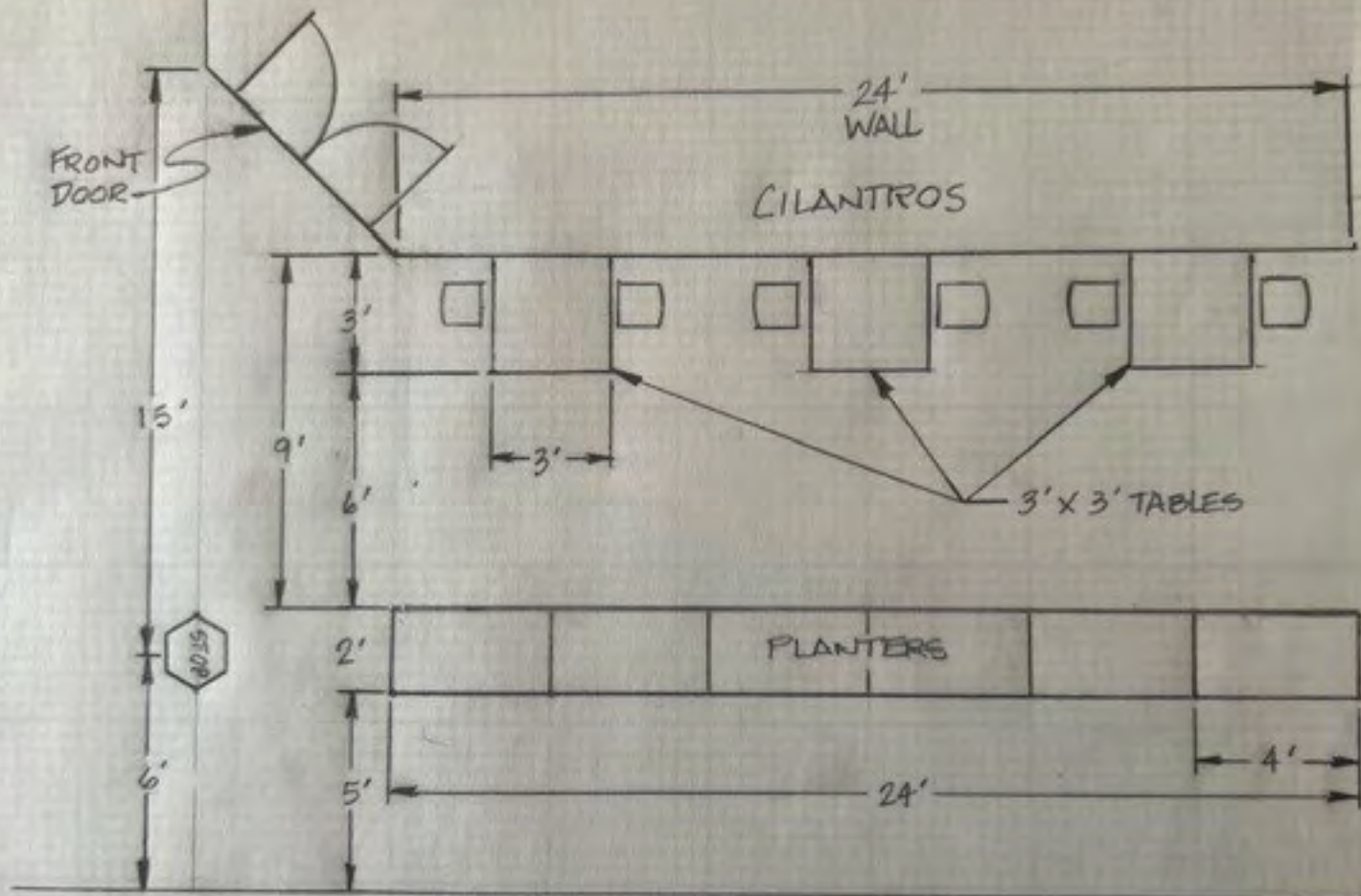
- a. Measurement of Sight Triangles. The legs of sight triangles involving arterial streets shall be measured from the projected intersection of curb lines or edges of pavement.
- b. Sight Triangles to be Free From Visual Obstructions. Sight visibility triangles shall be maintained free of visual obstructions to between the height of three (3) and seven (7) feet above street grade. No building, fence, wall, hedge or other structure or planting more than three (3) feet in height other than posts, columns or trees separated by not less than six (6) feet from each other, shall be erected, placed or maintained these areas.
- c. Dimensions of Sight Triangles. Sight triangles shall be based on the dimensions shown in Table 8-1-1 unless the City Engineer or Public Works Director finds that greater sight distances are called for due to traffic speeds or other intersection characteristics at intersections involving arterials.

Exhibit 8-1-1: Sight Triangle Design

Intersection Type	Dimensions	Diagrams
Two Arterials	At least 25 feet along each arterial street	
Arterial and Collector or Local Street	At least 25 feet along the arterial street and 20 feet along the local or collector (minor) street	
Intersection Type	Dimensions	Diagrams
All Other Street Intersections, including all intersections in the B-3 and T-C districts	Two overlapping triangles measuring 15 feet by 25 feet	
Intersection of Alleys or Driveways with Streets	25 feet along the minor street and 15 feet along the alley or driveway	
Intersections of streets with driveways from multi-occupancy centers	To be determined by the Public Works Director based on projected traffic loads and intersection design	







LAFITTE ST.







**From:** [Clifton Siverd](#)  
**To:** [Alex Weiner](#)  
**Cc:** [Tina Myers](#)  
**Subject:** RE: 449 Lafitte  
**Date:** Friday, November 14, 2025 9:13:33 AM  
**Attachments:** [image002.png](#)  
[image003.png](#)

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Alex,

The outdoor dining would have to allow 5' minimum of clearance between the proposed tables and the planters for pedestrian access. In addition to the 5' clearance, there maybe site line issues concerning the planter boxes as approaching the intersection. We do not have true dimensions of the tables or site line alignment to scale from the submitted drawing. The measurements from the street to the wall of the building indicate 16', but when dimensions are added it equals a sum of 18'. We do not recommend the proposed layout as submitted. The applicant should modify the layout and submit for further review.

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**From:** Alex Weiner <[aweiner@cityofmandeville.com](mailto:aweiner@cityofmandeville.com)>  
**Sent:** Monday, November 10, 2025 10:18 AM  
**To:** Clifton Siverd <[csiverd@cityofmandeville.com](mailto:csiverd@cityofmandeville.com)>  
**Cc:** Tina Myers <[tmyers@cityofmandeville.com](mailto:tmyers@cityofmandeville.com)>  
**Subject:** FW: 449 Lafitte

Hi Clif,

Just following up on this. Cilantros is requesting to have outdoor dining located in the Lafitte St ROW and are on the Planning and Zoning agenda for November 18<sup>th</sup> and December 9<sup>th</sup>. Let me know if Public Works has any comments.

Thanks,



Alex Weiner, CFM

Planner I

*Notary Public | Arborist*

Department of Planning & Development | City of  
Mandeville

**Office:** (985) 624-3103

**Direct:** (985) 624-3132

3101 E. Causeway Approach, Mandeville, LA 70448

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**From:** Tina Myers <[tmyers@cityofmandeville.com](mailto:tmyers@cityofmandeville.com)>  
**Sent:** Thursday, November 6, 2025 9:56 AM  
**To:** Clifton Siverd <[csiverd@cityofmandeville.com](mailto:csiverd@cityofmandeville.com)>  
**Cc:** Alex Weiner <[aweiner@cityofmandeville.com](mailto:aweiner@cityofmandeville.com)>  
**Subject:** 449 Lafitte

Good morning,

Please see the attached documents and send me any feedback you have. This case will be heard on November 18<sup>th</sup>.

Respectfully,

*Tina Myers*

Planning Technician

City of Mandeville

3101 East Causeway Approach

Mandeville, LA 70448

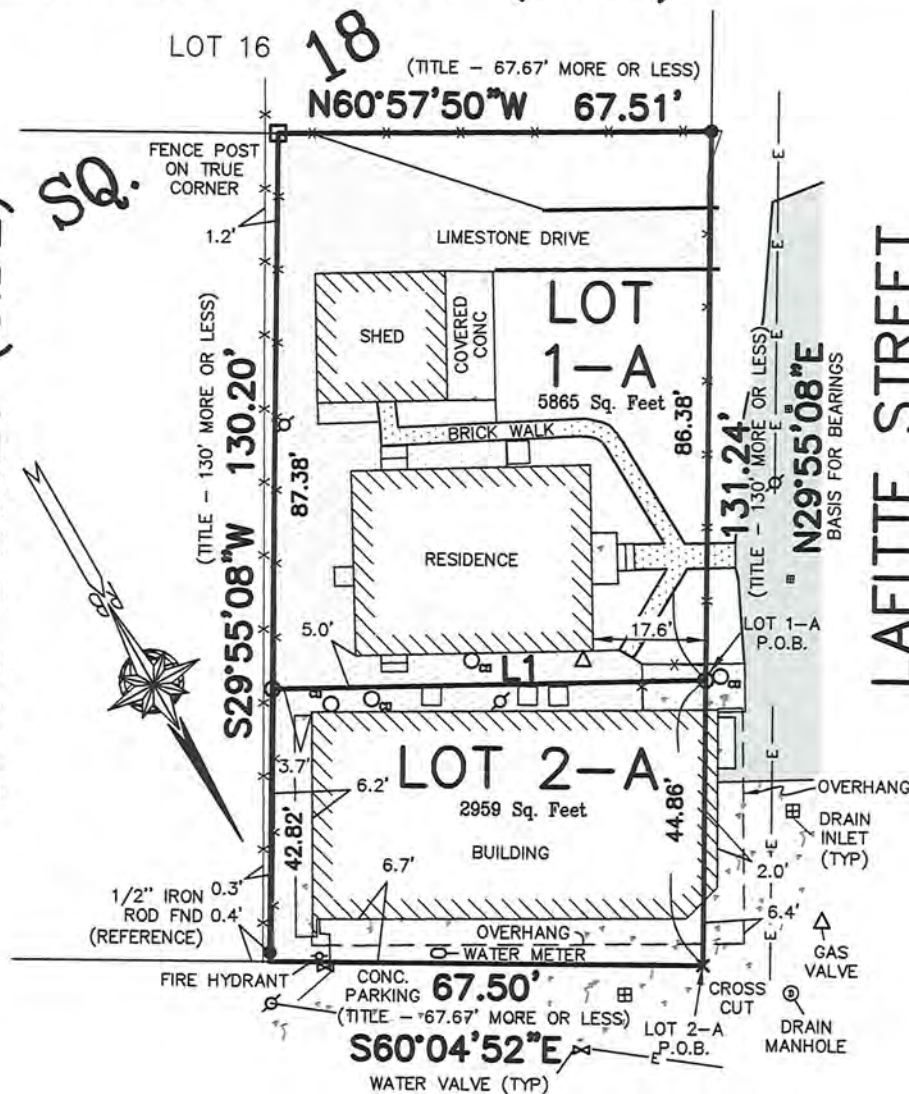
(985) 624-3103



MADISON STREET (SIDE)

GIROD STREET (SIDE)

LAFITTE STREET



NOTE:  
BEARINGS SHOWN HEREON ARE  
REFERENCED TO LOUISIANA  
STATE PLANE COORDINATES.  
LA SOUTH ZONE 1702.

LEGAL DESCRIPTION LOT 1-A:  
COMMENCING FROM THE INTERSECTION OF  
THE EASTERN RIGHT OF WAY LINE OF  
LAFITTE STREET AND THE SOUTHERN  
RIGHT OF WAY LINE OF MONROE STREET,  
THENCE GO S29°55'08"W A DISTANCE OF  
44.86' TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING GO  
S61°49'37"E A DISTANCE OF 67.53';  
THENCE S29°55'08"W A DISTANCE OF  
87.38'; THENCE N60°57'50"W A DISTANCE  
OF 67.51'; THENCE N29°55'08"E A  
DISTANCE OF 86.38' BACK TO THE POINT  
OF BEGINNING.

SAID PARCEL CONTAINS 0.135 ACRES OF  
GROUND MORE OR LESS.

LEGAL DESCRIPTION LOT 2-A:  
COMMENCING FROM THE INTERSECTION OF  
THE EASTERN RIGHT OF WAY LINE OF  
LAFITTE STREET AND THE SOUTHERN  
RIGHT OF WAY LINE OF MONROE STREET,  
ALSO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING GO  
S60°04'52"E A DISTANCE OF 67.50';  
THENCE S29°55'08"W A DISTANCE OF  
42.82'; THENCE N61°49'37"W A DISTANCE  
OF 67.53'; THENCE N29°55'08"E A  
DISTANCE OF 44.86' BACK TO THE POINT  
OF BEGINNING.

SAID PARCEL CONTAINS 0.068 ACRES OF  
GROUND MORE OR LESS.

LINE	BEARING	DISTANCE
L1	S61°49'37"E	67.53'

MONROE STREET

NOTE:  
OWNER OR BUILDER RESPONSIBLE  
FOR OBTAINING SETBACKS BEFORE  
DESIGN OR CONSTRUCTION BEGINS.

- DENOTES 1/2" IRON ROD TO BE  
SET UNLESS OTHERWISE NOTED
- DENOTES 1/2" IRON ROD FND  
UNLESS OTHERWISE NOTED

REFERENCE 1:  
SURVEY By Kelly J. McHugh, PLS  
Job No.: 89-461  
Dated: 10-3-1983  
REFERENCE 2:  
SURVEY By Ned R. Wilson, PLS  
Dated: 11-28-1988

Note: I have consulted the Federal Insurance Administration  
Flood Hazard Boundary Maps and found the property  
described IS located in a special flood hazard area,  
it is located in Flood Zone AE.

FIRM Panel# 2202020427D Rev. 5-16-2012

APPROVED:

MAYOR OF THE CITY OF MANDEVILLE

CHAIRMAN OF PLANNING COMMISSION

CITY ENGINEER OR PUBLIC WORKS DIRECTOR

PLANNING DIRECTOR

CLERK OF COURT  
Dawn K. Mendow, Deputy Clerk

DATE FILED

FILE NO.

Resubdivision of  
A PARCEL OF GROUND SITUATED IN  
SQUARE 18 \* TOWN OF MANDEVILLE \* CITY OF MANDEVILLE  
ST. TAMMANY PARISH, LOUISIANA  
INTO  
LOTS 1-A & 2-A

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE,  
ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, SUBSURFACE UTILITIES, RIGHTS OF WAY,  
DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON  
THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE  
STANDARDS FOR PROPERTY BOUNDARY SURVEYS"  
FOR A CLASS C SURVEY.

REG. NO. 04586

REGISTERED  
PROFESSIONAL

**Randall W. Brown  
& Associates, Inc.**  
Professional Land Surveyors

Randall W. Brown, P.L.S.  
Professional Land Surveyor  
LA Registration No. 04586

228 W. Causeway Approach, Mandeville, LA 70448  
(985) 624-5368 FAX (985) 624-5309  
info@brownsurveys.com

Date: FEBRUARY 20, 2024  
Survey No. 24283  
Project No. (CR5) A24042.TXT

Scale: 1" = 30' ±  
Drawn By: J.E.D.  
Revised:



CASE SUMMARY SHEET

CASE NUMBER: V25-11-27  
DATE RECEIVED: October 7, 2025  
DATE OF MEETING: November 18, 2025 and December 9, 2025

Address: 67 Oleander  
Subdivision: The Sanctuary, Lot 347  
Zoning District: R-1 Single Family Residential District  
Property Owner: Rockwell Builders, LLC

REQUEST: V25-11-27– Rockwell Builders, LLC requests a variance to CLURO Section 8.1.1.4. Allowed Setbacks Encroachments, The Sanctuary, Lot 347, R-1 Single Family Residential District, 67 Oleander

CASE SUMMARY: Place mechanical equipment in both side setbacks

The applicant owns the property at 67 Oleander located on the east side of Oleander Ct. and west of Juniper Ct. The property is slightly irregular in shape, measuring 123’ along Oleander, 150’ along the south property line, 129’ along the rear property line, and 145’ along the north property line and containing 18,815 sqft per a survey prepared by Kelly McHugh & Associates and dated 09.08.2025. The property is currently unimproved and a permit for new residential construction has been issued.

The new construction permit was issued with the condition that the mechanical equipment must be located to the rear of the structure. The applicant is requesting to place the mechanical equipment in both side setbacks of the property.

The application states that there are numerous houses within The Sanctuary subdivision that have their A/C and mechanical equipment located within the side yard setbacks, including the property adjacent to the applicant’s property, and they would like the same ability. A site plan was submitted by the applicant which shows the equipment in the south side setback will be located 15’-9¼” from the property line and the equipment in the north side setback will be located 18’-5½” from the property line.

CLURO SECTIONS:

8.1.1.4. Allowed Setbacks Encroachments

Every part of a required setback shall be open to the sky and unobstructed by accessory structures except:

- 4. **Mechanical Equipment.** Except as authorized for the elevation of existing structures, or where there is existing mechanical equipment located within the side setback, heating, ventilation, air conditioning, generator, or pool equipment shall not encroach into any required front or side setback.

7.5.1.3. R-1 Site Development Regulations

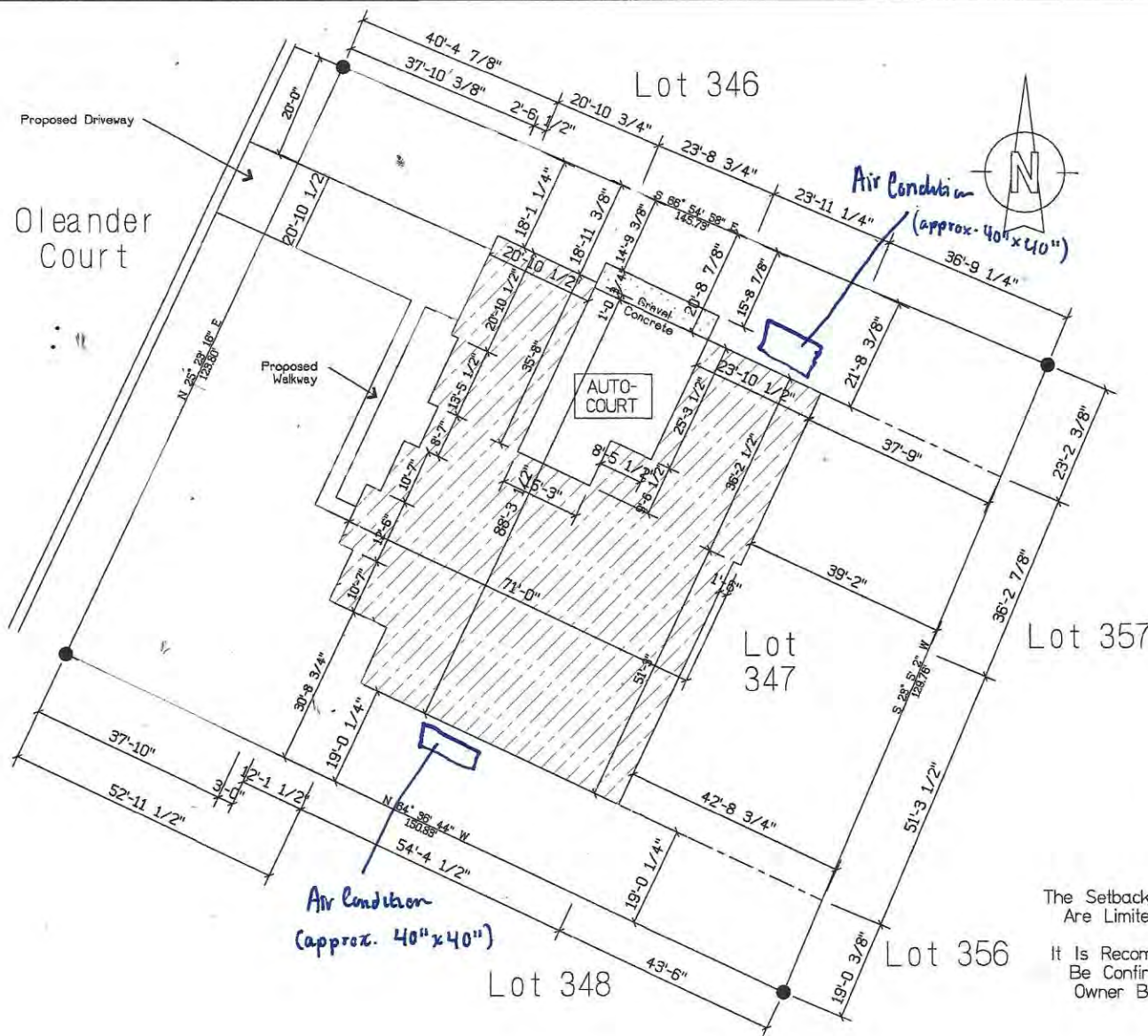
Each development site in the R-1 Single-Family Residential Zoning District shall be subject to the following site development regulations in addition to any regulations applicable under the provisions of Article 8. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

1. Minimum lot area	10,800 Square feet (except for legal non-conforming lots as provided)
2. Minimum building area (Square feet per unit)	1,200 Square feet
3. Minimum lot width	90'
4. Minimum lot depth	120'
5. Minimum Yard Setback Requirements	
a. Front yard	25'
b. Interior side yard*	
i. Frontage up to 50'	8' each side
ii. Frontage between 51' – 60'	10' each side
iii. Frontage between 61' – 75'	12' each side
iv. Frontage between 76' – 80'	13' each side
v. Frontage between 81' – 90'	15' each side
vi. Frontage between 91' – 100'	16' each side
vii. Frontage between 101' – 110'	18' each side
viii. Frontage between 111' +'	20' each side
c. Street side yard	15'
d. Rear yard	30'
6. Maximum Height of Structures	35'
7. Maximum Impervious Site Coverage	45%

\*The side yard setbacks of the site may be shifted into the opposite yard up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.







Setbacks

Front	40'
Side	20'
Rear	40'
Side Street	N/A

## PLOT PLAN

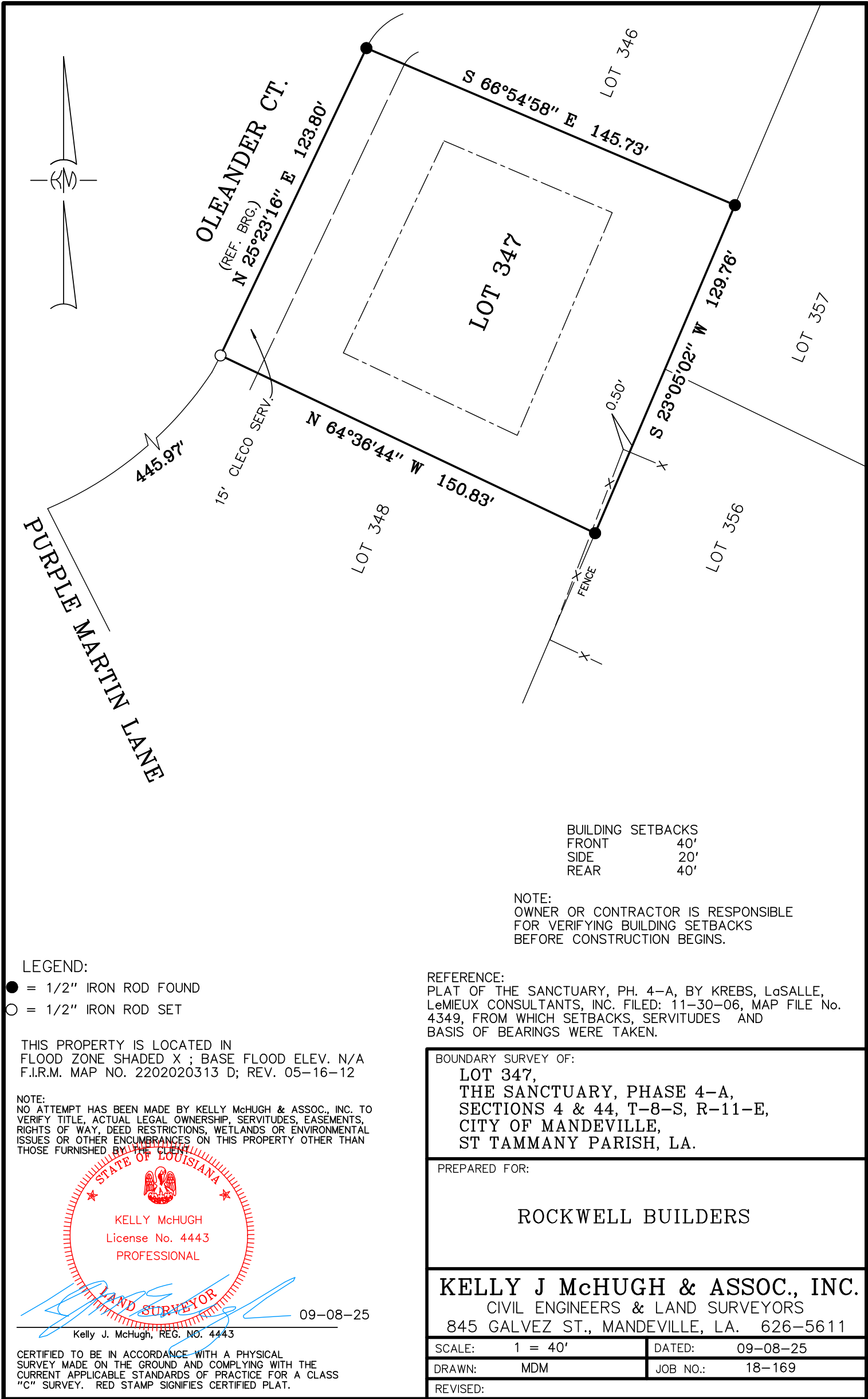
SCALE 1" = 20'-0"

The Setbacks And Restrictions Shown On This Plot Plan Are Limited To Those Set Forth In The Description Furnished To Us.

It Is Recommended That Setbacks And Lot Dimensions Be Confirmed By Professional Land Surveyor And, Owner Before Location Of Building Is Established.

Plans For:  
Rockwell Builders  
Lot 347, The Sanctuary, Phase 4-A  
St. Tammany Parish, Louisiana

Date: 9-2-2025



PURPLE MARTIN LANE

OLEANDER CT.  
(REF. BRG.)  
N 25°23'16" E 123.80'

S 66°54'58" E 145.73'  
LOT 346

LOT 347

LOT 357

LOT 356

LOT 348

N 64°36'44" W 150.83'

S 23°05'02" W 129.76'

0.50'

FENCE

15' CLECO SERV.

445.97'

BUILDING SETBACKS  
FRONT 40'  
SIDE 20'  
REAR 40'

NOTE:  
OWNER OR CONTRACTOR IS RESPONSIBLE  
FOR VERIFYING BUILDING SETBACKS  
BEFORE CONSTRUCTION BEGINS.

LEGEND:

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET

THIS PROPERTY IS LOCATED IN  
FLOOD ZONE SHADED X ; BASE FLOOD ELEV. N/A  
F.I.R.M. MAP NO. 2202020313 D; REV. 05-16-12

NOTE:  
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO  
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,  
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL  
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN  
THOSE FURNISHED BY THE CLIENT

REFERENCE:

PLAT OF THE SANCTUARY, PH. 4-A, BY KREBS, LoSALLE,  
LeMIEUX CONSULTANTS, INC. FILED: 11-30-06, MAP FILE No.  
4349, FROM WHICH SETBACKS, SERVITUDES AND  
BASIS OF BEARINGS WERE TAKEN.

BOUNDARY SURVEY OF:

LOT 347,  
THE SANCTUARY, PHASE 4-A,  
SECTIONS 4 & 44, T-8-S, R-11-E,  
CITY OF MANDEVILLE,  
ST TAMMANY PARISH, LA.

PREPARED FOR:

ROCKWELL BUILDERS

KELLY J McHUGH & ASSOC., INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1 = 40'

DATED: 09-08-25

DRAWN: MDM

JOB NO.: 18-169

REVISED:



Kelly J. McHugh, REG. NO. 4443

09-08-25

CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL  
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE  
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS  
"C" SURVEY. RED STAMP SIGNIFIES CERTIFIED PLAT.

From: [Catherine Rockwell](#)  
To: [Alex Weiner](#); [Tina Myers](#); [Robbie Rockwell](#)  
Subject: 67 Oleander Follow Up  
Date: Thursday, December 4, 2025 3:20:33 PM  
Attachments: [Outlook-iicfqdpy.png](#)  
[Outlook-Orixexmm.png](#)

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CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Good afternoon,

I submitted a public records request at the City of Mandeville to see if any variances were applied for for 81 Oleander Court as the house on 81 Oleander Court has generator, HVAC, and pool equipment on the side of the property. I just heard back about the public records request and it appears that there were no variance applications found and there's a 15' set back. Please see attached email.

We are asking for fair treatment and consideration and would like for this information to be known to the council.

Thanks,  
Catherine Rockwell

----- Forwarded message -----

From: **Kathleen Sides** <[ksides@cityofmandeville.com](mailto:ksides@cityofmandeville.com)>  
Date: Thu, Dec 4, 2025 at 2:51 PM  
Subject: Re: Fw: Public Records Request Form - Catherine Rockwell  
To: Catherine Rockwell <[REDACTED]>

Catherine,

A search of our records did not produce any variances.

***Kathleen Sides, CGFO***  
***Senior Accountant***  
***City of Mandeville***

***3101 E. Causeway Approach***  
***Mandeville, LA 70448***  
***985-624-3101***  
[www.cityofmandeville.com](http://www.cityofmandeville.com)



# MANDEVILLE

A Historic Lakefront Community

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**From:** Catherine Rockwell [REDACTED]  
**Sent:** Thursday, December 4, 2025 2:24 PM  
**To:** Kathleen Sides <[ksides@cityofmandeville.com](mailto:ksides@cityofmandeville.com)>  
**Subject:** Re: Fw: Public Records Request Form - Catherine Rockwell

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Thank you for the information. I just looked through the pdf you sent and I wanted to make sure there weren't any separate variance applications in regards to the HVAC, generator, or pool equipment to be on the side of the home.

Thanks for your help,  
Catherine Rockwell

On Thu, Dec 4, 2025 at 2:08 PM Kathleen Sides <[ksides@cityofmandeville.com](mailto:ksides@cityofmandeville.com)> wrote:  
Catherine,

Thank you for your public records request, which we recently received through the City's online portal. Pursuant to the Louisiana Public Records Law, La. R.S. 44:1 et seq., a search of our records has been conducted. The documents responsive to your request are attached.

Please don't hesitate to reach out if you have any questions or need anything further.

*Kathleen Sides, CGFO*  
*Senior Accountant*

City of Mandeville

[3101 E. Causeway Approach](#)

[Mandeville, LA 70448](#)

**985-624-3101**

[www.cityofmandeville.com](http://www.cityofmandeville.com)



# MANDEVILLE

A Historic Lakefront Community

---

**From:** [info@cityofmandeville.com](mailto:info@cityofmandeville.com) <[info@cityofmandeville.com](mailto:info@cityofmandeville.com)> on behalf of City of Mandeville <[info@cityofmandeville.com](mailto:info@cityofmandeville.com)>

**Sent:** Thursday, December 4, 2025 8:07 AM

**To:** Public Records Request <[pr@cityofmandeville.com](mailto:pr@cityofmandeville.com)>

**Subject:** Public Records Request Form - Catherine Rockwell

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

## City of Mandeville

### Public Records Request Form

[View full entry at CognitoForms.com.](https://cognitofrms.com)

## Entry Details



REQUESTED BY:

Catherine Rockwell

DATE OF REQUEST

12/4/2025

ADDRESS

[89 Mark Smith Drive, Mandeville, Louisiana 70471](#)

PRIMARY PHONE NUMBER:

[REDACTED]

EMAIL

[REDACTED]

SECTION A: DESCRIPTION OF  
RECORDS REQUEST

I am requesting the permit information for [81 Oleander Ct, Mandeville, LA 70471](#). I work with Rockwell Builders LLC and we are currently applying for a variance for [67 Oleander Ct](#) to be able to put the AC unit equipment on the sides of the home. The home on 81 Oleander Ct was constructed after the new CLURO went into effect stating that mechanical equipment cannot encroach on the side setbacks. The home on 81 Oleander Ct has a generator, HVAC and pool mechanical equipment on the side of the home. I talked to Alex at the City of Mandeville and he said I could submit a public records request for permit records and any possible variance applications to see how 81 Oleander Ct was allowed to have pool equipment, HVAC unit equipment, and generator equipment on the side of the home. I am seeking this information to assist in our variance application for [67 Oleander Ct](#).

SECTION B: CHOOSE A DELIVERY  
METHOD

View Records: The requestor will be notified when records are available for review. There is no cost to view records during business hours.

CASE SUMMARY SHEET

CASE NUMBER: V25-11-28  
DATE RECEIVED: October 8, 2025  
DATE OF MEETING: November 18, 2025 and December 9, 2025

Address: 3908 Hwy 22  
Subdivision: Hwy 22 Gateway, Lot B-1-A  
Zoning District: B-2 Highway Business District  
Property Owner: The Backpacker, LLC

REQUEST: V25-11-28– The Backpacker, LLC, represented by Will Eastin, requests a variance to CLURO Section 10.8.2.5. All Land Uses located in B-1, B-2, B-3, B-4, O/R, PM-1, PM-2, M-1, M-2, I, and TC Districts., Hwy 22 Gateway, Lot B-1-A, B-2 Highway Business District, 3908 Hwy 22

PREVIOUS CASE: V22-05-18 – Landscape and Site Development Regulations

CASE SUMMARY: Allow permanent window signage

The property at 3908 Hwy 22 is located within a shopping center on the south side of Hwy 22. The applicant runs The Backpacker, which is located in the southern building in the rear of the shopping center.

In June 2023, the City Council adopted Ordinance 23-19, which amended Article 10 of the CLURO. As part of this amendment the regulations governing window signs were changed to the following:

- Signs are temporary; and
- Signs are located inside the building; and
- Signs shall not, in the aggregate, cover more than twenty-five (25) percent of the area of any window or ten (10) percent of all window area for the building; and
- Signs cannot be illuminated.

There is a total of 796 sqft of window area. The applicant is requesting to keep the newly installed window signage on three windows. The signage would cover 143 sqft which is equal to 18% of the window area. Regulations allow for a maximum of 10% of all window area to be covered, which would be 80 sqft and the signage must be temporary.

The application states that there is not any excessive text or pricing on the displays and they are not directly facing the road.

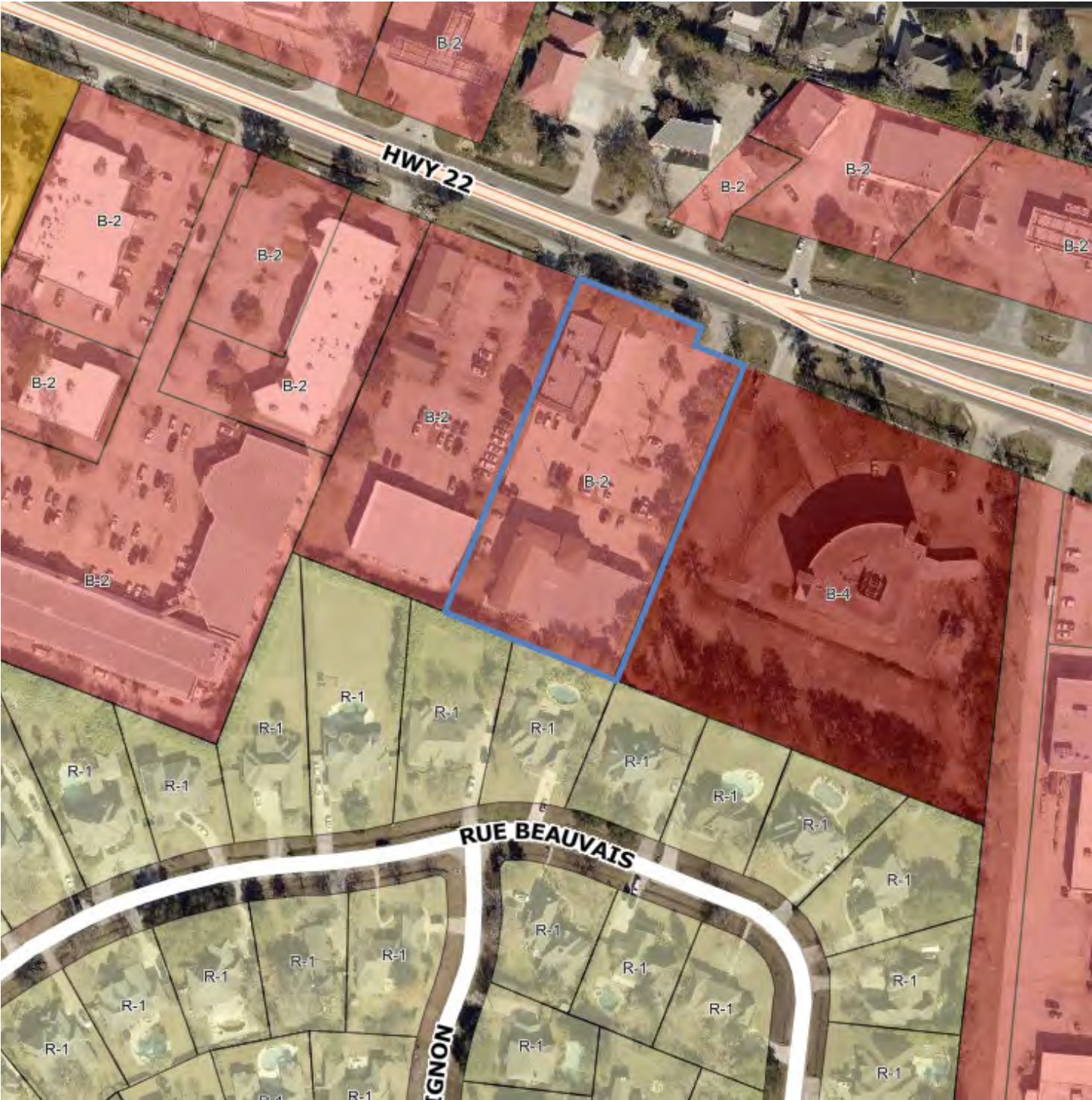
At the last meeting there was a request to see what a compliant configuration would look like. Current regulations allow for a maximum of 10% coverage, or 80 sqft. If only the middle section of the three windows were covered, that would equal 66.84 sqft which would be under the maximum coverage by 13.16 sqft. Regulations would still require the signage to be temporary in nature.

CLURO SECTIONS:  
10.8.2.5. All Land Uses located in B-1, B-2, B-3, B-4, O/R, PM-1, PM-2, M-1, M-2, I, and TC Districts.

Permitted Signs Allowed by District: All Uses in B-1, B-2, B-3, B-4, O/R, PM-1, PM-2, M-1, M-2, I, and TC Districts			
Drive-Through Signs	Murals	Window Signs	Detached Circulation Signs
Two (2) signs are allowed per lot, subject to all the following: <ul style="list-style-type: none"><li>• The maximum size is forty-eight (48) square feet per sign.</li><li>• May be externally or internally illuminated provided the light source is not visible from any public street and the lighting does not cause any uplight or glare.</li></ul>	One (1) per lot is permitted, subject to all the following: <ul style="list-style-type: none"><li>• May not exceed the size of the subject wall on which it is applied.</li><li>• May use paint, mosaic, tile, or other applied material provided materials are durable and weather-resistant.</li><li>• May not include integrated illumination, electrical, or moving components but may be illuminated by non-integrated light source provided the light</li></ul>	<b>No maximum number, subject to all the following:</b> <ul style="list-style-type: none"><li>• Signs are temporary; and</li><li>• Signs are located inside the building; and</li><li>• Signs shall not, in the aggregate, cover more than twenty-five (25) percent of the area of any window or ten (10) percent of all window area for the building; and</li><li>• Signs cannot be illuminated.</li></ul>	Six (6) signs are allowed per lot, subject to all the following: <ul style="list-style-type: none"><li>• Maximum sign area is five (5) square feet per sign.</li><li>• Maximum sign height is six (6) feet from grade.</li><li>• Signs may be externally or internally illuminated but may not cause any uplight or glare.</li><li>• All signs must be located within fifty (50) feet of an internal circulation lane or a pedestrian walkway.</li></ul>

	source is not visible from any public street and does not cause any uplight or glare.		
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The Zoning Commission may grant exceptions to the standards in this section for properties located in the B-3 district through the Special Use Permit process in Section 4.3.2. Procedures and Fees for Special Use Permit Approvals.

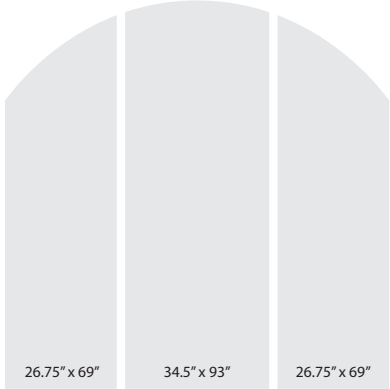






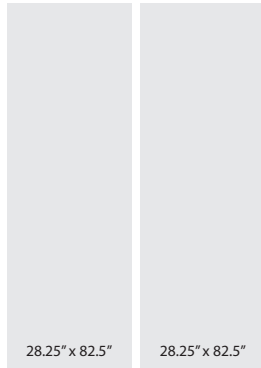
796.22 sf - Total Window SF  
143.76 sf - current coverage

A



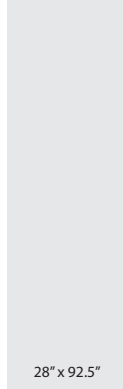
Quantity x6  
Total sf - 287.52sf

B



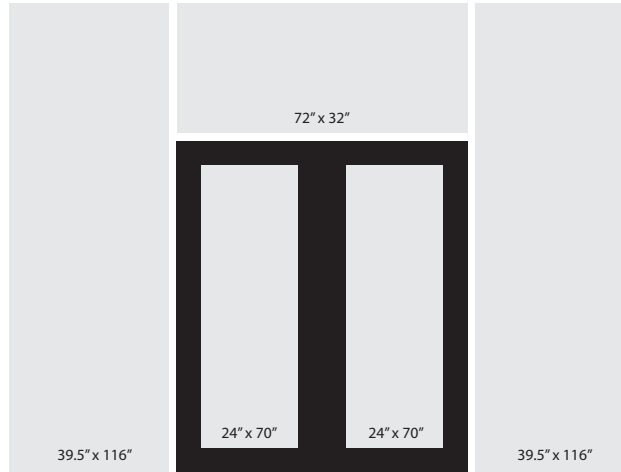
Quantity x10  
Total sf - 323.70sf

C



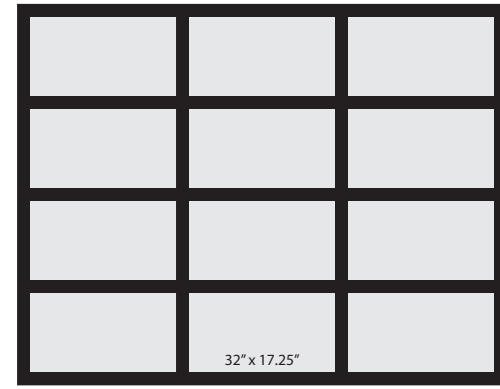
Quantity x2  
Total sf - 36sf

D



Quantity x1  
Total sf - 103sf

D2



Quantity x1  
Total sf - 46sf



FOR PROOFING ONLY - WILL NOT PRINT

— Cut/Trim Line — Kiss Cut  
— Score Line - - - - - Hem

**NOTE: This file has been modified by our art department.**

Please take the time to check all aspects of this PROOF CAREFULLY, you (customer) accept all responsibility of the final product.  
Please check for any mistakes in materials, spelling, composition, dimensions and finishing options.

Company: Backpacker Outdoors

Job #:	Item #: 1	Product: Window Decals
Quantity:	Designs:	Size:
Proof Date: 10/15/25	Revision:	Material: window perf vinyl
Sides: x1	Laminate: n/a	

Finishing:

CMYK Digital Inks & Pantone Colors:

● Cyan ● White  
● Magenta ● Varnish  
● Yellow  
● Black

Designer: Clint Corban

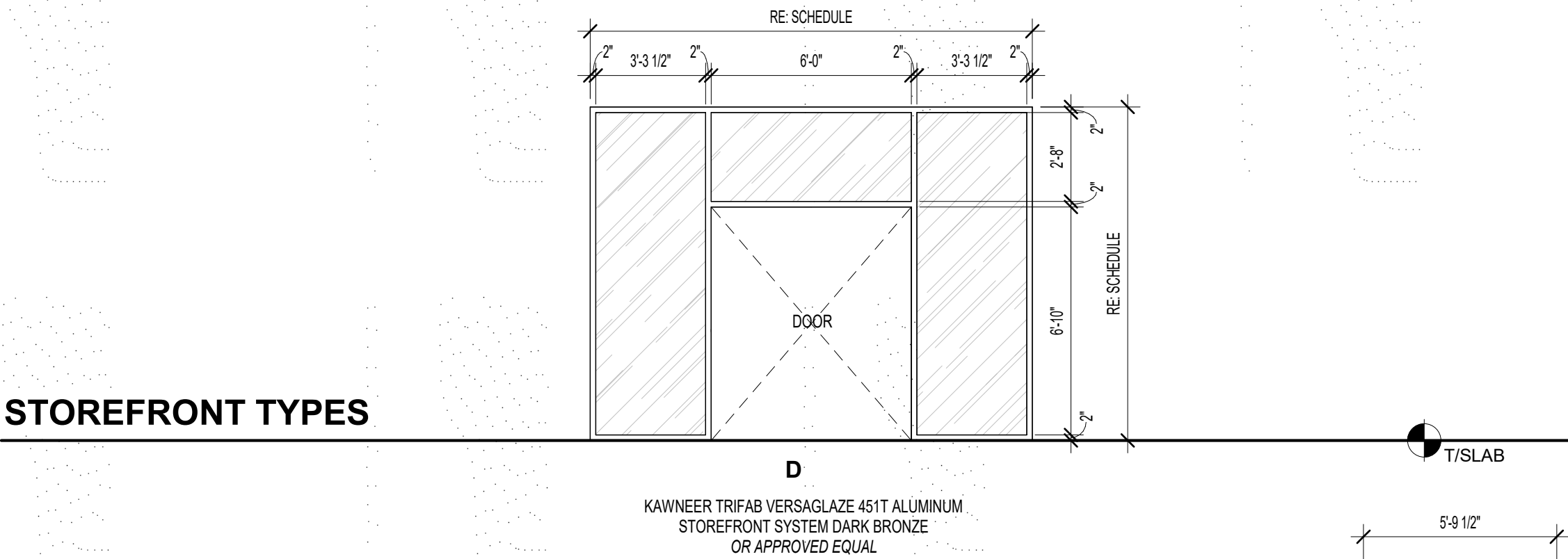
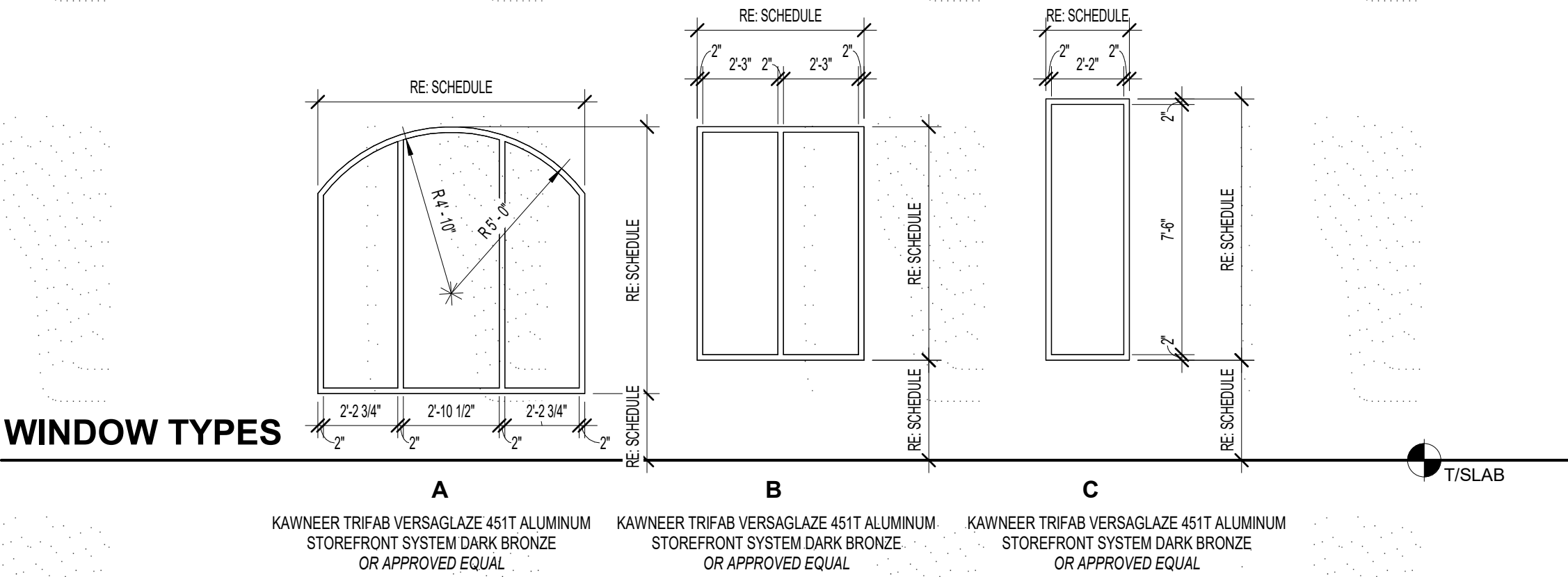
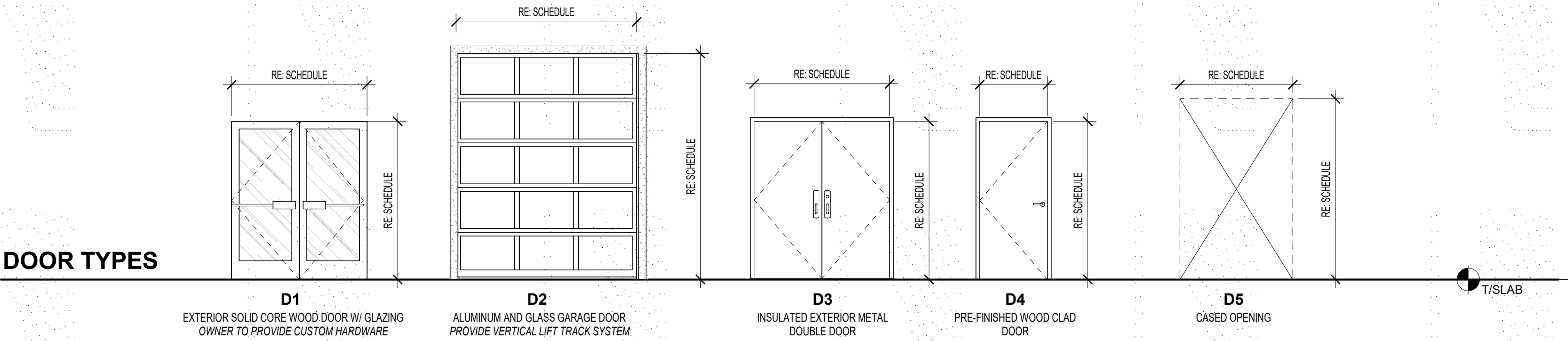
**COLOR WARNING:** If you do not provide samples or PMS numbers, we cannot guarantee a color match. Please do not assume that the final product will be the same colors as your monitor or printer.

DOOR SCHEDULE									
DOOR NO.	DOOR					FRAME		COMMENTS	
	W	HT	FIN.	MAT.	TYPE	FIN.	MAT.		
101A	6'-0"	7'-0"	WOOD	WOOD/GLASS	D1	DARK BRONZE	ALUM.	PRE-FINISHED; COLOR TO BE SELECTED BY ARCHITECT	
101B	10'-0"	8'-0"	DARK BRONZE	ALUM / GLASS	D2	DARK BRONZE	ALUM.	PROVIDE VERTICAL LIFT TRACK SYSTEM	
102	3'-0"	7'-0"	PTD	WD	D4	PTD	WD	PROVIDE CLASSROOM LOCKSET. HARDWARE FINISH TO BE DARK BRONZE	
102B	6'-0"	7'-0"	PTD	METAL	D3	PTD	METAL	PROVIDE ENTRANCE LOCKSET. HARDWARE FINISH TO BE DARK BRONZE	
103	3'-0"	7'-0"	PTD	WD	D4	PTD	WD	PROVIDE PRIVACY LOCKSET. HARDWARE FINISH TO BE DARK BRONZE	
104	3'-0"	7'-0"	PTD	WD	D4	PTD	WD	PROVIDE PRIVACY LOCKSET. HARDWARE FINISH TO BE DARK BRONZE	
105	5'-0"	8'-0"	PTD	GYP	D5	PTD	GYP.	CASED OPENING	

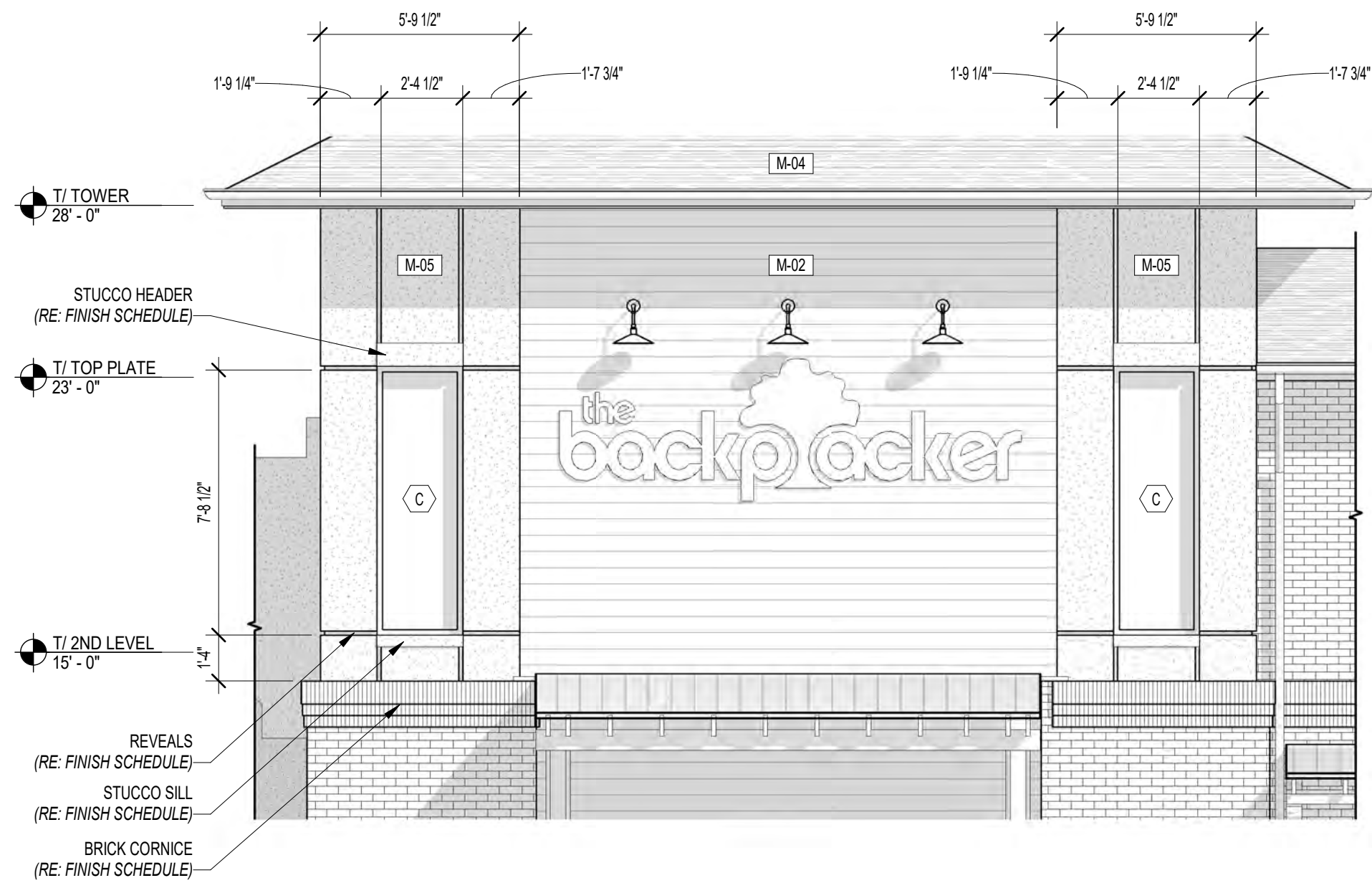
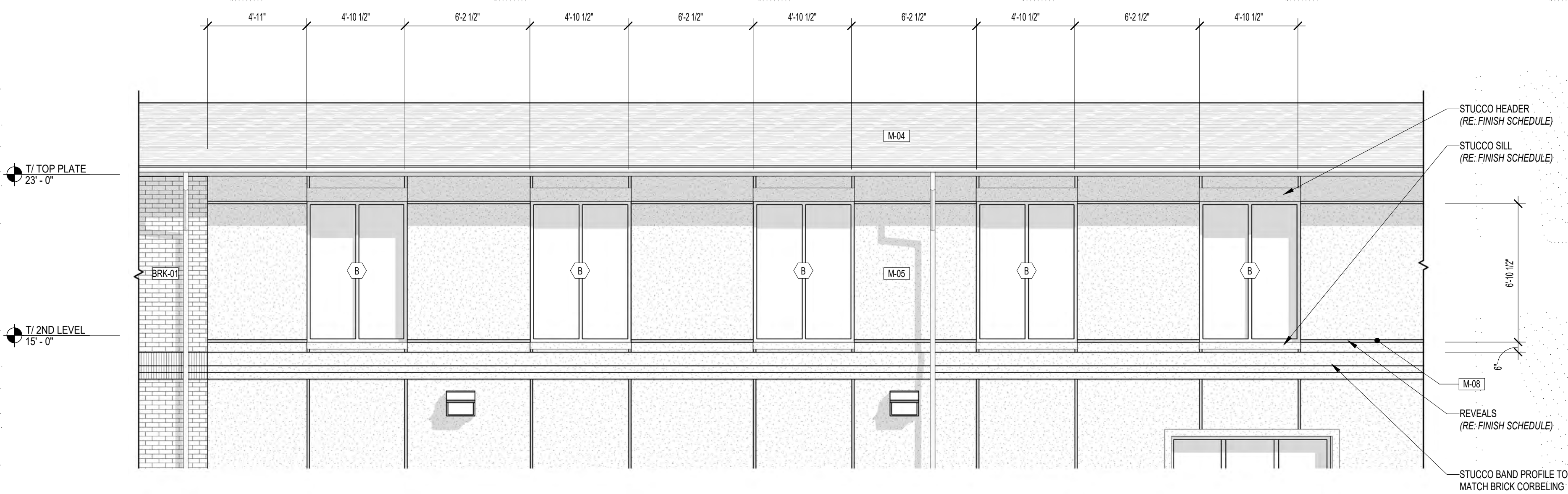
GENERAL DOOR NOTES:									
1. ALL DOORS SET IN MASONRY OR CONCRETE WALLS SHALL HAVE A 4" FRAME AT HEAD, UNLESS NOTED OTHERWISE.									
2. ALL DOORS WITH GLASS TO BE TEMPERED.									
3. ALL FIRE-RATED DOORS ARE TO HAVE COMPARABLE RATED HARDWARE.									
4. REFER TO DOOR SCHEDULE FOR FINISH TYPES.									
A. ALL INTERIOR DOORS WITH PREFABRICATED STEEL FRAMES TO BE TIMELY CLASSIC FRAME, S-SERIES IN WHITE WHITE CC301.									
B. ALL PREFINISHED WOOD DOORS TO BE PAINTED.									
(RE: FINISH SCHEDULE)									
5. REFER TO DOOR HARDWARE SETS FOR MORE INFORMATION. ALL DOOR HARDWARE TO COMPLY WITH BC 2015.									
6. DOOR HARDWARE FINISH TO MATCH BRUSHED STAINLESS STEEL.									

WINDOW & STOREFRONT SCHEDULE						
TAG	W	HT	SILL HT	MAT.	FIN.	COMMENTS
A	8'-0"	8'-0"	1'-10 1/2"	ALUM./GLASS	DARK BRONZE	
B	5'-0"	7'-0"	14'-8"	ALUM./GLASS	DARK BRONZE	
C	2'-6"	7'-10"	19'-6"	ALUM./GLASS	DARK BRONZE	
D	13'-3"	10'-0"	0'-0"	ALUM./GLASS	DARK BRONZE	

GENERAL WINDOW & GLAZING NOTES									
1. PROVIDE TEMPERED GLAZING AT ALL OF THE FOLLOWING LOCATIONS:									
• IN ALL DOORS									
• GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE PER IBC 2015 2406.4.2									
• ALL MIRROR GLAZING									
2. PROVIDE TEMPERED GLAZING IN WINDOWS THAT MEET ALL OF THE FOLLOWING PER IBC 2015 2406.4.3									
• THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SF									
• THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR									
• THE TOP EDGE OF THE GLAZING IS GREATER THAN 36" ABOVE THE FLOOR									
• ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING									
3. ALL WINDOW OPENINGS ARE TO HAVE A MIN. U-VALUE OF .5 AND AN SHGC RATING OF .25 OR LESS									
4. ALL OPENING FRAMES ARE TO BE THERMALLY BROKEN									



#### STOREFRONT TYPES



1 REGLET SPACING ELEVATION  
SCALE: 1/4" = 1'-0"

2 REGLET SPACING ELEVATION  
SCALE: 1/4" = 1'-0"

A NEW BUILDING FOR

THE  
BACKPACKER

3900 HWY 22  
MANDEVILLE, LA 70471

GLA JOB NO. 221059.01



REVISION NO.	DATE	REMARKS

#### PERMIT SET

DATE	03/15/2022
DRAWN BY	DPT
CHECKED BY	KLS

OPENING TYPES & SCHEDULE(S)

A7.1

CASE SUMMARY SHEET

CASE NUMBER: V25-11-29  
DATE RECEIVED: October 23, 2025  
DATE OF MEETING: November 18, 2025 and December 9, 2025

Address: 212 Lafitte  
Subdivision: Old Town of Mandeville, Square 25B Lot 1B  
Zoning District: B-3 Old Mandeville Business District  
Property Owner: Fiat Lafitte, LLC, represented by Doug Cresap

REQUEST: V25-11-29– Doug Cresap requests a variance to CLURO Section 8.1.1.4. Allowed Setbacks Encroachments, Old Town of Mandeville, Square 25B Lot 1B, B-3 Old Mandeville Business District, 212 Lafitte

PREVIOUS CASE: V25-04-09 – Site Development Criteria

CASE SUMMARY: Place mechanical equipment in the north side setback

The applicant owns the property at 212 Lafitte St., located on the west side of Lafitte St., north of Claiborne St., south of Jefferson St., and east of Carroll St. The property measures 54’ x 177’ and contains 9,558 sqft per a survey prepared by Randall Brown & Associates and dated 4.1.25. The property is currently improved with a single-family residence.

The existing structure is currently being elevated, and as part of this elevation a variance was granted in April of 2025 to shift the building slightly to the south to allow for vehicle access on the north side of the property and to bring the structure into compliance with the north side setback.

The originally approved plans had the mechanical equipment located on a utility platform at the rear of the structure. The applicant is requesting to relocate the equipment to the north side setback. A site plan prepared by KVS architecture was submitted and shows that the equipment will be located 6’-6” from the north property line. A letter from the neighbor to the north was submitted stating they are aware of the request and have no objection.

CLURO SECTIONS:

8.1.1.4. Allowed Setbacks Encroachments

Every part of a required setback shall be open to the sky and unobstructed by accessory structures except:

- 4. **Mechanical Equipment.** Except as authorized for the elevation of existing structures, or where there is existing mechanical equipment located within the side setback, heating, ventilation, air conditioning, generator, or pool equipment shall not encroach into any required front or side setback.

7.5.10.3. B-3 Site Development Regulations

Each development site in the B-3 Old Mandeville Business District shall be subject to the site development regulations established in Exhibit 7.5.10., in addition to any other applicable regulations under the provisions of this CLURO or any other laws of the City, state or federal government. Section 8.1 establishes additional rules for application of lot and area requirements. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

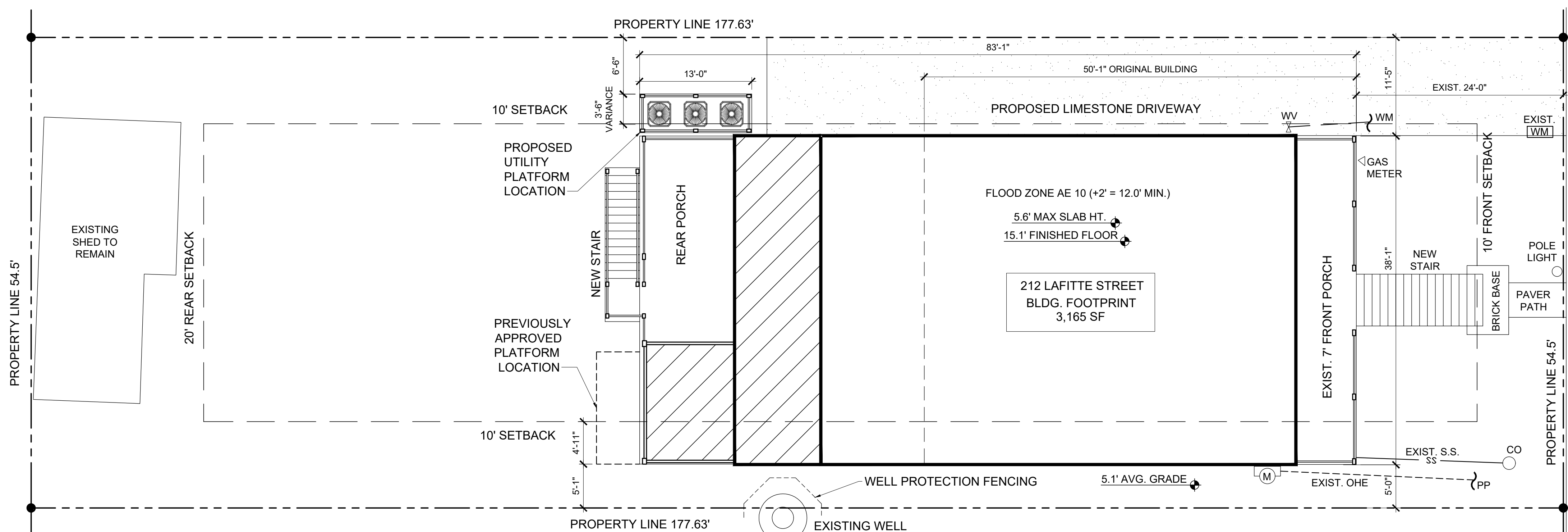
Site Development Factor	Standard	Comments
Minimum Lot Area	7,200 square feet	
Gross Lot Area Per Multi-Family Dwelling Unit	5,500 square feet	
Minimum Building Floor Area	800 square feet	
Maximum Building Ground Floor Area	5,000 square feet	No floor shall exceed this maximum floor area unless the Zoning Commission finds that the building meets the criteria established in section 7.5.10.2.3.
Minimum Lot Width	60 feet	The Planning Director may reduce dimensions by up to 10 percent as an exception if the minimum lot area requirements are met.
Minimum Lot Depth	120 feet	
Minimum Front Setback along Lakeshore Drive	25 feet	
Front Setback along all other Streets	The average of existing setbacks on the nearest two lots, but not less than 10 feet or more than 15 feet	Exceptions to maximum setbacks shall be allowed for courtyards and outdoor dining areas
Minimum Side Street Setback	15 feet	
Minimum Interior Side Setback*	20 feet if side abuts a lot with residential zoning	No setback is required for commercial buildings that extend across a property line or constructed with a firewall on the property line that



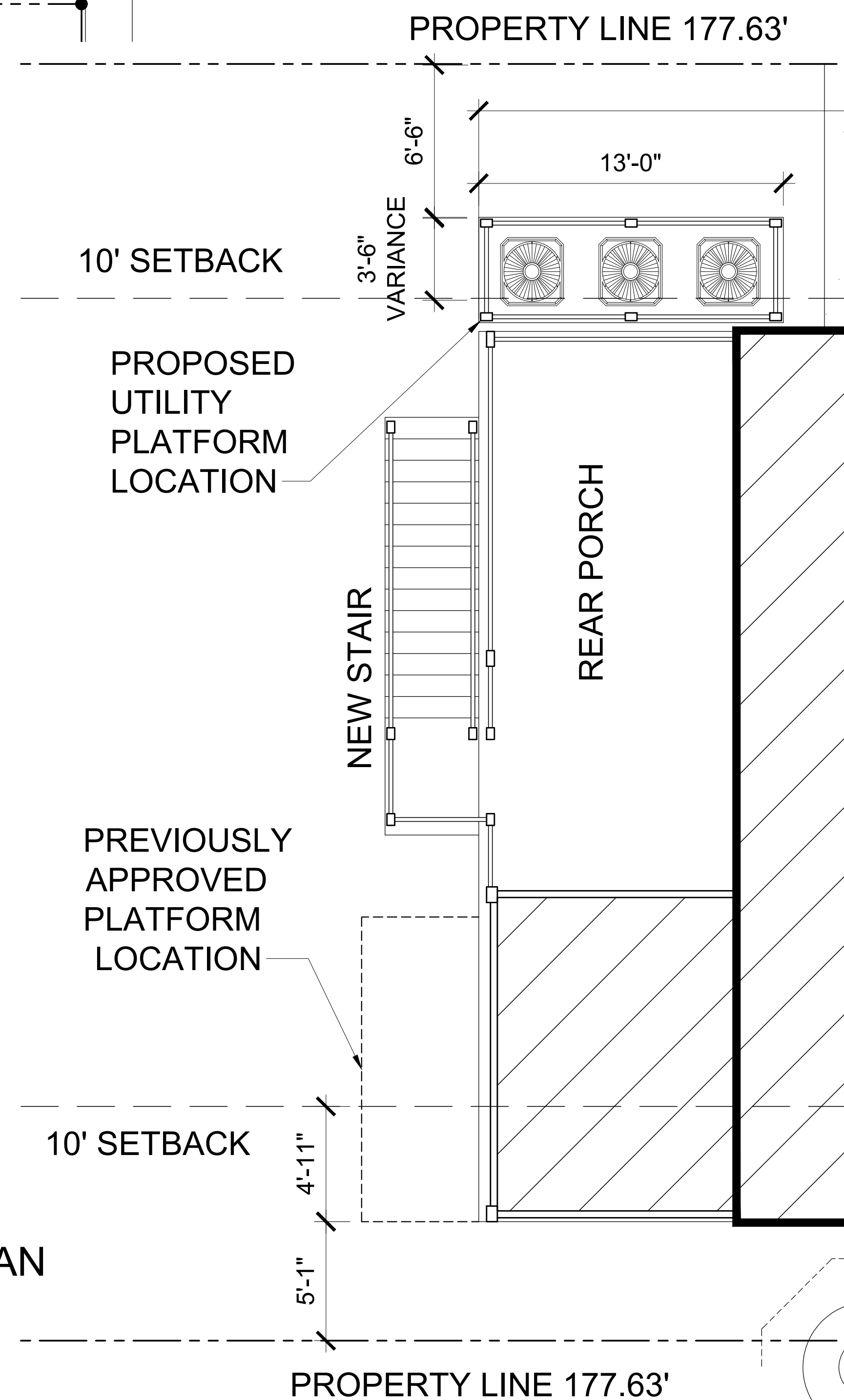
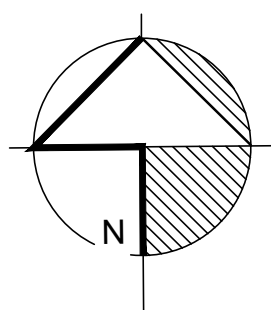
		complies with adopted building codes. The Planning Director may grant an exception for the elevation of existing primary structures where relocation of the building or mechanical equipment are impractical.
i. Frontage up to 50'	8' each side	
ii. Frontage between 51' – 60'	10' each side	
iii. Frontage between 61' – 75'	12' each side	
iv. Frontage between 76' – 80'	13' each side	
v. Frontage between 81' – 90'	15' each side	
vi. Frontage between 91' – 100'	16' each side	
vii. Frontage between 101' -110'	18' each side	
viii. Frontage between 111' - +'	20' each side	
Minimum Rear Setback	20 feet	
Mechanical Appurtenances	All mechanical appurtenances elevated more than 3 feet above grade shall comply with required building setbacks and shall be screened in accordance with Article 9 if located in the front or side yard, regardless of elevation.	The Planning Director may grant an exception for mechanical appurtenance setback encroachments when an existing primary structure is elevated and relocation of the building or mechanical equipment is impractical.
Maximum Structure Height	35 feet	See section 8.1.1 for additional rules regarding Structure Height
Maximum Impervious Site Coverage	75%	

\*The side yard setbacks of the site may be shifted into the opposite side yard by up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.

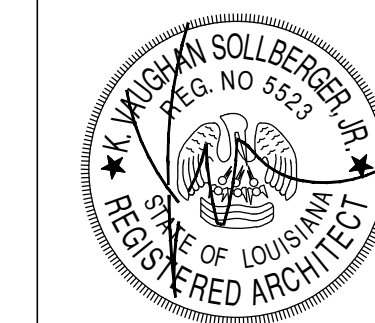




1 SITE PLAN  
1/8" = 1'-0"



2 ENLARGED PLAN  
1/4" = 1'-0"



**KVS** architecture  
235 Girod Street, Mandeville, Louisiana  
985.674.3077 www.kvsarchitecture.com

212 LAFITTE STREET  
MANDEVILLE, LA 70448

REVISIONS:
8.18.25
DATE:
7.29.25
PROJECT No:
25004
DRAWING:

A1.0









CASE SUMMARY SHEET

CASE NUMBER: V25-11-30  
DATE RECEIVED: October 24, 2025  
DATE OF MEETING: November 18, 2025 and December 9, 2025

Address: 229 & 235 Lamarque  
Subdivision: Old Town of Mandeville, Square 7, Lots 16 & 17A  
Zoning District: R-1 Single Family Residential District  
Property Owner: John and Amy Crane

REQUEST: V25-11-30–John and Amy Crane request a variance to CLURO Sections 7.5.1.3. R-1 Site Development Regulations, Old Town of Mandeville, Square 7, Lots 16 & 17A, R-1 Single Family Residential District, 229 & 235 Lamarque

CASE SUMMARY: Allow an impervious percentage of 63% utilizing True Grid material

The applicant owns the property at 229 & 235 Lamarque St., located on the east side of Lamarque St., north of Claiborne St., and south of Jefferson St. The property measures 127’ x 202’ and contains 25,911 sqft. The property is improved with a church and parsonage building.

The applicant is wanting to develop the property with parking to reduce the street parking for the church. Previously the applicant had requested to rezone the property to I Institutional to allow the development in conformance with the Institutional site development criteria. The Institutional Site Development Regulations allow for a maximum impervious coverage of 75%, while in the R-1 District the maximum allowed impervious coverage is 45%. The lot is 25,911 sqft which would allow for a maximum impervious area of 11,660 sqft.

Currently there is 16,262 sqft of impervious area being proposed for a total of 63%. 9,636 sqft of the impervious area is comprised of the True Grid permeable paver system. Without the True Grid included, the impervious area drops to 6,626 sqft or 26%. Current CLURO regulations define impervious surfaces as *“Any material that substantially reduces or prevents the infiltration of storm water into previously undeveloped land. Impervious surfaces shall include graveled driveways and parking areas”*. Under the Institutional development regulations, the 63% impervious coverage would be under the maximum allowed coverage by 12%.

CLURO SECTIONS:

7.5.6.1. Purpose of the Institutional District

The purpose of the institutional district shall be to accommodate uses of a civic, religious, educational, institutional or public nature in areas that provide maximum accessibility for the public to utilize the facilities provided in the institutional district.

7.5.6.3. Site Development Regulations

Each development site in the Institutional District shall be subject to the following site development regulations in addition to any other applicable regulations under the provisions of this Land Use Regulations Ordinance or any other laws of the City, state or federal government. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

1. Minimum lot area	30,000 Square feet
2. Minimum lot width and depth	150'
3. Minimum Yard Setback Requirements	
a. Front Yard	25’ or required depth of greenbelt, whichever is greater
b. Street Side or Rear Yard	15’ or required depth of greenbelt, whichever is greater
c. Interior Side or Rear Yard-	
1) Adjacent to Residential Districts	20'
2) Adjacent to Other Districts	5' or
3) With firewall at property line	0'
4. Maximum Height of Structures	35’
5. Maximum Impervious Site Coverage	75%

7.5.1.3. R-1 Site Development Regulations

Each development site in the R-1 Single-Family Residential Zoning District shall be subject to the following site development regulations in addition to any regulations applicable under the provisions of Article 8. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

6. Minimum lot area	10,800 Square feet (except for legal non-conforming lots as provided)
7. Minimum building area (Square feet per unit)	1,200 Square feet
8. Minimum lot width	90'
9. Minimum lot depth	120'
10. Minimum Yard Setback Requirements	



a. Front yard	25'
b. Interior side yard*	
i. Frontage up to 50'	8' each side
ii. Frontage between 51' – 60'	10' each side
iii. Frontage between 61' – 75'	12' each side
iv. Frontage between 76' – 80'	13' each side
v. Frontage between 81' – 90'	15' each side
vi. Frontage between 91' – 100'	16' each side
vii. Frontage between 101' – 110'	18' each side
viii. Frontage between 111' +'	20' each side
c. Street side yard	15'
d. Rear yard	30'
11. Maximum Height of Structures	35'
12. Maximum Impervious Site Coverage	45%

\*The side yard setbacks of the site may be shifted into the opposite yard up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.







1354 Villere St., Mandeville, LA. 70448  
504.881.6920

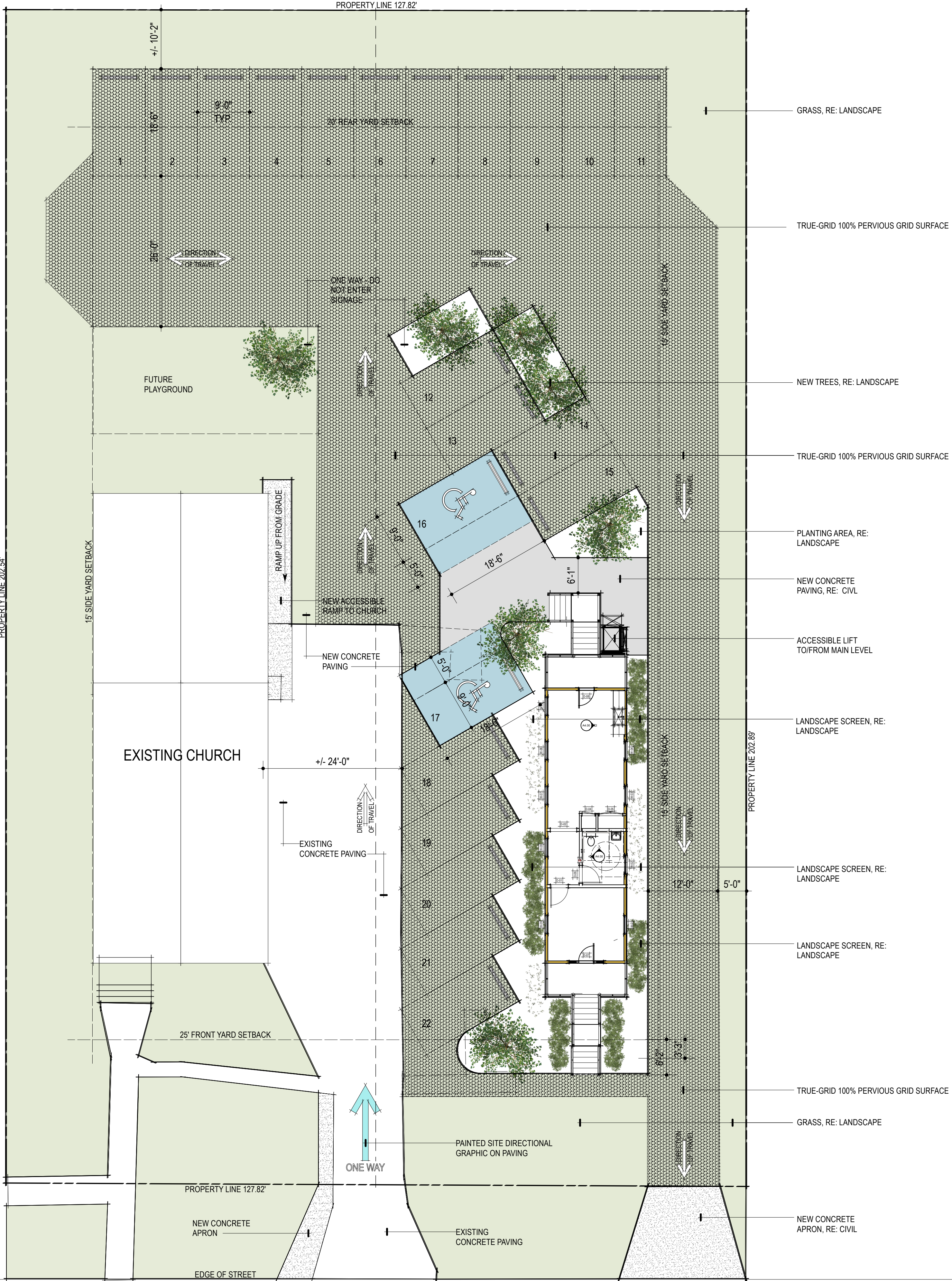
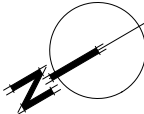
2239 LA MARQUE ST.  
MANDEVILLE, LOUISIANA

Revision No.	Date	Revision Notes
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10/28/25	Drawn By	JZ
	Checked By	
	Reviewed By	JZ
	CAD File Name	229 Lamarque 200.v
10/28/25	Plot Date	

# A1.30

FOR PERMIT ONLY. NOT FOR CONSTRUCTION.





TOTAL SITE AREA: 25,911  
MAXIMUM IMPERVIOUS SITE COVERAGE: 45%, OR 11,660

IMPERVIOUS SITE COVERAGE:

- 963 SF - PARSONAGE (AFTER DEMO OF NON-HISTORIC ADDITIONS)
- 2227 SF - EXISTING CHURCH
- 2293 SF - EXISTING PAVING TO REMAIN
- 985 SF - NEW PAVING
- 6,468 SF - TOTAL IMPERVIOUS SITE AREA
- 25%

PERVIOUS SITE COVERAGE (WITH VARIANCE TO ALLOW TRUEGRID AS ALLOWABLE PERVIOUS SURFACE)

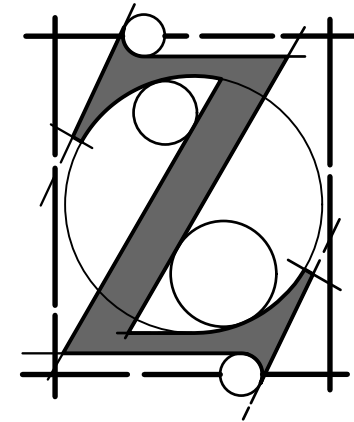
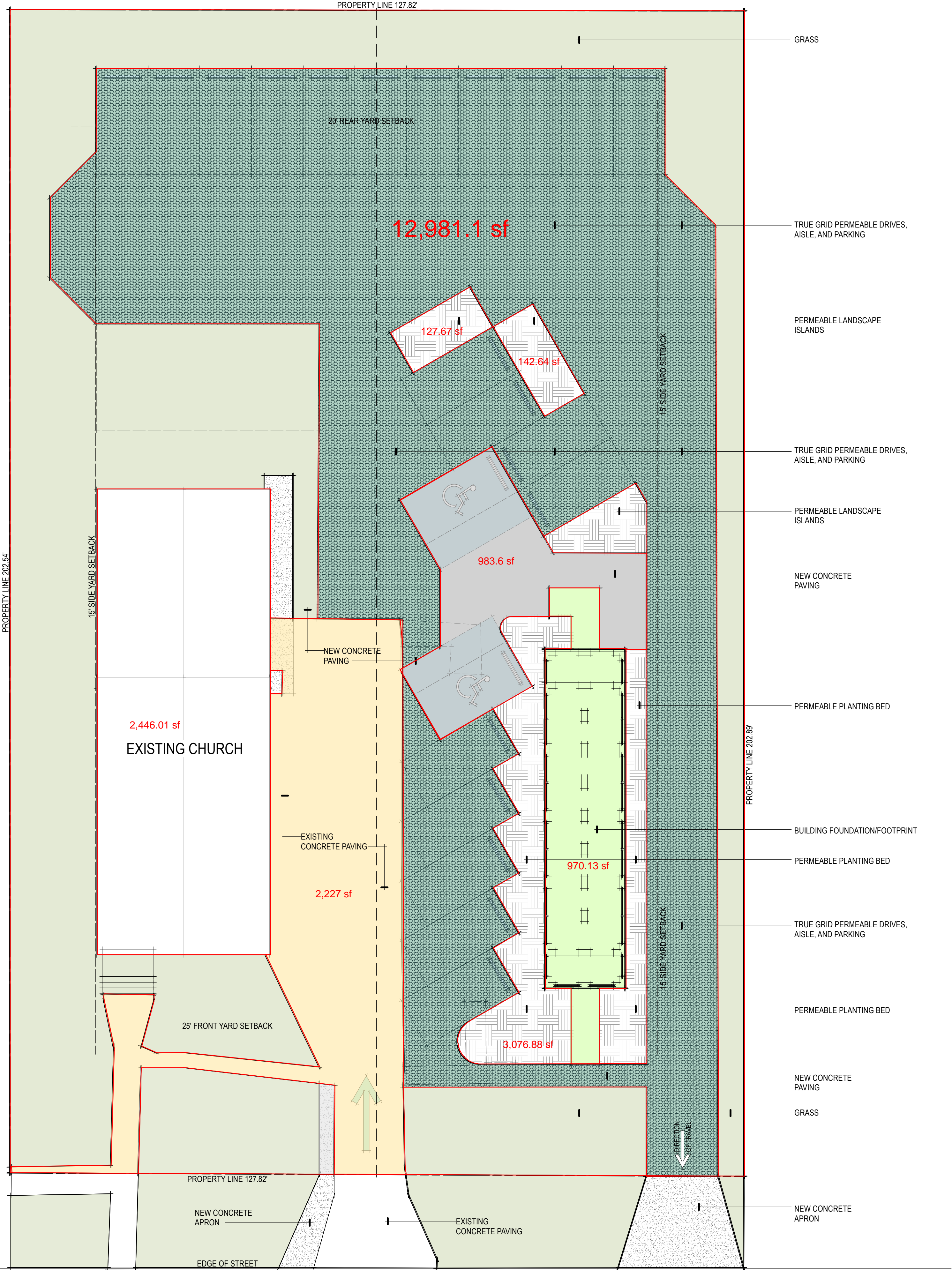
- 9641 SF - TRUEGRID PRO PLUS PAVER SYSTEM (OR EQUAL) 100% PERMAEBLE
- 9782 SF - LAWN AND LANDSCAPE AREAS
- 19,423 SF - TOTAL PERVIOUS SITE AREA
- 75%

Total Site Area: 25,911 sqft  
Maximum Impervious Site Coverage: 11,660 sqft or 45%

Impervious Site Coverage:  
2,446 sqft - Existing Church  
2,227 sqft - Existing Paving to Remain  
970 sqft - Parsonage Building  
983 sqft - New Paving  
9,636 sqft - TrueGrid Paver System

16,262 sqft Total Impervious Area or 63%  
6,626 sqft Total Impervious Area without TrueGrid area or 26%

25,911.1 sf



THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH ALL CITY, PARISH, AND STATE CODE REQUIREMENTS. I AM NOT SUPERVISING CONSTRUCTION.

Jason I Zuckerman, Architect, LLC  
1354 Villere St., Mandeville, LA. 70448  
504.881.6920

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229 LAMARQUE ST.  
MANDEVILLE, LOUISIANA

Revision No.	Date	Revision Notes
1	10/29/25	

Date	10/29/25
Drawn By	JZ
Checked By	
Reviewed By	JZ
CDT File Name	229 Lamarque 2025.dwg
Plot Date	10/29/25

PERVIOUS/IMPERVIOUS ANALYSIS

A1.35





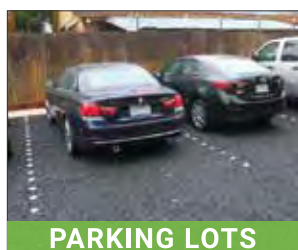
## PRO PLUS™

### The Commercial Paver

TRUEGRID® Pro Plus™ is 100% permeable. Drive on the surface, detain storm water below.

Save land and money. Utilize 100% of your land by eliminating detention ponds. Our products are also strong enough for heavy traffic or 18 wheelers, and they're less expensive than concrete.

TRUEGRID® has been used by Google, AutoNation, NASCAR, the US military, and more.



PARKING LOTS



FIRE LANES



STORAGE AREAS



INDUSTRIAL

Contact us today for a custom quote.

**TRUEGRIDPAVER.COM**

**1-855-355-GRID**

## THE TRUEGRID® ADVANTAGE

**No need for a detention pond!**

**100% pervious cover.**

**100% land use.**

**100% post-consumer recycled plastic.**

**Stores storm water underground to prevent flooding.**

**Requires little to no maintenance.**

**Grass or gravel fill options.**

**Less expensive than concrete!**

**Stays cool in the summer.**

**Natural aesthetic.**





# World's Strongest Permeable Pavers

US Patent #8,734,049 | US and Foreign  
Patents Pending

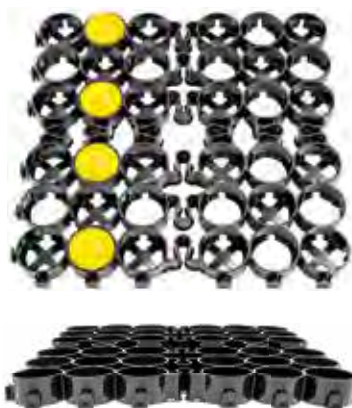


## DRIVEN BY PURPOSE...

We have a clarity of purpose for our business: to challenge conventional thinking and disrupt traditional paving methods; to ultimately create a better, cleaner, less toxic environment for our kids.

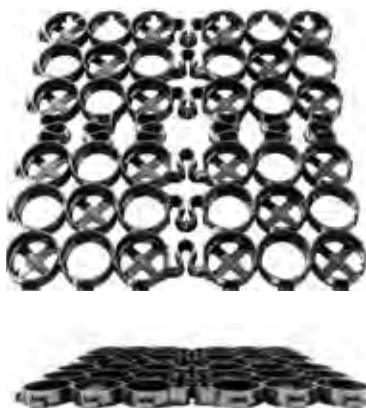
By offering a simple new green technology that is easily actionable, together we can make an impact now. Less flooding. Cleaner air and water. Less heat. Less thermal pollution. Less waste in the landfill. Fewer toxins from runoff pollutants as well coal tar & asphalt. A more natural landscape.

### PRO PLUS®



The Commercial  
Paver

### PRO LITE



The Residential  
Paver

### ROOT®



The Grass  
Paver

# WORKS IN ALL CLIMATES AND SOILS

## STORM WATER DETENTION



100% PERVIOUS  
COVER



1,300+ INCHES/HOUR  
INFILTRATION RATE

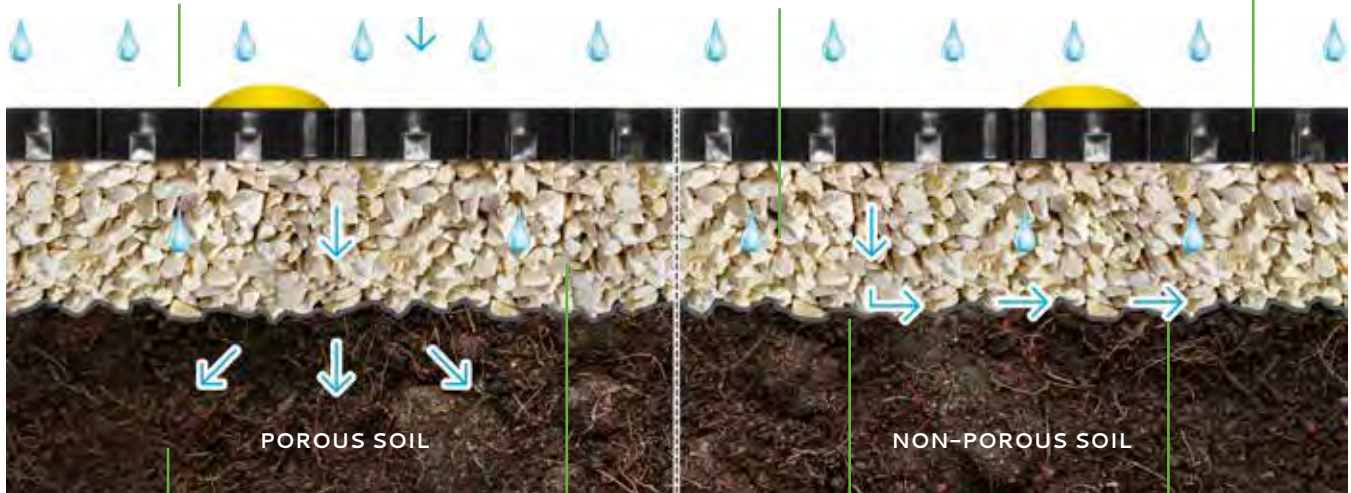


0.0 - 0.05 RUNOFF  
COEFFICIENT

CLEAN / WASHED  
ANGULAR AGGREGATE

STORM WATER  
INFILTRATION

SUB-BASE DEPTH CAN VARY FOR LOADING OR  
STORM WATER DETENTION REQUIREMENTS



POROUS SOIL

NON-POROUS SOIL

STORM WATER NATURALLY  
PERCOLATES INTO SOIL

40% VOID SPACE ALLOWS FOR  
STORM WATER STORAGE

GEOTEXTILE  
FABRIC

SHEET FLOW OR DIRECT USING  
PERFORATED PIPE

### HOW TO CALCULATE STORM WATER DETENTION CAPACITY

Detention Capacity = TRUEGRID Area (A) x Total Aggregate  
Depth (d) x 40% Void Space =  $A \times d \times 0.40$

WHERE:

d = Depth of Sub-base + TRUEGRID Height

EXAMPLE:

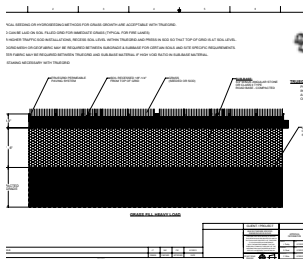
1 Acre Lot, TRUEGRID PRO PLUS, 8in Sub Base  
Fill & Sub Base -  $\frac{3}{4}$ " Clean/Washed Angular Stone  
Detention Capacity =  $A \times d \times 0.40$

WHERE:

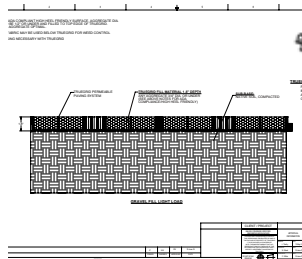
$A = 1 \text{ Acre} = 43,560 \text{ sf}$   
 $d = 8 \text{ in} + 1.8 \text{ in} = 9.8 \text{ in} = 0.8 \text{ ft}$   
Detention Capacity =  $43,560 \times 0.8 \times 0.4 = 13,939 \text{ cf}$

Go to TECHNICAL INFO on [TRUEGRIDpaver.com](http://TRUEGRIDpaver.com) for typicals. Call for site specific questions: 1-855-355-GRID (4743)

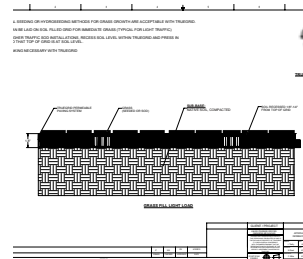
#### 1. Grass Fill Heavy Load



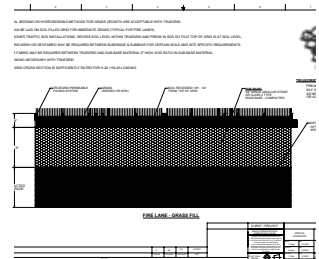
#### 2. Gravel Fill Light Load



#### 3. Grass Fill Light Load



#### 4. Fire Lane





# DESIGN FEATURES



U.S. Patent No. 8,734,049

The robust cells allow our 2 lb grid to handle over 1 million lbs per square foot load! No gravel migration, compaction or dust. **100% permeability.** The grid can be pressed together by hand, no tools, no clips. With the integral X-anchors, no staking is needed. A bottom flange prevents sinking. Other systems are either too flexible & weak & can't handle trucks or traffic; or too rigid because soils move and paving cracks! The S-Flex Joints solve these problems giving our grid the best of both. A versatile design for any climate or soil or weight or traffic load.

## INDEX

Works in All Climates and Soils  
Introduction  
Sub-Base Considerations  
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GRAVEL FILL



GRASS FILL



# INTRODUCTION TO THE TRUEGRID SYSTEM

---



In urban watersheds, almost all of the impervious surface area is represented by building rooftops and paved surfaces. In residential areas most of the paved area is represented by the roadway system and residential driveways. Parking lots and paved industrial storage areas represent an even larger portion of the impervious surface in commercial and industrial areas. Impervious pavements can produce two-thirds of the excess runoff in an urban catchment. Runoff from impervious pavements contributes a substantial loading of hydrocarbons and heavy metal pollutants, and contributes greatly to the increased temperature of surface runoff. In most urban jurisdictions, a paved roadway system with a traditional curb and gutter configuration provides a key component of the overall urban drainage system. Surface flow from adjoining tributary watersheds is conveyed directly into catch basin inlets and connected piping systems. In these traditional impervious paved systems, the runoff coefficient (runoff volume) is increased and the time of concentration is decreased resulting in increased peak rates of runoff. TRUEGRID provides a highly permeable stabilized surfaces that can be used for the movement and parking of vehicles (automobiles, trucks, construction equipment, aircraft, etc.) and storage of materials and equipment.

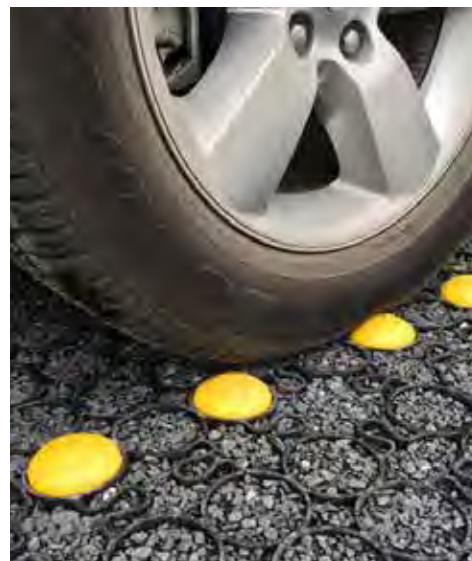
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## Drive on the surface, drain & detain stormwater below.

---

Compared to conventional pavement, the TRUEGRID system is designed to infiltrate storm water runoff instead of shedding it off the surface. TRUEGRID will reduce the amount of runoff by allowing water to pass through surfaces that would otherwise be impervious. The storm water passes through the load bearing surface and aggregate base that are selected based upon the intended application and required infiltration rate. Runoff is stored in the stone aggregate base course / storage layer, and allowed to infiltrate into the surrounding soil (functioning like an infiltration basin).

A TRUEGRID surface has very high initial surface infiltration rates and can immediately infiltrate and store rainfall and runoff from high intensity rainstorms. In many cases, direct runoff is completely eliminated. The surface infiltration rates for TRUEGRID will in most cases exceed 1,300 inches/hour. This is several orders of magnitude higher than all the rainfall intensities encountered in the Southwest and Midwest USA.



Compared to conventional pavement, the TRUEGRID system is designed to infiltrate storm water runoff instead of shedding it off the surface. TRUEGRID will reduce the amount of runoff by allowing water to pass through surfaces that would otherwise be impervious. The storm water passes through the load bearing surface and aggregate base that are selected based upon the intended application and required infiltration rate. Runoff is stored in the stone aggregate sub base course / storage layer, and allowed to infiltrate into the surrounding soil (functioning like an infiltration basin).

# BASE LAYER CONSIDERATIONS FOR STORM WATER DETENTION

Crushed aggregate is commonly used as a base layer. Look for uniform size, hard, angular, clean, 1" to 1.5" (PRO PLUS/Commercial) and 3/4" to 1.25" (PRO LITE/Residential) open-graded stone. These materials are widely available and they are recommended for most TRUEGRID Permeable Paver applications. These materials will have a nominal porosity (volume of voids/total volume of base) over 0.32 and a storage capacity in the void space (volume of voids/volume of aggregate) approaching 40%. A 40% void space provides 0.4 cubic feet of storage capacity for each cubic foot of aggregate (the volume of the base will need to be 2.5 times the volume of water to be stored).

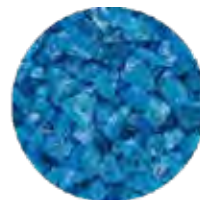
**Base Material for Grass Infill Installations.** Should be a ¾" minus, sandy gravel road base with a limited amount of fine material (3-8% passing #200). Although reducing the stormwater storage capacity to around 20%, this base will grow grass, support heavy loads, and drain.

## TYPICAL BASE MATERIAL

A clean/washed, angular (no rounded) stone, uniform size, from hard sources (limestone or harder) is the recommended base material for under most TRUEGRID gravel filled applications.



## ENDLESS GRAVEL FILL OPTIONS



# THE VALUE TO THE TRUEGRID SYSTEM

**Runoff volume reduction/elimination** is achieved when TRUEGRID is placed over in situ soils and a defined volume of the water passing through the pavement is infiltrated into the angular stone base and soil subgrade below.

**Peak runoff rate reduction** is achieved when the volume of water passing through the TRUEGRID surface is “detained” for a defined period of time within the pavement cross-section and the open graded aggregate base layer beneath the pavement. The effective infiltration rate for the watershed is increased by trapping the water in the permeable surfaces and effectively increasing the time of concentration in the catchment area.

**Pollutant removal.** Infiltration of storm water runoff through the pavement surface will provide a degree of suspended solids removal followed by additional removal of colloidal solids and soluble pollutants in the aggregate base layer and subsoils. Sorption of metals to colloidal solids and within the pavement void matrix is another removal function. Soluble organic pollutants adsorbed within the pavement void matrix and the open graded aggregate base layer will be exposed to biodegradation over time.

## TYPICAL POLLUTANT REMOVAL (%)

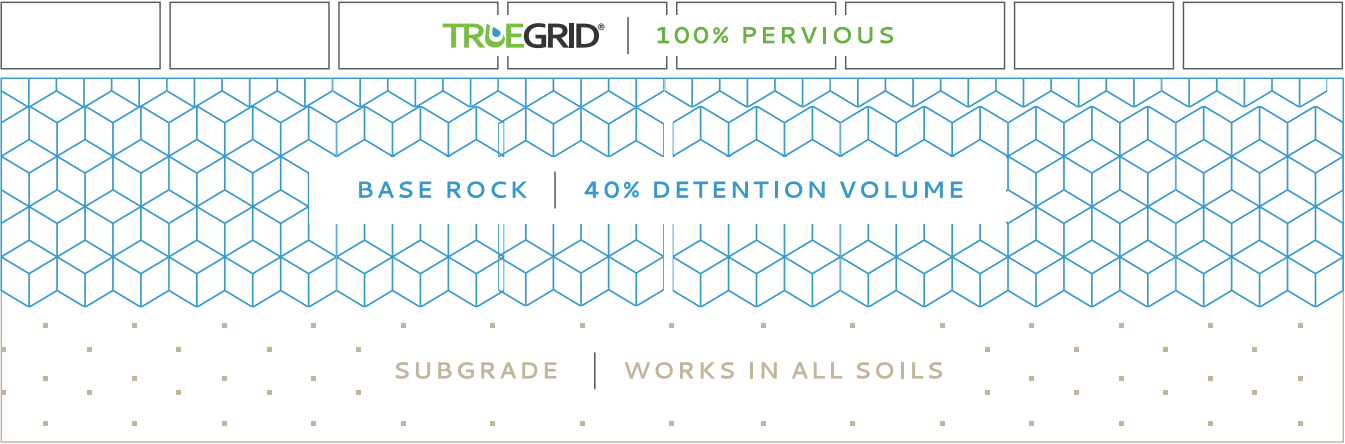
BMP TYPE	SUSPENDED SOLIDS	NITROGEN	PHOSPHOROUS	PATHOGENS	METALS
TRUEGRID	65 - 100	65 - 100	30 - 65	65 - 100	65 - 100
Dry Retention Basins	30 - 65	15 - 45	15 - 45	< 30	15 - 45
Retention Basins	50 - 80	30 - 65	30 - 65	< 30	50 - 80
Constructed Wetlands	50 - 80	< 30	15 - 45	< 30	50 - 80
Infiltration Basins	50 - 80	50 - 80	50 - 80	65 - 100	50 - 80
Infiltration Trenches / Dry Wells	50 - 80	50 - 80	15 - 45	65 - 100	50 - 80
Grassed Swales	30 - 65	15 - 45	15 - 45	< 30	15 - 45
Vegetated Filter Strips	50 - 80	50 - 80	50 - 80	< 30	30 - 65
Surface Sand Filters	50 - 80	< 30	50 - 80	< 30	50 - 80

**Reduces Heat Island Effect.** Heat Island Effect occurs in areas such as a city and industrial sites that have consistently higher temperatures than surrounding areas because of greater retention of heat. This retention of heat is due to buildings, concrete, and asphalt. Using TRUEGRID in these “hot spot” areas for pathways, parking lots, driveways, roofs...etc., reduces the absorb-ability of solar rays and thus helps steady and cool the natural environment.

**High load bearing capacity.** TRUEGRID is designed with the highest load capacities of any grid system and can withstand significant structural loads. TRUEGRID provides a stable and continuous load-bearing surface throughout parking areas.

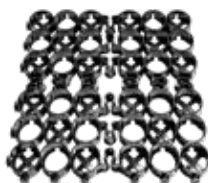
# COMPETITION COMPARISON

SPECIFICATION	TRUEGRID	ROLL-OUT PLASTIC PAVERS	CONCRETE PAVERS
Strength (filled)	Over 17,000 psi	5730 psi	5000
Flexural Strength	High	None (rolled paver)	High
Weight (lbs/sf)	1.32	0.42	37
Tensile Strength	2,852 lbs	458 lbs	NA
Fill rock size	Up to ¾"	Up to ¾"	NA
Staking	<b>Not Required</b>	Required	NA
Installation	1,000 sf/hr	NA	Slow
Recycled content	100% post consumer	100%	0
Porosity	90%	90%	37%
Wall thickness	<b>.250"/.150"</b>	.104"	NA
Paver depth	1.8"	1.0"	2"
Cell Size (ID)	3.2"	2.15"	NA
Flexibility	Rigid w/ Flex joints	Flexible	Rigid
Adjoining cell walls	<b>Yes</b>	No	No
Flex joints	<b>Yes</b>	No	No
Joint type	Tab	Snap	None
Shear Transfer Strength	High	Low	None



# GREEN

**TRUEGRID Permeable Pavers** are designed to provide design professionals with an eco-friendly alternative to concrete and asphalt and other impervious surfaces. Similar systems have been used in Europe for over 40 years and have been highly effective and accepted as a better alternative to impervious surfaces. TRUEGRID improved upon this concept and developed a stronger, more durable, USA made version that can handle any load and rigors concrete can handle....while being 100% permeable.



Made from 100% post-consumer recycled HDPE.

100% Permeable. Up to 100% of runoff water pollutants are removed via bioremediation.

## Impact Scorecard

MEASURE THE DIFFERENCE



150K<sup>SF</sup>  
600 Car Lot

### CO2 SAVED

967<sup>TONS</sup>



### PLASTIC RECYCLED

204K<sup>LBS</sup>



### STORMWATER DETAINED

40K<sup>CUBIC FT</sup>



## LEED Credit Opportunities

With **TRUEGRID**



STORMWATER  
MANAGEMENT



RECYCLED  
CONTENT



INNOVATION  
& DESIGN



MATERIALS  
& RESOURCES

Tons of CO2 emissions from the manufacturing of cement are eliminated. Millions of lbs of plastic are kept out of landfill and recycled from a consumable to a 60 year life cycle useful product. Detention is added and flooding from stormwater is reduced. Coal tar & asphalt toxins are eliminated.

TRUEGRID has kept more than **14,000,000 lbs** of plastic out of landfills ...so far



# PRODUCTS

## TRUEGRID® PRO PLUS®

THE COMMERCIAL PAVER



- Works with SuperSpot® Parking Markers
- Superior Patented Design
- Engineered for Heavy Loads & Heavy Traffic
- Industry-Best Strength
- Industrial or Commercial Applications
- H20, HS20 Rated

### SPECIFICATIONS:

- Dimensions: 24" x 24" x 1.8" (4 sf)
- Pre-Assembled: 16 sf per layer (4' x 4' sheet of 4 grids)
- Compression Strength: Over 17,000 psi
- Permeability: 100%
- Material: 100% Post-Consumer Recycled HDPE
- Color: Black with UV Stabilizer

### MORE:

- No Staking or Clips
- Works in All Climates & Soils
- May be Saw Cut



SUPERSPOT® AVAILABLE

### COMMERCIAL APPLICATIONS:

- Parking Lots
- Equipment & Truck Yards
- Storage Lots
- Drive Lanes
- Roadways
- Fire Lanes
- Rig Sites
- Event Parking





## SuperSpot® for TRUEGRID PRO PLUS

- Maintenance-Free Parking Markers
- Delineate Parking for Max Efficiency
- Create Arrows & Traffic Flow Markers
- High Visibility Profile
- Heavy Loads, Heavy Traffic
- Easy Snap-Lock Installation
- Never Stripe Again

### SPECIFICATIONS:

- Support Ribs for Strength
- 0.90" Domed Profile
- UV Stabilized

# PRODUCTS

## TRUEGRID® PRO LITE

### THE RESIDENTIAL PAVER



- Superior Patented Design
- Excellent Compression Strength. Best-in-class.
- Low traffic applications
- H20, HS20 Rated

#### SPECIFICATIONS:

- Dimensions: 24" x 24" x 1.0" (4 sf)
- Pre-Assembled: 16 sf per layer (4' x 4' sheet of 4 grids)
- Compression Strength: Over 17,000 psi
- Permeability: 100%
- Material: 100% Post-Consumer Recycled HDPE
- Color: Black with UV Stabilizer

#### MORE:

- No Staking or Clips
- Works in All Climates & Soils
- May be Saw Cut
- Grass or Gravel Fill
- High Heel Friendly



**SUPERSPOT® AVAILABLE**

#### APPLICATIONS:

- Driveways
- Parking lots
- Event Parking
- Firelanes
- Grass Overflow Parking
- Community Green-Space
- Golf Cart Paths
- Walk/Bike Trails
- Pathways

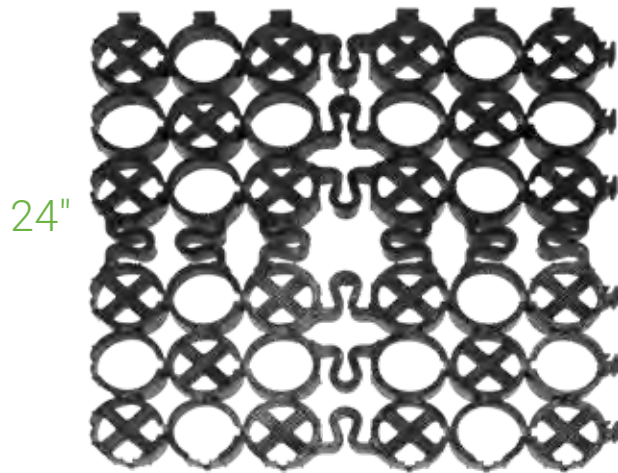




# PRODUCTS

## TRUEGRID® ROOT®

### THE GRASS PAVER



1"



- Advanced Patented Design
- Protects Grass from Rutting
- Fast, Easy Installation
- Usually Costs Less than Asphalt

#### SPECIFICATIONS:

- Dimensions: 24" x 24" x 1.0" (4 sf)
- Pre-Assembled: 16 sf per layer (4' x 4' sheet of 4 grids)
- Strength: Holds up to 10,000 lbs GVW
- Permeability: 100%
- Material: 100% Post-Consumer Recycled HDPE
- Color: Black with UV Stabilizer

#### MORE:

- Only Available Immediate Heavy Load Grass System
- Stabilized Grass Drains. No Runoff.
- 100% Recycled Plastic
- Little or No Maintenance
- 60-Year Lifespan



STRIPE AVAILABLE

#### APPLICATIONS:

- Grass Parking for Cars & Trucks
- Festival Site Protection
- Light Aircraft Runways & Taxiways
- Event Centers
- Paths & Trails
- Slope & Scour Protection
- RV & Boat Storage & Access
- Fairground Turf Support



## APPLICATIONS OF ROOT

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ROOT applications can include grass reinforcement for light vehicles and pedestrian areas for immediate protection. Projects include amphitheater areas, overflow parking, light and ultra-light aircraft runways, and driveway aprons.

# ACCESSORIES

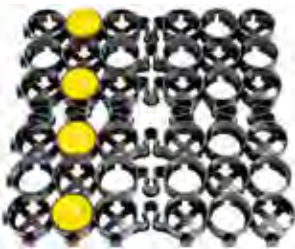
## SUPERSPOT® MAINTENANCE-FREE PARKING DELINEATORS

Delineate your parking spots with easy-to-pop-in SuperSpot parking markers. No-restriping. Long-term UV resistance. Multiple color options for standard parking, fire lanes, handicapped designated spaces. Highly visible.

### PRO LITE



### PRO PLUS



Reflector SuperSpot - Red & Yellow

Solar Powered LED SuperSpot - Red & White

## SNOWSPOT MAINTENANCE-FREE PARKING DELINEATORS FOR PRO PLUS

Delineate your parking spots with easy-to-pop-in SnowSpot parking markers. Flush with surface for worry-free snow plowing. No restriping. Long term UV resistant. Yellow or white for standard striping, blue for disabled-access spaces and red for firelanes.



## The Plate EASY-TO-USE PARKING SPOT IDENTIFIER FOR PRO PLUS

Identify your spaces with easy-to-pop-in PLATE markers. Long-term UV resistance. Multiple color options for standard signs. Highly visible. *Patent Pending*

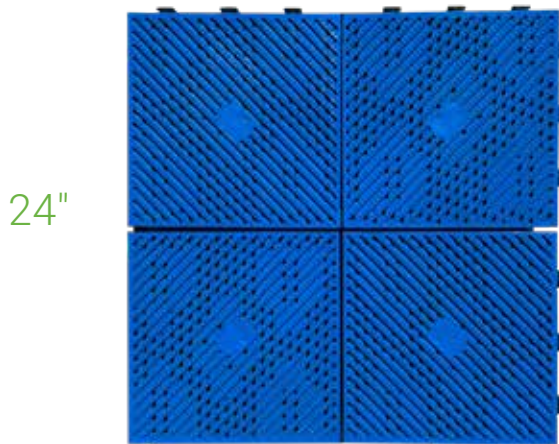




# ACCESSORIES

## TRUEGRID® DECK®

THE PERMEABLE DECK PAVER



24"



2.2"

TRUEGRID DECK comes preassembled with TRUEGRID PRO PLUS. Comes in bright blue or charcoal gray.

- Gravel-Free
- 100% Permeable Parking, Walkways, Sidewalks and Handicapped Designated Spaces
- Commercial Strength
- Drains instantly

### SPECIFICATIONS:

- Dimensions: 24" x 24" x 2.2" (4 sf)
- Pre-Assembled: 16 sf per layer (4' x 4' sheet of 4 grids)
- Permeability: 100%
- Material: 100% Post-Consumer Recycled HDPE
- Color: Bright Blue or Charcoal Gray

### MORE:

- Roll On with any wheel or caster
- Works in All Climates & Soils
- May be Saw Cut
- Super-Easy to Install
- High Heel Friendly

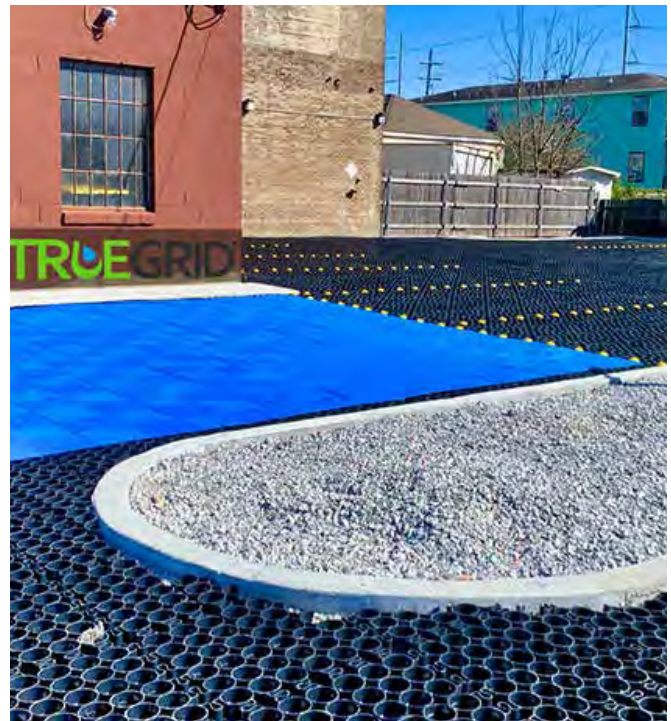
### APPLICATIONS:

- Driveways
- Parking lots
- Event Parking
- Firelanes
- Grass Overflow Parking
- Community Green-Space
- Golf Cart Paths
- Walk/Bike Trails
- Pathways



## ACCESSORIES

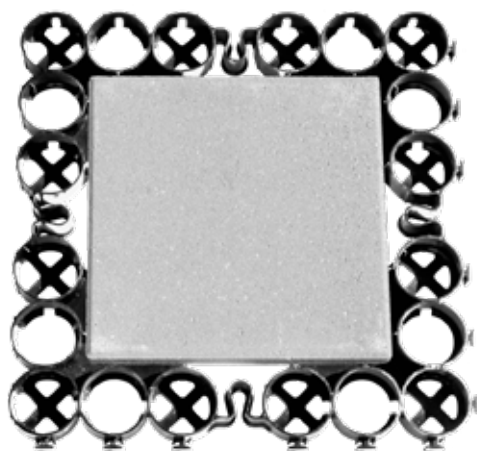
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# ACCESSORIES

## TRUEGRID® DECO



A modular décor element, the TRUEGRID DECO adds functional nuance to your design. Use square, round or irregular shaped step stones to build walkways, ribbon driveways or any stepping area to add character to your project. Use DECO alone or attach to the TRUEGRID PRO PLUS paving system to create unique projects that are not only pleasing to the eye but sustainable.

### FEATURES:

- Fits most 16" x 16" x 2" or smaller stone pavers
- 100% Post-Consumer Recycled HDPE
- Fits square, round or any irregular shaped stones
- Connects with TRUEGRID PRO PLUS
- Border cells allow for gravel or grass fill
- Drain through and detain under grid
- Stone paver not included



### SPECIFICATIONS:

- Dimensions: 24" x 24" x 1.8" (4 sf)
- Pre-Assembled: 16 sf (4' x 4') sheets (4 grids per sheet)
- Permeability: 100%
- Material: Recycled High Density Polyethylene (100% post-consumer)
- Color: Black with UV Stabilizer

### APPLICATIONS:

- Walkways
- Driveways
- Poolside
- Garden Paths
- Light Commercial Parking
- Dog park paths
- Common areas walks
- Patios



# ARCHITECTS

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“Man is a phase of nature, and only as he is related to nature does he matter, does he have any account whatever above the dust.”

Frank Lloyd Wright

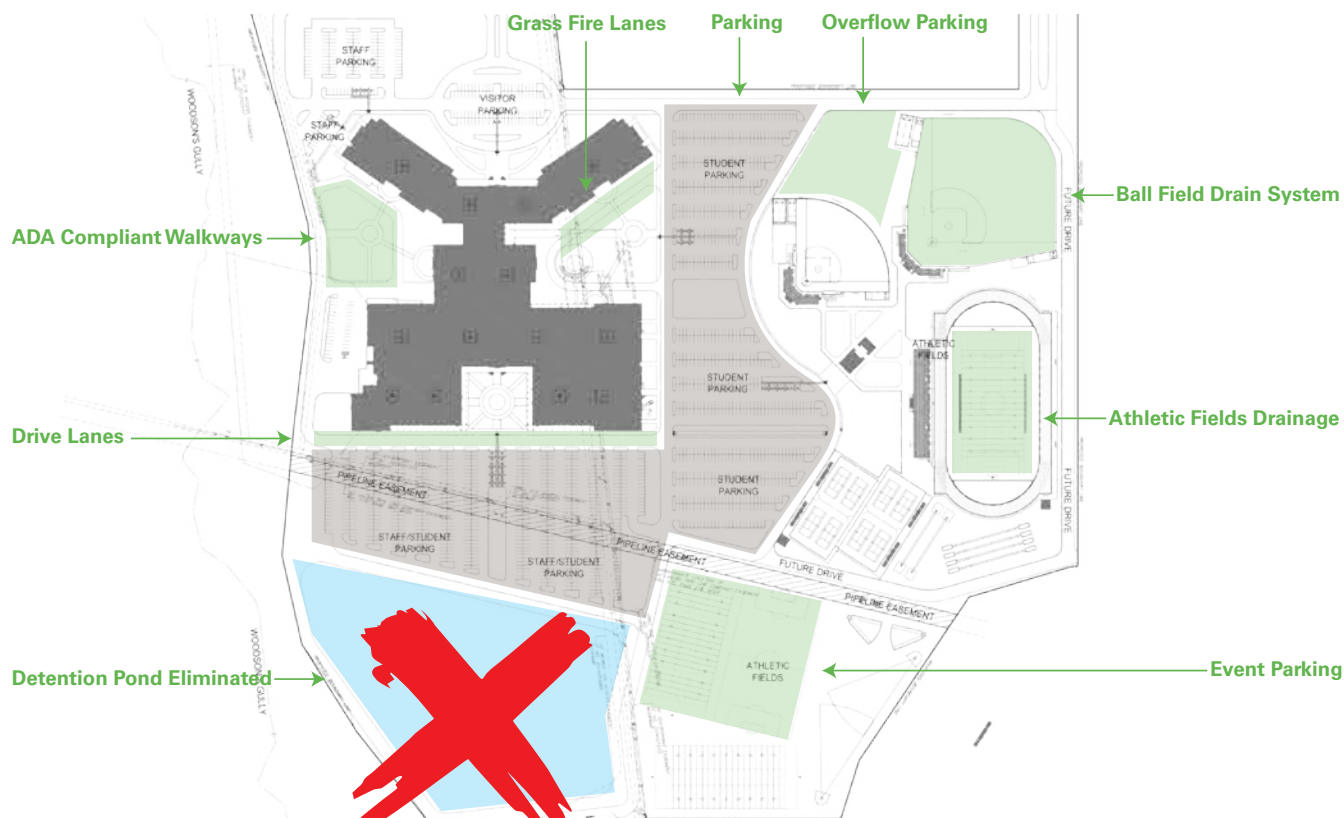
Endless Gravel Fill Options:



- Beauty
- Performance
- Sustainability

Achieve harmony & balance development with nature. Gain space for inspired functionality & green, creative livability. Retain & reuse stormwater onsite. Natural, upscale aesthetic. ADA compliance. Design with TRUEGRID.

# DEVELOPERS



- 100% Land Utilization
- Durable & Pervious Cover
- Dollars

Save land & eliminate or reduce detention ponds. Drive on surface with detention under your parking lot. Maintenance-free 25 to 60 year life. Heavy traffic, heavy loads. TRUEGRID counts as 100% pervious cover. Construction costs up to 30% less than concrete. Sustainable, upscale natural aesthetic. LEED eligible. Build with TRUEGRID.



"Buy land, they're not making it anymore."

Mark Twain

# ENGINEERS

---



“ Some people don’t like change, but you need to embrace change if the alternative is disaster.”

Elon Musk

- Detention
- Durability
- Dollars

Control flooding and manage stormwater. Best-in-class, engineered strength, structure & soil stabilization with TRUEGRID. Heavy traffic, heavy loads. H20, HS20 rated. 25+ year life. Save on construction costs (up to 50%) and land. Specify TRUEGRID.



## CITY PROFESSIONALS

---



- Stormwater Management
  - Urban Heat Island (UHI) Reduction
  - Functional Green-Space
- 

Reduce flooding and manage stormwater with TRUEGRID. Added detention volume. 100% pervious cover. Improved water quality & more parking. Cooler than asphalt or concrete. No gravel migration. Key tool in federal (EPA), state, county and city LID (Low Impact Development) guidelines and BMPs. Code with TRUEGRID.

---

### 1. Stormwater Detention Underneath



FLODOT UNDERPASS PROJECT

### 2. Drive on Durable Surface



# CONTRACTORS

---



- Advantageous Price & Service Differentiator
  - Eco-Friendly Offering
  - Easy-to-Install
- 

Gain a cost and speed advantage over conventional paving. Differentiate from competitors as a preferred TRUEGRID installer with a green, pervious, coded, less expensive paving system. Pave with TRUEGRID.

---

## 1. Grade the site



## 2. Lay, compact base



## 3. Drop the grid



## 4. Fill the grid





# HORSE, LIVESTOCK, RANCH AND FARM

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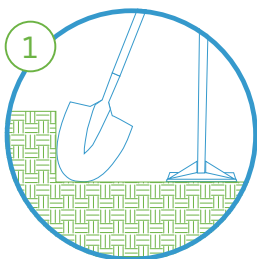


- Stops Mud in Paddocks. Maintenance-Free.
  - Thrush-Free Healthy Hooves.
  - No Standing Water. Drains Instantly.
- 

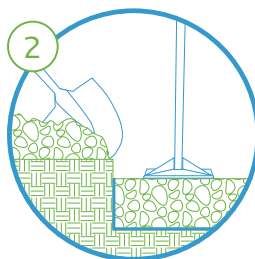
TRUEGRID PRO PLUS® for Equine, Farm, & Ranch use offers an advanced patented design. Strong for heavy loads. Clydesdales to John Deere. Patented S-flex joints allow “crowning” of paddock surface for instant water draining. Stops digging. No ruts, mud or dust. Drains instantly. No standing water. Keeps area level or crowned as desired. Urine drains, reducing odor. Keeps bedding dry. No bacteria buildup. Supports heavy equipment loads & traffic.

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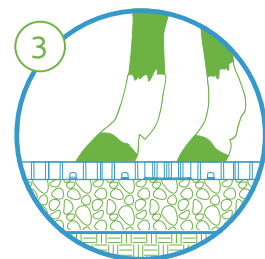
1. Scrape back, level, compact the area.



2. Lay filter fabric and ¾" minus base rock.



3. Lay PRO PLUS grid. Fill with soil.







PROJECTS

## **SUPERBOWL LI® – CLUB NOMADIC®**

### POP-UP NIGHT CLUB

---

- 62,500 SF Parking Lot Installed in 10 Days
- 3-Story Metal Nightclub Installed in 60 Days
- 100% Land Use - TRUEGRID Lot Eliminated Detention Pond





# PROJECTS

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## Whole Foods Market®

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"Great product. Went in quick. Our ADA compliant lot was down in time for the holidays."

**John Fox (Construction Supervisor)**



# PROJECTS

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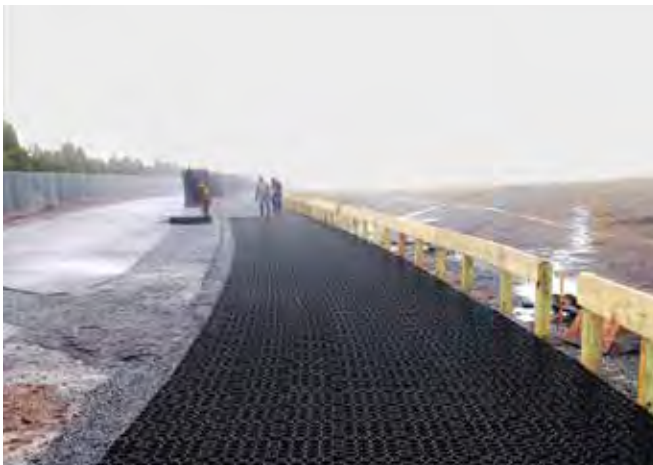


## Watering Restrictions

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### FACT

TRUEGRID can be filled with drought tolerant grasses, plants, and deep rooting ground cover for sites that want green space but are under watering restrictions. The photo on the left shows a native grass and plant fire lane in Colorado Springs. The photo on the right shows a stone infill fire lane at Houston's Hobby Airport – No watering or irrigation required.



## Pocono Raceway®—NASCAR®

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"The new installed walkways were a huge success with our fans. The ease of installation and maintenance... we intend to once again use TRUEGRID Pavers throughout. It's a great product and fits in with our sustainability efforts."

**Brandon Igdalsky – CEO**



## PROJECTS

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### Fire Lane

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"We've completed all the tests. As far as supporting the truck as a driving material, we didn't have any issues there. When we set the outriggers up, in a normal operation with the pads underneath the outrigger, we were able to take the truck to its extreme test with all the weight all on one side. So that test was a success. We then took the outriggers without the pads and to increase the concentrated load on the system. It even supported those."

**Fire Chief McCaskill**



### Self-Storage

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"We got pervious cover credit for our entire lot and eliminated the entire 2.5 acre detention pond."

**Hank Daughtry - New Braunfels Self Storage**

# PROJECTS

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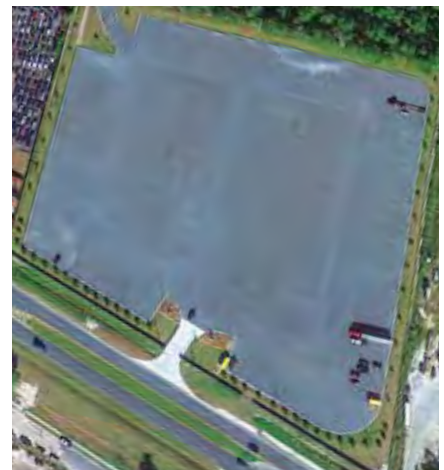


## U.S. Military

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"They spec TRUEGRID because of its eco-friendliness as well as strength to handle anything."

**Chris Smith- Gilmore Environmental Consulting**



## Heavy Commercial

---

### FACT

YardCo is a 24 hour access truck parking facility located in Orlando, FL. TRUEGRID was utilized to eliminate the 2 acre detention pond that was required with asphalt on the 10 acre site. This provided an additional 75 parking spaces on the site bringing to total up to 265. What was once going to be a 2 acre detention pond is now additional revenue generating land all thanks to the permeability and detention volume provided by TRUEGRID.



## PROJECTS

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### ROCKSTAR Energy Bike Park

---

The North Houston ROCKSTAR Energy Bike Park is the Largest BMX bike park in North America. 150K sf of PRO PLUS were spec'd and installed for 100% pervious cover, stormwater detention and the natural aesthetic that compliments the park.



### Sloped Applications for Vehicles

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For sloped projects such as driveways above 3 degrees (5%), additional anchoring is recommended — a minimum of 1 anchor per paver. For slopes above 20 degrees (36%), it is recommended to use a minimum of 2 anchors per paver.



## PROJECTS

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### Snowplowing - Cold Climate Use

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#### FACT

Snow melts faster on TRUEGRID and there is less ice buildup. TRUEGRID can be easily plowed, snow-blown or shoveled. Electric heating coils for snow melting (far right photo) can be placed under TRUEGRID for automated snow removal in residential and commercial applications.



### Florida Aero Park

---

This aero club community stabilized their grass taxiways & perpendiculars, fuel stations, and some helipads to keep aircraft moving in all seasons and weather conditions. A better solution than asphalt, the grass-filled TRUEGRID looks naturally beautiful while supporting aircraft traffic.

# TRUEGRID® CASE STUDY

## PARKING LOT EXPANSION

AutoNation® car dealership increases inventory lot space while saving almost half a million dollars.

### PROBLEM:

Design a solution that will allow AutoNation to expand its current car inventory lot without spending more money on land.

### CHALLENGES:

High cost for concrete, detention pond and drainage system cost, maximize land utilization for space challenged dealership, stormwater detention requirements for site for flood prone areas.

### SOLUTION:

100 extra spaces is a grand slam to the dealership. The entire detention pond was eliminated with the 100% pervious TRUEGRID system and by transferring all of the required stormwater detention volume into the base and the gravel filled grid. Rain infiltrates the surface at over 1000 inches/hour and there is no runoff. SuperSpot parking markers were used instead of striping paint for maintenance free stripping.

## TRUEGRID® VS. CONCRETE

- Land Savings: 25,000 sq ft
- Construction Cost Savings: \$480k
- Elimination of separate detention pond
- 100% Pervious Cover Credit
- 100% Land Utilization
- Zero Stormwater Runoff
- 100 extra parking spaces gained on the 500 space lot



## ESTIMATED SAVINGS USING TRUEGRID

CONSTRUCTION COSTS  
(SQ FT OVER ENTIRE SITE VS. CONCRETE)

\$360,000

DETENTION POND & DRAINAGE  
CONSTRUCTION SAVINGS

\$120,000

TOTAL SAVINGS

\$480,000



# TRUEGRID® CASE STUDY

## WORLD'S LARGEST PERMEABLE PARKING LOT

Manheim Auto saves four acres and improves urban heat and flood drainage conditions for Texas Hobby Clients and Community.

### PROBLEM:

With a concrete design 4 acres of the 15.5-acre site were needed for a detention pond which would limit car storage capacity. Design a solution that will allow for more vehicle storage, combat concrete/asphalt heat and provide stormwater drainage relief in flood-prone Houston.

### CHALLENGES:

To mitigate localized flooding, stormwater management code requires on-site detention. Not only does this limit land use, the high cost for concrete, detention pond construction and drainage is high. How to maximize land utilization for on-site vehicle storage, and meet stormwater detention requirements.

### SOLUTION:

All 15.5 acres are now utilized for parking by using the PRO PLUS system with Stormwater detention under the parking surface. The 4-acre pond was eliminated. Manheim Texas Hobby now holds 1,000 more vehicles than before -- a significant advantage for clients who do business at the location. And, since no runoff reduces the chance of flooding, clients' investments in their vehicles are better protected. The TRUEGRID environmentally-friendly solution leaves no runoff and filters naturally to remove harmful hydrocarbons and pollutants which protects local aquifers.

## TRUEGRID® VS. CONCRETE

- Total Land Available 625,000 SF
- Total Land Utilized 625,000 SF
- Land savings by eliminating detention pond: 4 Acres

- 100% Pervious Cover Credit
- 100% Land Utilization
- Zero Stormwater Runoff

- 1,000 Additional Vehicles Stored On-Site
- Less absorbed and reflected solar radiation

## ESTIMATED SAVINGS USING TRUEGRID

CONSTRUCTION COSTS  
(SQ FT OVER ENTIRE SITE VS. CONCRETE)

**\$754,000**

DETENTION POND & DRAINAGE  
CONSTRUCTION SAVINGS

**\$265,000**

TOTAL SAVINGS

**\$1,019,000**





“Design is not just what it looks like and  
feels like. Design is how it works.”

STEVE JOBS



6110 Abbott Drive  
Omaha, NE 68110  
© 2025

[TRUEGRIDPAVER.COM](http://TRUEGRIDPAVER.COM)

(855) 355-GRID

CASE SUMMARY SHEET

CASE NUMBER: V25-11-31  
DATE RECEIVED: October 24, 2025  
DATE OF MEETING: November 18, 2025 and December 9, 2025

Address: 100 Copal  
Subdivision: Old Golden Shores, Square 12  
Zoning District: O - Open Space/Recreation District  
Property Owner: City of Mandeville

REQUEST: V25-11-31– City of Mandeville requests a variance to CLURO Section 8.1.3. Supplemental Fence and Wall Regulations, O - Open Space/Recreation District, Old Golden Shores, Square 12, 100 Copal

CASE SUMMARY: Construct a 12’ fence on the west property line 100’ in length

The property is located on the corner of Copal St. and the Causeway Service Road. The property is owned by the City of Mandeville and is improved with a recently constructed park.

The new park area is located next to a residence. The owner has asked the City to construct a 12’ fence on the western property line, between the park and the residence. Public Works has been speaking with the homeowner about the fence construction and has stated that the fence will be a 12’ tall wooden fence constructed with treated 1x6 pine boards, sch 40 galvanized pipes, and 2x6 horizontal runners.

The fence will be located approximately 5’ off the western property line and will be 100’ in length. The intent of the fence is to block the view of parents and children on the play equipment into the back yard of the neighboring homeowner.

Regulations state that no fence can exceed 7’ in height if located within the side or rear yard. A 12’ fence would exceed the maximum allowed height by 5’.

CLURO SECTIONS:

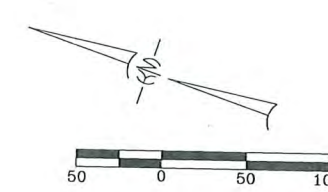
8.1.3. Supplemental Fence and Wall Regulations

1. Fences in required setbacks.
  - a. Except as provided in paragraph 1.b of this section, no fence or wall shall exceed four (4) feet in height if located between the front of a structure and the front property line.
  - b. Decorative wrought iron fences may be allowed within required front setbacks and within required side and rear setbacks facing streets if they do not exceed five and one-half (5 ½) feet in height, supporting structure (columns) cannot exceed 6.5' in height and are no more than fifteen (15) percent opaque when measuring all fence components higher than two (2) feet above grade excluding support columns. Fence height shall be measured from average grade to the tallest component of the fence, excluding gates and lighting on the top of support columns that do not exceed seven and one-half (7 ½) feet in height. The Planning Director may approve the use of other materials that have a substantially similar appearance to wrought iron and are at least as durable.
  - c. Fences or walls located in the rear or side yards shall not exceed seven feet (7') in height.
  - d. No fence wall exceeding four feet (4') in height shall be erected or constructed within a required side or rear yard fronting a street, except as provided in paragraph 1.b of this section.
  - e. Any fence or wall located on a street intersection shall conform to sight triangle requirements.
2. Electrical fences in any form are prohibited.
3. Barb wire for fences shall be prohibited in all districts except B-2, B-4, M-1 or M-2 and when allowed shall only be used on fences in an area higher than six (6) feet above ground.
4. No fence or wall shall be constructed within a utility servitude without prior written approval of the affected utilities. Approval may be withheld by any utility upon its determination that the proper size or location of the fence or wall would adversely affect the operation, maintenance or function of the servitude. Approval of the construction by a utility shall create no obligation to repair or replace a fence or wall damaged or removed by the utility in the course of its lawful use of the servitude.

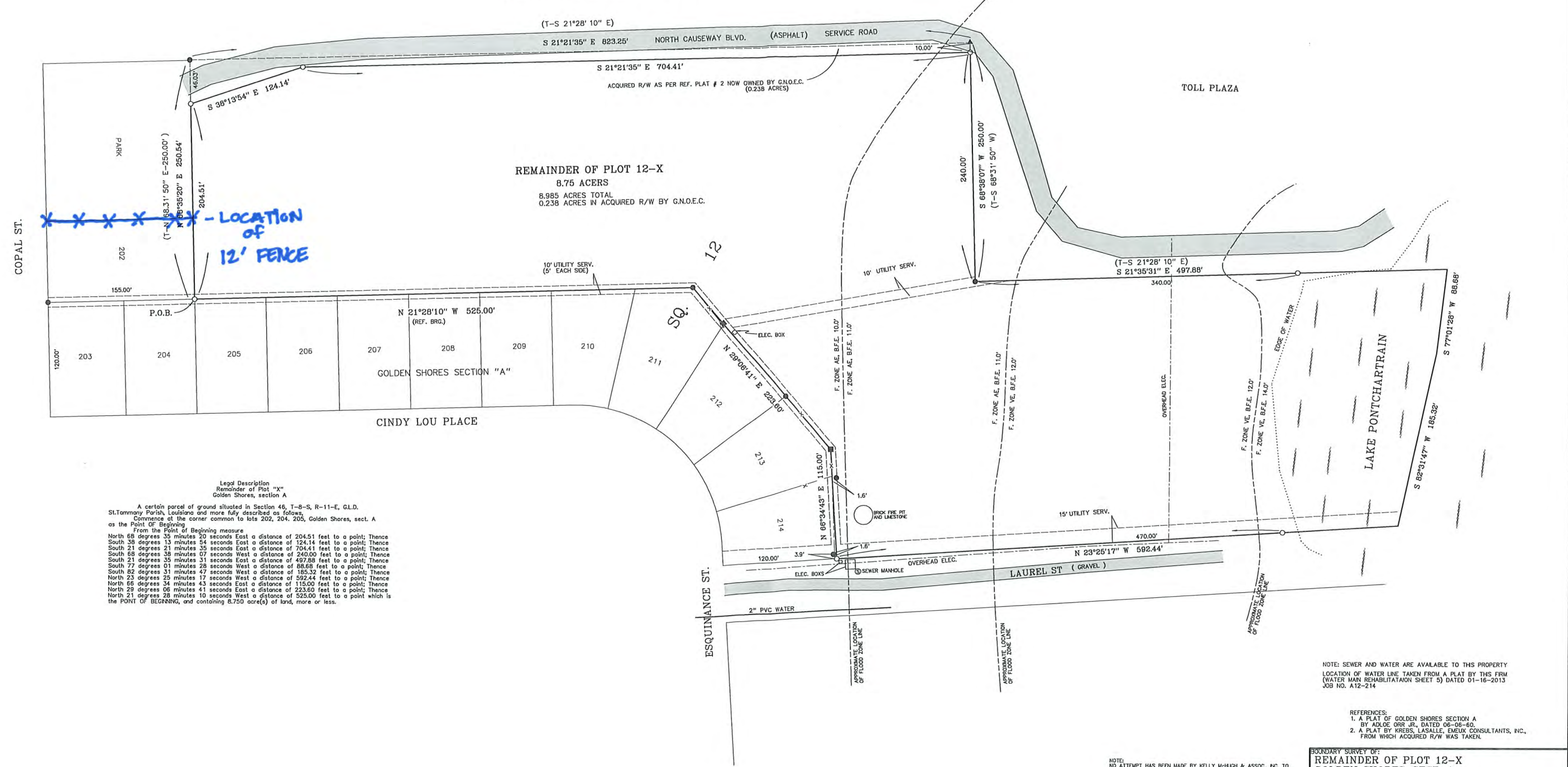








G.N.O.E.C.  
NORTH CAUSEWAY APPROACH (U.S. 190)



Legal Description  
Remainder of Plot "X"  
Golden Shores, section A

A certain parcel of ground situated in Section 46, T-8-S, R-11-E, G.L.D. St. Tammany Parish, Louisiana and more fully described as follows:  
Commence at the corner common to lots 202, 204, 205, Golden Shores, sect. A as the Point of Beginning  
From the Point of Beginning measure  
North 68 degrees 35 minutes 20 seconds East a distance of 204.51 feet to a point; Thence  
South 38 degrees 13 minutes 54 seconds East a distance of 124.14 feet to a point; Thence  
South 21 degrees 21 minutes 35 seconds East a distance of 704.41 feet to a point; Thence  
South 68 degrees 38 minutes 07 seconds West a distance of 240.00 feet to a point; Thence  
South 21 degrees 35 minutes 31 seconds East a distance of 497.88 feet to a point; Thence  
South 77 degrees 01 minutes 29 seconds West a distance of 88.68 feet to a point; Thence  
South 62 degrees 31 minutes 47 seconds West a distance of 185.32 feet to a point; Thence  
North 23 degrees 25 minutes 17 seconds West a distance of 592.44 feet to a point; Thence  
North 66 degrees 34 minutes 43 seconds East a distance of 115.00 feet to a point; Thence  
North 29 degrees 06 minutes 41 seconds East a distance of 223.60 feet to a point; Thence  
North 21 degrees 28 minutes 10 seconds West a distance of 525.00 feet to a point which is the POINT OF BEGINNING, and containing 8.750 acre(s) of land, more or less.

NOTE: SEWER AND WATER ARE AVAILABLE TO THIS PROPERTY  
LOCATION OF WATER LINE TAKEN FROM A PLAT BY THIS FIRM  
(WATER MAIN REHABILITATION SHEET 5) DATED 01-16-2013  
JOB NO. A12-214

- REFERENCES:
1. A PLAT OF GOLDEN SHORES SECTION A BY ADLOE ORR JR., DATED 06-06-60.
  2. A PLAT BY KREBS, LASALLE, GHEUX CONSULTANTS, INC., FROM WHICH ACQUIRED R/W WAS TAKEN.

NOTE:  
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVICES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.



09-20-23

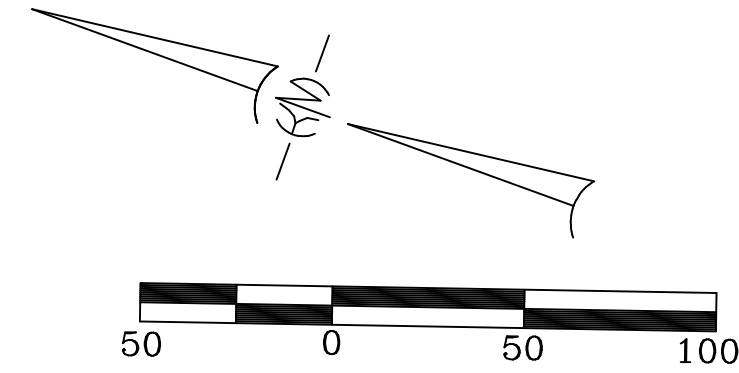
CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY, RED STAMP SIGNIFIES CERTIFIED PLAT.

BOUNDARY SURVEY OF:		REMAINDER OF PLOT 12-X	
		GOLDEN SHORES, SECT. A	
		CITY OF MANDEVILLE,	
		ST. TAMMANY PARISH, LA.	
PREPARED FOR:		CITY OF MANDEVILLE	
REVISIONS		KELLY McHUGH & ASSOCIATES, INC. CIVIL ENGINEERS & LAND SURVEYORS 845 GALVEZ ST., MANDEVILLE, LA. 626-5611	
MARK	DATE		
SCALE: 1" = 50'		DATE:	06-19-23
DRAWN: MOM		JOB NO.:	23-123
CHECKED: KJM		DWG. NO.:	23-123-PLAT

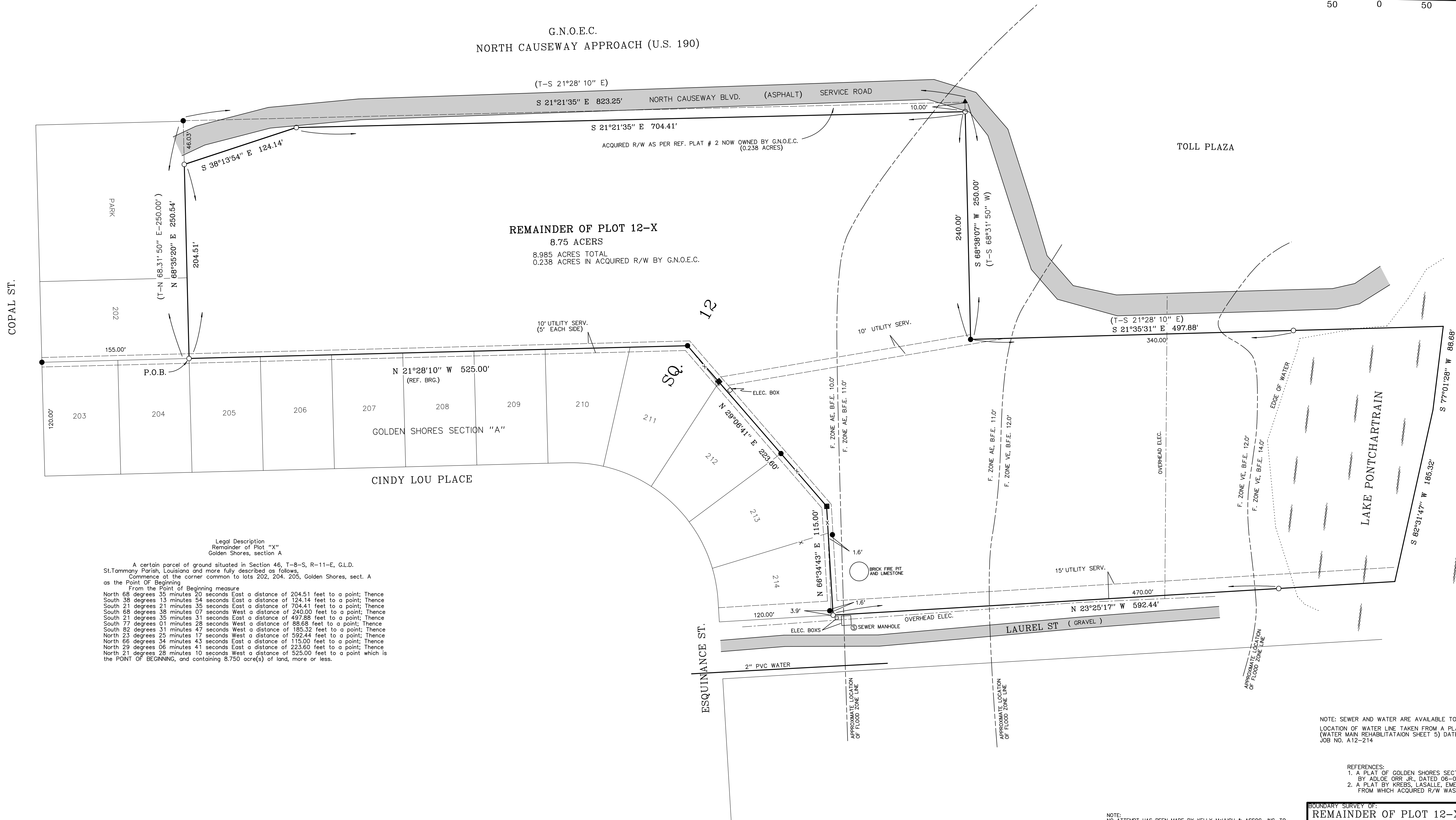
NOTE:  
OWNER OR CONTRACTOR IS RESPONSIBLE FOR VERIFYING BUILDING SETBACKS BEFORE CONSTRUCTION BEGINS.  
NO BUILDING SETBACKS SHOWN HEREON.

THIS PROPERTY IS LOCATED IN FLOOD ZONE AE & VE  
BASE FLOOD ELEV. AS SHOWN  
FIRM PANEL NO. 22020204260, 22020204270,  
REV. 05-16-2012





G.N.O.E.C.  
NORTH CAUSEWAY APPROACH (U.S. 190)



Legal Description  
Remainder of Plot "X"  
Golden Shores, section A

A certain parcel of ground situated in Section 46, T-8-S, R-11-E, G.L.D.  
St. Tammany Parish, Louisiana and more fully described as follows:  
Commence at the corner common to lots 202, 204, 205, Golden Shores, sect. A  
as the Point Of Beginning

From the Point of Beginning measure  
North 68 degrees 35 minutes 20 seconds East a distance of 204.51 feet to a point; Thence  
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South 82 degrees 31 minutes 47 seconds West a distance of 185.32 feet to a point; Thence  
North 23 degrees 25 minutes 17 seconds West a distance of 592.44 feet to a point; Thence  
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North 29 degrees 06 minutes 41 seconds East a distance of 223.60 feet to a point; Thence  
North 21 degrees 28 minutes 10 seconds West a distance of 525.00 feet to a point which is  
the POINT OF BEGINNING, and containing 8.750 acre(s) of land, more or less.

NOTE: SEWER AND WATER ARE AVAILABLE TO THIS PROPERTY  
LOCATION OF WATER LINE TAKEN FROM A PLAT BY THIS FIRM  
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REFERENCES:  
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2. A PLAT BY KREBS, LASALLE, ENEUX CONSULTANTS, INC.,  
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ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN  
THOSE FURNISHED BY THE CLIENT.



CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL  
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE  
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS  
"C" SURVEY. RED STAMP SIGNIFIES CERTIFIED PLAT.

09-20-23

NOTE:  
OWNER OR CONTRACTOR IS RESPONSIBLE  
FOR VERIFYING BUILDING SETBACKS  
BEFORE CONSTRUCTION BEGINS.  
NO BUILDING SETBACKS SHOWN HEREON.

THIS PROPERTY IS LOCATED IN  
FLOOD ZONE AE & VE  
BASE FLOOD ELEV. AS-SHOWN  
F.I.R.M. PANEL NO. 22020204260, 2202020427D,  
REV. 05-16-2012

BOUNDARY SURVEY OF:  
REMAINDER OF PLOT 12-X  
GOLDEN SHORES, SECT. A  
CITY OF MANDEVILLE,  
ST. TAMMANY PARISH, LA.

PREPARED FOR:

CITY OF MANDEVILLE

REVISIONS		KELLY McHUGH & ASSOCIATES, INC. CIVIL ENGINEERS & LAND SURVEYORS 845 GALVEZ ST., MANDEVILLE, LA. 626-5611	
MARK	DATE		
		SCALE: 1" = 50'	DATE: 06-19-23
		DRAWN: MDM	JOB NO.: 23-123
		CHECKED: KJM	DWG. NO.: 23-123-PLAT

CASE SUMMARY SHEET

CASE NUMBER: V25-12-32  
DATE RECEIVED: November 12, 2025  
DATE OF MEETING: December 9, 2025 and January 13, 2026

Address: 527 Albert  
Subdivision: Old Town of Mandeville, Square 85B Lots 21-24, 26, 28, 30, 32, 34, & 36  
Zoning District: R-1 Single Family Residential District  
Property Owner: Richard and Linda James

REQUEST: V25-12-32 – Richard and Linda James request a variance to CLURO Section 9.2.5.7. Key Native Tree Species Protection Requirements, Old Town of Mandeville, Square 85B Lots 21-24, 26, 28, 30, 32, 34, & 36, R-1 Single Family Residential District, 527 Albert Street

PREVIOUS CASE: V25-10-22 – Setback encroachment

CASE SUMMARY: Remove a 48” dbh live oak

The applicants own the property at 527 Albert Street, located on the east side of Albert St., north of Monroe St., south of Livingston St., and west of Colbert St. The property is an irregularly shaped flag lot, measuring 119’ along Albert St., 236’ along the south property line, 240’ along the east property line, 60’ along Livingston St., then south for 120’, and west for 175’ and contains 35,696 sqft per a survey prepared by Kelly McHugh & Associates and dated 7.31.2025. The property is currently unimproved.

There are two live oaks on the property. One located in the front of the property and measuring 20” dbh and the other located within the proposed building footprint and measuring 31” dbh. The applicant is requesting to remove the 31” dbh live oak. Regulations require 5 live oak trees to be planted as replacement.

An arborist report written by Ladson Poole of ArborWorks was submitted on behalf of the applicant. The report states that a site visit was conducted in November 2025, and an assessment was performed on the tree in question. It goes on to say that the tree has a lean angle of 45° and appears to have uprooted during a wind event. The report says that the tree is currently hung up in the neighboring canopy of a live oak and does appear to be supported by the tree but there is not a safe way to prove this.

While the tree does appear to be healthy, the report states that general health and structural stability are not mutually exclusive. The lot the tree is located on, along with the lot to the south are both undeveloped so there are no threats to any structures, but there is a neighboring live oak along with 4-5 southern magnolias in the vicinity that could be damaged should the tree fall.

The report concludes by mentioning that under OSHA regulations workers are given the right to work in an environment free from hazards, and because of this no construction could take place until the tree is removed, which should be done by a licensed and insured arborist.

CLURO SECTIONS:

9.2.5.7. Key Native Tree Species Protection Requirements

The following tree protection requirements shall be in place:

2. Live Oak Protection Requirements

- a. A tree removal permit shall be obtained from the Landscape Inspector prior to cutting, clearing or removing any Live Oak tree six (6) inches dbh or greater. Unpermitted removal of a qualifying Live Oak tree shall subject the property owner, the responsible contractor, or both, to the violation provisions of Section 9.2.5.16.
- b. The applicant wishing to remove a Live Oak tree must state in writing that such activity will enhance the health, safety and welfare of the public, or otherwise benefit the public interest and the applicant must offer evidence to that effect. The Landscape Inspector is empowered to issue or deny the permit based on the application and the evidence. Prior to the issuance of a tree removal permit the applicant must submit a plan or written statement offering evidence of compliance with the tree replacement provisions of this Article.
- c. Upon submission of a tree removal permit, administrative removal shall only be permitted if both a Louisiana-licensed arborist and the Landscape Inspector jointly determine, in writing, that the tree is dead, terminally diseased, or poses an imminent hazard to public safety or property that cannot be mitigated by other less impactful means. Additionally, Planning and Zoning approval shall be required where site-specific conditions require a tree to be within the proposed building footprint, without alternative building placement, making its preservation unfeasible.
- d. During any construction, development, or land-disturbing activity, all Live Oak trees shall be safeguarded pursuant to the Vegetation Protection Zone Barrier requirements of Section 9.2.5.3.
- e. It shall be unlawful for any person to place soil in such a way that would cause Live Oaks to become diseased or die. If filling with soil is necessary to properly drain the land, all efforts should be made to protect the area within the drip line of a Live Oak from the impact of such activity. Should all efforts fail and a tree removal permit be issued for the removal of the Live Oak the provisions of these regulations regarding replacement of trees shall be required to be met.



- f. If a Live Oak tree is removed or dies due to activities on the property, the property owner shall replace it with one (1) tree per 6 inches dbh of the same species for each Live Oak removed or lost. Replacement trees shall be of a minimum size as established by the Landscape Inspector and planted in a location approved by the City.
- g. A tree removal permit will be required to prune the primary and secondary branches of any Live Oak tree 12" dbh or greater. Such pruning shall be required to be performed by a state licensed arborist or a state forester.
- h. These regulations shall apply in all zoning districts.



Tree #1 Species	Live Oak	Dbh	48"	Reason	Tree has tilted over and is supported from falling by another tree.
Tree #2 Species		Dbh		Reason	
Tree #3 Species		Dbh		Reason	
Tree #4 Species		Dbh		Reason	
Tree #5 Species		Dbh		Reason	
Tree #6 Species		Dbh		Reason	

**LIVINGSTON ST.**

**ALBERT ST.**

**HAROLD ST.**  
(NOT CONSTRUCTED)

**LOT 36**, **LOT 35**, **LOT 34**, **LOT 33**, **LOT 32**, **LOT 31**, **LOT 30**, **LOT 29**, **LOT 28**, **LOT 27**, **LOT 26**, **LOT 25**, **LOT 24**, **LOT 23**, **LOT 22**, **LOT 21**, **LOT 20**, **LOT 19**

**PROPOSED RESIDENCE**  
F.F.E. 1.0' (MIN.)

**PROPOSED GARAGE**  
F.F.E. 10.2'

**SWALE 180' @ 0.33%**

**SWALE 125' @ 0.32%**

**SWALE 245' @ 0.20%**

**SWALE 85' @ 1.18%**

**PROPOSED DRIVEWAY**

**BASE OF TREE #1**

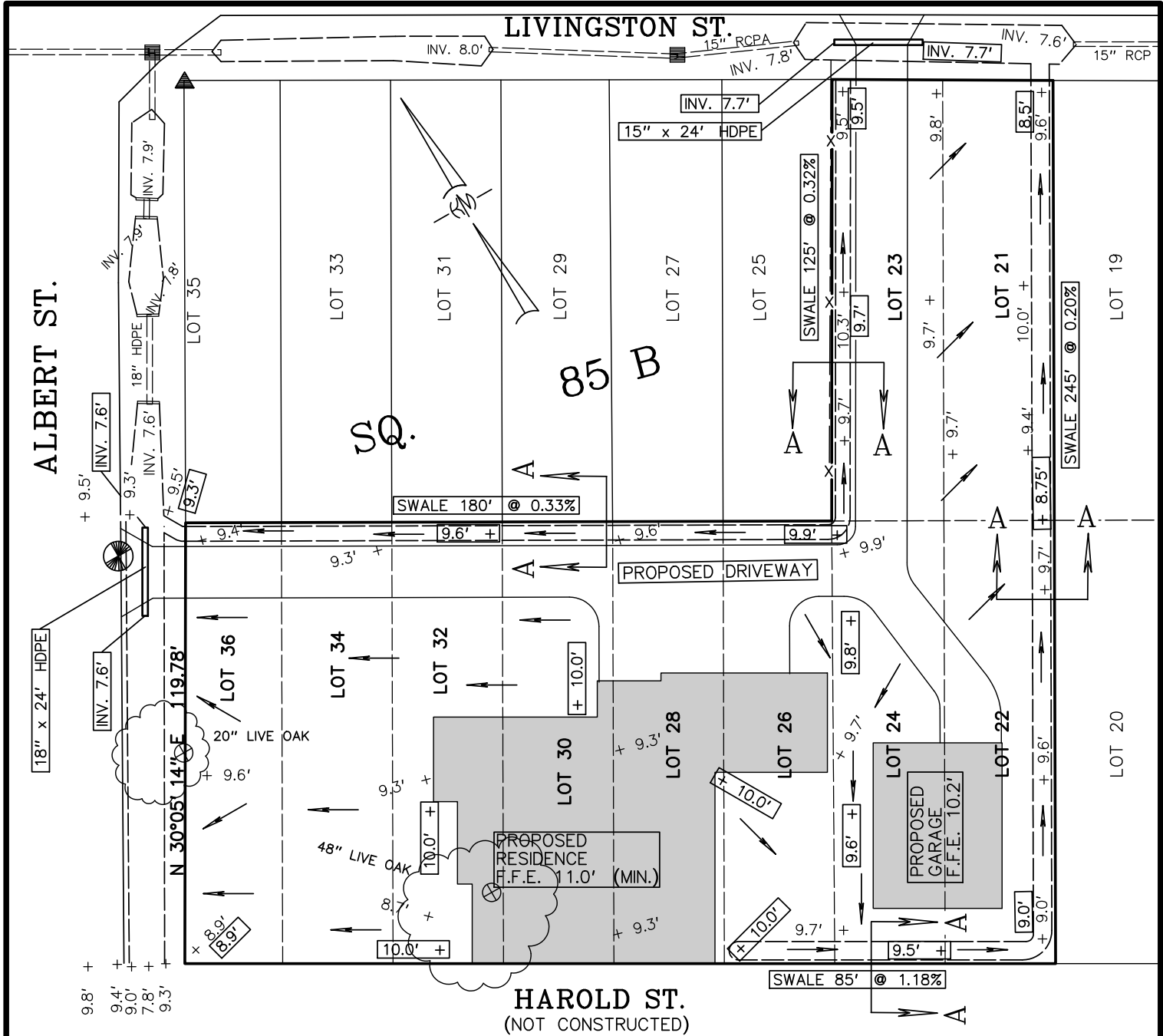
**TREE #1 FELL INTO ADJACENT TREE**

**ADJACENT TREE**

**LEGEND**

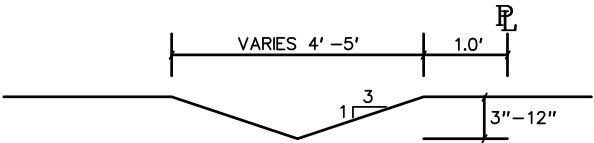
- LEGEND --
- + 9.7' = PRE-DEVELOPMENT GROUND ELEVATIONS
- [.....] = PROPOSED ELEVATIONS AND DATA
- = PROPOSED DRAINAGE PATTERN
- [X] = BENCHMARK - "MAG" NAIL IN EDGE OF PAVEMENT  
ELEV. 9.66', MSL NAVD 88 (GEOID 18)





--- LEGEND ---

- + 9.7' = PRE-DEVELOPMENT GROUND ELEVATIONS
- \*\*\*\* = PROPOSED ELEVATIONS AND DATA
- = PROPOSED DRAINAGE PATTERN
- ⊗ = BENCHMARK - "MAG" NAIL IN EDGE OF PAVEMENT  
ELEV. 9.68', MSL NAVD 88 (GEOID 18)



SECTION A-A

DRAINAGE AND GRADING PLAN

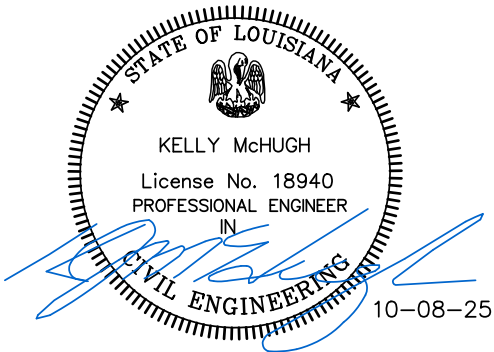
LOTS 21-24, 26, 28, 30, 32,  
34 & 36 SQ. 85B  
TOWN OF MANDEVILLE  
CITY OF MANDEVILLE  
ST. TAMMANY PARISH, LA.

PREPARED FOR:

RICHARD JAMES

KELLY J. McHUGH & ASSOC., INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE:	1" = 40'	DATE:	09-23-25
DRAWN:	DRJ	JOB NO.:	25-124
REVISED:	10-08-25		





## To Whom It May Concern,

In November of 2025, Mr. Richard James contacted ArborWorks for an arborist assessment concerning a live oak tree located on an undeveloped on Albert St. in Mandeville. Mr Richard purchased the lot and has plans of building a home.

I visited the property in November and conducted a Level 1 Arborist Assessment of the live oak tree in question. The live oak (*Quercus virginiana*) is located near the middle of the lot, close to the southern property line. The tree has an approx DBH of 31 inches and an approx height of 40-50 feet. The tree has a lean angle of 45 degrees and appears to have uprooted, presumably during a wind event (there is a large area of raised and disturbed soil immediately adjacent to the trunk on the backside/tension side of the lean). The leaning live oak is currently hung-up in a neighboring live oak tree's canopy. It is impossible to determine, practically speaking, whether or not the leaning live oak is being supported by the neighboring live oak, or simply coming in contact with the neighboring live oak. It does appear to me that the leaning live oak is being supported by the neighboring tree, at least to some degree, but it should be noted that this observation is based on experience and the evidence I can see from the ground - there is no safe way to prove this, one way or the other. The leaning live oak does appear to be generally healthy. However, it is important to remember that general health and structural stability ARE NOT mutually exclusive.

The current targets that could be damaged if the tree were to fail are the neighboring live oak as well as 4-5 southern magnolia trees in the immediate vicinity. Due to the lot being undeveloped, there are currently no threats to any structures. It is worth mentioning that, under OSHA regulations, workers are given the right to work in an environment free from hazards - because of this, it is my opinion that no construction would be allowed to begin until this hazard is removed.

*OSHA General Duty Clause (SEC. 5. (a). (1). 29 USC 654) - Employers MUST provide a work environment "Free from recognized hazards that are causing or are likely to cause death or serious physical harm."*



Due to the current state of the tree, the surrounding valuable tree targets, the planned construction, and the contractor's safety, I recommend that this tree be removed by a licensed, ISA Certified, fully insured, and competent arborist as soon as possible. Unfortunately, there isn't anything that can be done to mitigate the hazards or save the tree in this state

**(see attached pictures and disclaimer)**

Best Regards,

Ladson Poole  
ArborWorks LLC  
ISA Certified Arborist - SO-11097A  
LA Licensed Arborist - 2469  
Lpoole@arbor-works.com

















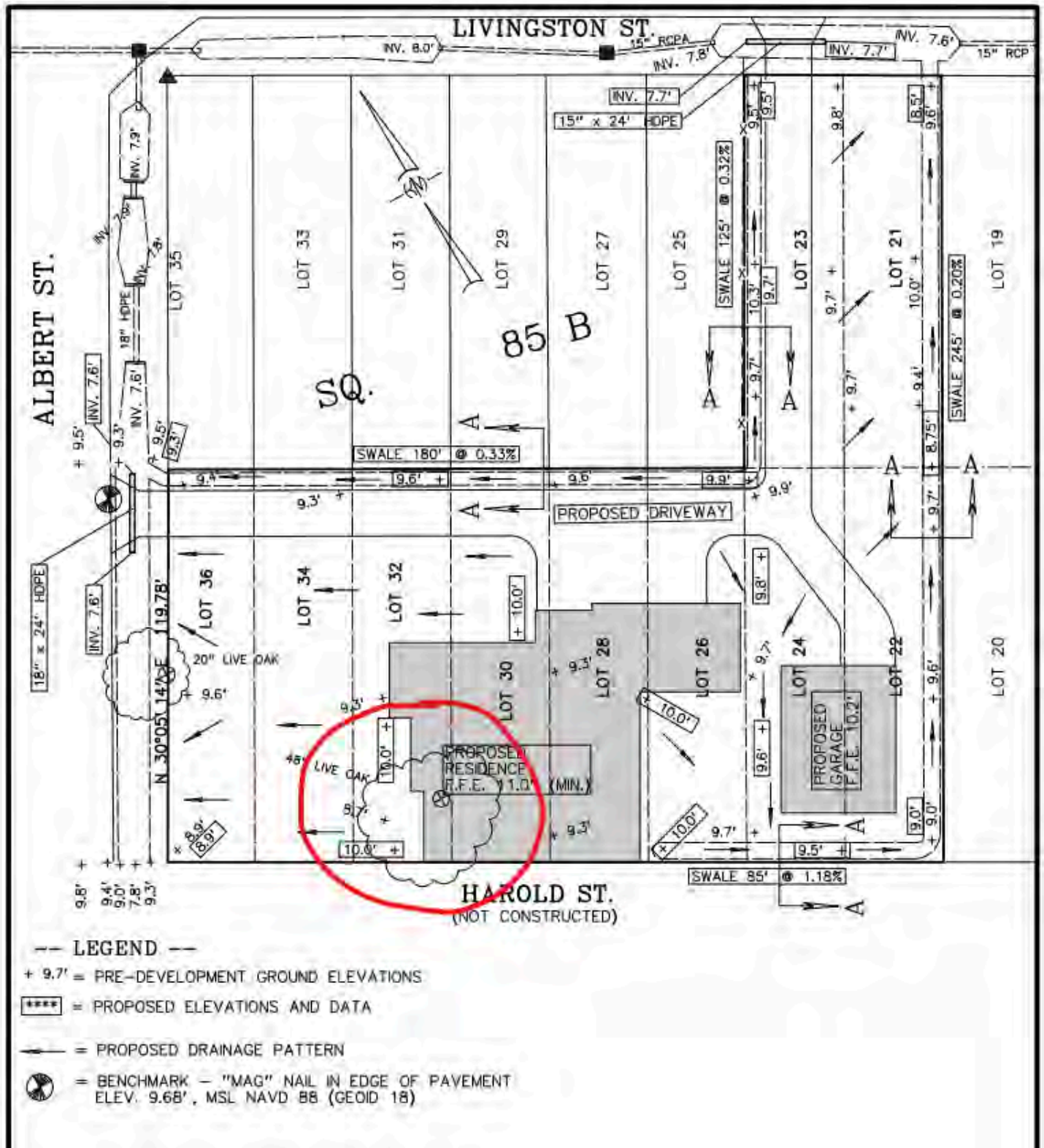












— LEGEND —

+ 9.7' = PRE-DEVELOPMENT GROUND ELEVATIONS

\*\*\*\* = PROPOSED ELEVATIONS AND DATA

— = PROPOSED DRAINAGE PATTERN

⊗ = BENCHMARK — "MAG" NAIL IN EDGE OF PAVEMENT  
ELEV. 9.68', MSL NAVD 88 (GEOID 18)



## **Disclaimer**

Arborists are tree specialists who use their education, knowledge, training, experience, and research to examine trees and woodlands. Arborists recommend measures to enhance the beauty and health of trees and forests, while attempting to reduce the risk of living near them. Clients may choose to accept or disregard the recommendations of the arborist or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms subject to attack by disease, insects, fungi and other forces of nature. There are some inherent risks with trees that cannot be predicted with any degree of certainty, even by a skilled and experienced arborist. Arborists cannot predict acts of nature including, without limitation, storms of sufficient strength, which can cause even a healthy tree to fail. Any entity that develops land and builds structures with a tree in the vicinity should be aware and inform future residents of the risks of living with trees and this arborist's disclaimer.

Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like medical care, cannot be guaranteed. In addition, construction activities are hazardous to trees and cause many short and long-term injuries, which can cause trees to die or topple either in the short term or over many years or decades.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services, such as property boundaries, property ownership, disputes between neighbors, and other issues. Consulting arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist by the client. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Neither the author nor ArborWorks LLC has assumed any responsibility for liability associated with the tree(s) on or adjacent to this project site, their future demise and/or any damage, which may result from them. To live near trees is to accept some degree of risk.

CASE SUMMARY SHEET

CASE NUMBER: V25-12-33  
DATE RECEIVED: November 12, 2025  
DATE OF MEETING: December 9, 2025 and January 13, 2026

Address: 2399 Lakeshore  
Subdivision: Old Town of Mandeville, Square 27 Lot 1J  
Zoning District: R-1 Single Family Residential District  
Property Owner: Mary Marino

REQUEST: V25-12-33 – Mary Marino requests a variance to CLURO 8.1.3. Supplemental Fence and Wall Regulations, Old Town of Mandeville, Square 7 Lot 1J, R-1 Single Family Residential District, 2399 Lakeshore Drive

CASE SUMMARY: Construct a 6’ fence within the front setback

The applicant owns the property located on the corner of Lakeshore Dr. and Adair St. The property measures 85’ x 535’ and contains 45,475 sqft per a survey prepared by Kelly McHugh & Associates and dated 4.28.1998. The property is currently improved with a single-family residence.

The applicant submitted a permit to construct a 6’ aluminum fence with brick columns along the east property line that is 313’ in length. The applicant wants the fence to be 6’ in height for the entire length, up to the front property line. Regulations require the first 25’ of the fence to not exceed 4’ in height.

CLURO SECTIONS:

8.1.3. Supplemental Fence and Wall Regulations

1. Fences in required setbacks.
  - a. Except as provided in paragraph 1.b of this section, no fence or wall shall exceed four (4) feet in height if located between the front of a structure and the front property line.
  - b. Decorative wrought iron fences may be allowed within required front setbacks and within required side and rear setbacks facing streets if they do not exceed five and one-half (5 ½) feet in height, supporting structure (columns) cannot exceed 6.5' in height and are no more than fifteen (15) percent opaque when measuring all fence components higher than two (2) feet above grade excluding support columns. Fence height shall be measured from average grade to the tallest component of the fence, excluding gates and lighting on the top of support columns that do not exceed seven and one-half (7 ½) feet in height. The Planning Director may approve the use of other materials that have a substantially similar appearance to wrought iron and are at least as durable.
  - c. Fences or walls located in the rear or side yards shall not exceed seven feet (7') in height.
  - d. No fence wall exceeding four feet (4') in height shall be erected or constructed within a required side or rear yard fronting a street, except as provided in paragraph 1.b of this section.
  - e. Any fence or wall located on a street intersection shall conform to sight triangle requirements.
2. Electrical fences in any form are prohibited.
3. Barb wire for fences shall be prohibited in all districts except B-2, B-4, M-1 or M-2 and when allowed shall only be used on fences in an area higher than six (6) feet above ground.
4. No fence or wall shall be constructed within a utility servitude without prior written approval of the affected utilities. Approval may be withheld by any utility upon its determination that the proper size or location of the fence or wall would adversely affect the operation, maintenance or function of the servitude. Approval of the construction by a utility shall create no obligation to repair or replace a fence or wall damaged or removed by the utility in the course of its lawful use of the servitude.

















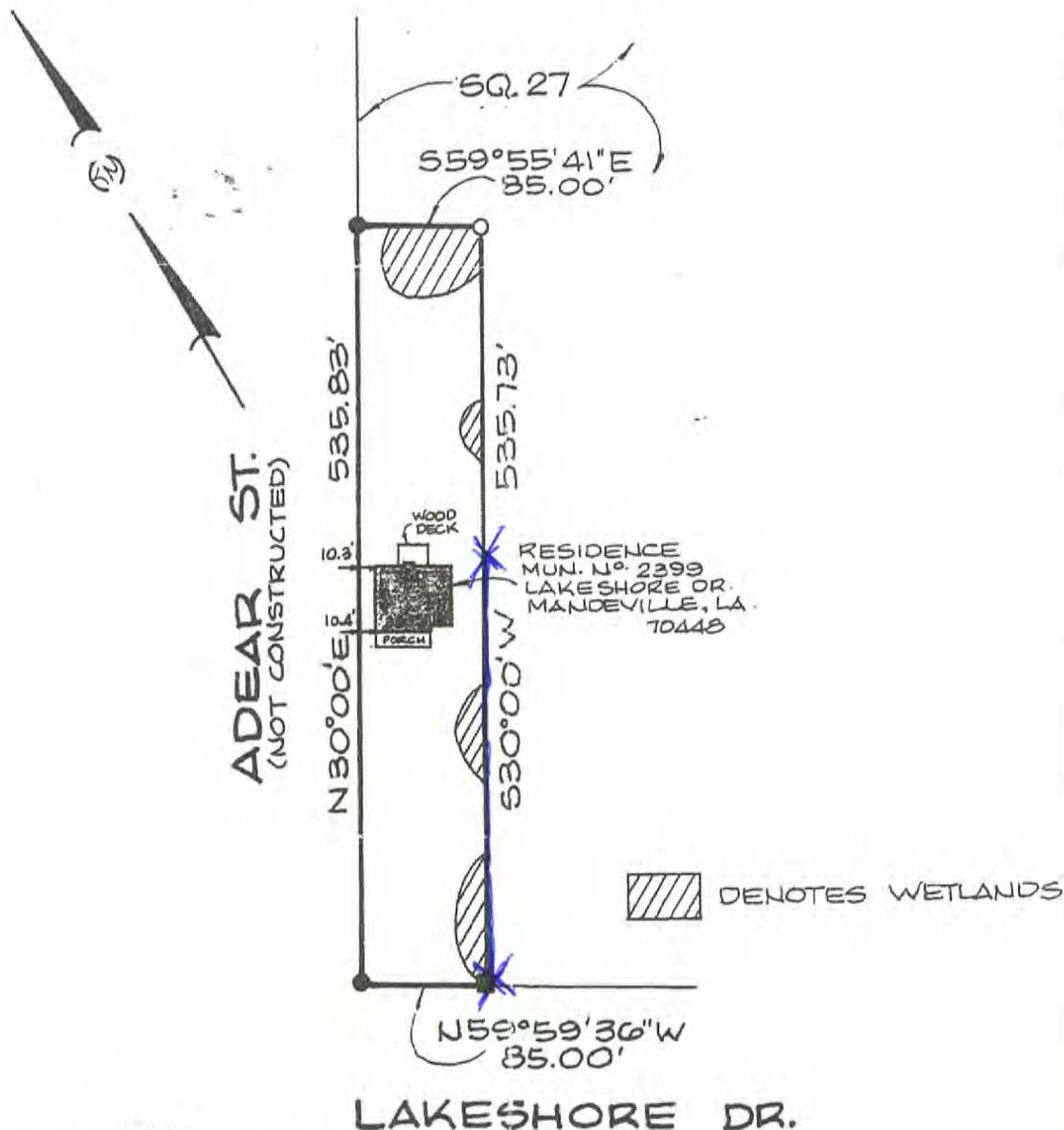












#### LEGEND

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET
- = 1/2" IRON PIPE FOUND

THIS PROPERTY IS LOCATED IN  
FLOOD ZONE V15; BASE FLOOD ELEV. 14.0'  
F.I.R.M. PANEL NO. 2202020002C; REV. 4-4-83.

NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY  
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE  
OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON  
REQUEST. AS SURVEYOR HAS NOT PERFORMED ANY TITLE  
SEARCH OR ABSTRACT.



KELLY J. McHUGH REG. NO. 4443

CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL  
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE  
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A  
CLASS "C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

#### REFERENCE:

SURVEY BY THIS FIRM, DATED:  
3-28-85, LAST REV. 7-25-94. NO  
SETBACKS OR SERVITUDES SHOWN.

#### BOUNDARY SURVEY OF:

A PORTION OF SQ. 27  
1.05 ACRES  
CITY OF MANDEVILLE  
ST. TAMMANY PARISH, LA.

#### PREPARED FOR:

DR. and MRS. ROBERT J. MARINO,  
HIBERNIA NATIONAL BANK,  
BALDWIN & HASPEL, L.L.C. &  
OLD REPUBLIC NATIONAL TITLE INS. CO.

KELLY J. McHUGH & ASSOC., INC.

CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST., MANDEVILLE, LA. 70471

SCALE: 1" = 100'

DATED: APR. 28, 1998

DRAWN: MM

JOB NO.: 98-147

REVISED:

CASE SUMMARY SHEET

CASE NUMBER: V25-12-34  
DATE RECEIVED: November 18, 2025  
DATE OF MEETING: December 9, 2025 and January 13, 2026

Address: 3316 Monroe  
Subdivision: Old Town of Mandeville, Square A19 Lot 1A  
Zoning District: R-2 - Two-Family Residential District  
Property Owner: 3316 Monroe LLC

REQUEST: V25-12-34 – 3316 Monroe LLC, represented by Ramon Posadas, requests a variance to CLURO Section 8.1.14. Supplemental Regulations for Accessory Dwelling Units, Old Town of Mandeville, Square A19 Lot 1A, R-2 Two-Family Residential District, 3316 Monroe Street

CASE SUMMARY: Construct an accessory dwelling unit outside of the primary setback areas

The property at 3316 Monroe St. is located on the south side of Monroe St., east of Barbara Pl., and west of Kleber St. The property measures 64’ x 180’ and contains 11,520 sqft per a survey prepared by Dragon Limited, Inc. and dated 9.17.2025. The property is currently improved with a single-family residence.

A permit was submitted for construction of a new accessory dwelling unit. Regulations require accessory dwelling units to conform to the setbacks for the principal building. The setbacks for this property are 30’ in the rear, 25 in the front, and 12’ on each side. The accessory dwelling unit is proposed to be 10’ from the rear, 6’-4” from the east property line, 7’-5” from the west property line, and 146’-2” from the front property line. On the west side the concrete base is located 1’-8” from the property line and the edge of the stairs is 4’-8”.

The application states that the dwelling unit will serve as a quiet writing space and guest house, and that the reason for the request is the property layout does not allow for the structure to be located within the setback requirements. It also states that the space will not be a commercial rental or a large development.

This property is located within a special flood hazard area so the building and all plumbing, mechanical, and electrical equipment will have to meet Base Flood Elevation (BFE) + 2’ to be in compliance. The BFE for this property is 9’.

CLURO SECTIONS:

8.1.14. Supplemental Regulations for Accessory Dwelling Units

For purposes of these Land Use Regulations, an accessory dwelling unit shall be incidental to the primary residential use of a single-family residence and shall be subject to the following standards:

- 1. **Number of Units.** Not more than one (1) accessory dwelling unit, attached or detached, may be allowed as an accessory use in conjunction with any single-family structure.
- 2. **Unit Types.** Mobile homes, trailers or manufactured homes may not be used as accessory dwelling units.
- 3. **Owner Occupancy Required.** Either the primary residence or the accessory unit must be occupied by an owner of the property.
- 4. **Subdivision Not Allowed.** Accessory units shall not be subdivided or otherwise segregated in ownership from the principal building.
- 5. **Parking Required.** There shall be two (2) off-street parking spaces designated for the accessory unit in addition to the spaces required for the primary dwelling unit. Said space may be in a carport, garage, or designated space provided for the accessory unit, but shall be located behind the front building line on the lot. All parking spaces must be independently accessible, allowing access to each required parking space on the lot without having to move vehicles parked in other spaces.
- 6. **Minimum Lot Size.** Accessory units may only be located on lots meeting the following minimum lot area standards for attached and detached accessory dwelling units:

Zoning District	Minimum Lot Areas	
	Attached Units	Detached Units
R-1		+2,000
R-2	9,000	11,000
R-3	9,000	11,000
B-1	10,000	10,000
B-2	15,000	15,000
B-3	8,000	10,000
B-4	30,000	30,000
O/R	15,000	15,000

- 7. **Maximum Unit Size.** Whether attached or detached, the square footage of the accessory unit shall not exceed one thousand 1,000 square feet, excluding any garage or patio area.
- 8. **Minimum Unit Size.** The accessory unit shall contain no less than three hundred (300) square feet, excluding any related garage or patio area.



- 9. **Height.** New accessory dwelling units shall be located on the ground floor and shall not include more than one story. Where required to be elevated, the lowest floor elevation shall not be more than one foot above the elevation required by adopted city standards, except that where buildings are required to be elevated at least five (5) feet above grade, they may be elevated to allow for creation of one or more eight (8) foot tall parking spaces. Building height shall not be more than 14 feet above the lowest floor elevation.
- 10. **Minimum Setbacks.** Minimum building setbacks shall conform to those for the principal building whether the accessory dwelling unit is attached or detached.
- 11. **Required Facilities.** All accessory dwelling units shall include: a kitchen sink, cooking appliance, refrigeration facilities; a separate bathroom containing a sink, toilet and bathtub or shower.
- 12. **Building Design.** The architectural character of the single-family dwelling shall be preserved whether the accessory unit is detached or attached. Consistent design for multiple structures on the property will be employed. A unifying design element such as material, color, or form should be used for all structures.
- 13. **Entrance.** A separate entrance for the accessory unit shall be provided. The accessory unit shall not result in a new garage door facing a street unless it is set back at least 60 feet from the property line. The accessory dwelling unit shall be located behind the front building line of the principal structure.
- 14. **Code Compliance Required.** The accessory unit shall meet all technical code standards, including building, electrical, fire, plumbing and other applicable code requirements, including any additional CLURO requirements.
- 15. **Existing Accessory Units.** Any accessory units established within a building envelope existing prior to the adoption of this ordinance shall not be required to meet the setbacks established herein.





GENERAL NOTES:

1. THE OWNER, BUILDER, AND/OR CONTRACTOR IS/ARE RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK.
2. ALL CONSTRUCTION MUST CONFORM TO PROCEDURES, CODES, LAWS, AND STATUES THAT GOVERN THE LOCATION IN WHICH THE STRUCTURE IS TO BE BUILT.
3. ALL FIGURE DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL DIMENSIONS & FIT-UP OF STRUCTURE, INCLUDING VERIFICATION OF ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE PROCEEDING.
5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. ANY INTERFERENCE SHALL BE BROUGHT TO THE ATTENTION OF THE PROFESSIONAL OF RECORD BEFORE ANY WORK CONTINUES.
6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS AND ELEVATIONS WITH THE DESIGNER BEFORE CONSTRUCTION BEGINS.
7. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN PLACEMENT, MAINTENANCE, ETC. OF ANY AND ALL SHORING, BRACING, TIE BACKS, ETC. NEEDED TO SUPPORT ANY PART OF THE NEW OR EXISTING CONSTRUCTION DURING THE ENTIRE CONSTRUCTION PROCESS TO ENSURE THE SAFETY AND INTEGRITY OF THE STRUCTURE UNTIL THE NECESSARY PERMANENT ELEMENTS ARE IN PLACE.
8. UNLESS NOTED OTHERWISE, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
9. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS MUST BE REPORTED TO THE DESIGNER FOR CORRECTION AND INTERPRETATION BEFORE THE WORK IS EXECUTED.
10. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONSTRUCTION DOCUMENTS AND SECURE FROM THE DESIGNER ANY ADDITIONAL INFORMATION, IF NECESSARY, THAT MAY BE NEEDED TO HAVE A CLEAR AND FULL UNDERSTANDING OF THE SCOPE OF WORK AT HAND.
11. DURING THE BUILDING PROCESS ANY DISCREPANCIES, CONFLICTS, AND/OR QUESTIONS OF INTERPRETATION OR UNKNOWN MISTAKES IN THE DOCUMENTS SHALL BE SUBMITTED TO THE DESIGNER IMMEDIATELY FOR CLARIFICATION.
12. THE DESIGNER WILL NOT BE HELD RESPONSIBLE FOR ORAL INSTRUCTIONS. NO ALLOWANCE WILL BE MADE FOR AFTER THE CONSTRUCTION DUE TO A MISUNDERSTANDING.
13. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS, & APPROVALS HAVE BEEN OBTAINED.
14. ACCESS HATCHES & DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES (E.G. ATTICS & CRAWL SPACES) SHALL BE WEATHER STRIPPED AND HAVE A MINIMUM R-10 INSULATION VALUE (IRC 1102.2.4)
15. BUILDING THERMAL ENVELOPE SHALL BE DURABLE SEALED TO LIMIT INFILTRATION (IRC N1102.4)
16. ADDRESS IDENTIFICATION- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS,BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2". WHERE ACCESS IS BY MAINS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE (IRC 319.1)
17. EMERGENCY ESCAPE & RESCUE ROUTE: BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING I.E. DOOR OR WINDOW THAT OPENS DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT YARD HAVING A MINIMUM WIDTH OF 36" THAT OPENS TO A PUBLIC WAY (IRC 310.1)
18. STATE OF LOUISIANA INSULATION CERTIFICATE- A STATE OF LOUISIANA INSULATION CERTIFICATE, FILLED OUT BY THE BUILDER, SHALL BE POSTED IN A UTILITY AREA NEAR THE ENERGY EFFICIENCY CERTIFICATE UPON COMPLETION PRIOR TO BUILDING INSPECTION (LSUCC AMENDMENT IRC N1101.9)
19. ALL CONSTRUCTION SHALL BE BUILT TO WITHSTAND 145 MPH WINDS
20. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS
21. STRUCTURE TO BE BUILT IN ACCORDANCE WITH THE HURRICANE RESISTANT CONSTRUCTION STANDARD ASCE-7-16 & ASCE-24
22. ALL CONSTRUCTION TO BE BUILT TO THE CODES AND STANDARDS LISTED IN THE IRC 2021
23. PLANS TO CONFORM WITH PRESCRIPTIVE PATH N1101 THRU N1104 IECC 2021 AND CONTRACTOR MUST PROVIDE COMPLIANCE SHEET ON A WALL IN THE UTILITY ROOM BY FINAL INSPECTION

STRUCTURAL LOAD DESIGN

A. SLAB			=100 PSF
B. 1ST FLOOR	40'LL 15'FL		= 35PSF
C. ROOF	25'LL 10'DL		= 35PSF

EXTERIOR SHEATHING:

1. 1/2"x4'x8' APA plywood applied on all exterior walls.

ROOF SHEATHING:

1. 5/8"x4'x8' plywood applied over rafters across entire roof area

PAINTING:

1. All surfaces must be clean and dry before paint application.
  1. Exterior painting shall be one coat of primer, and second coat and third coat shall be exterior latex paint.
  2. Interior gypsum board shall receive two coats, after all joints have been taped and floated, of interior latex paint.

PLUMBING NOTES:

1. Plumbing fixtures shall be installed and connected to the sewer line. Provide water valves and stops in the hot and cold water lines to all plumbing fixtures.
2. ALL FRESH WATER PIPES SHALL BE PEX TUBING.
3. All sanitary piping (soil, waste and vent) shall be PVC piping.
4. Where any plumbing piping is penetrating a fire protective barrier, fire rated caulk or sealant shall be used as required to maintain the fire-rating of that protective barrier.
5. PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT FOR A COMPLETE OPERATING SYSTEM. THE SYSTEM SHALL INCLUDE SEWERAGE, HOT AND COLD WATER PIPING, GAS PIPING, INSULATION, WATER HEATER, HANGERS, VALVES, SUPPORTS AND PLUMBING FIXTURES WITHOUT ANY RESTRICTING VOLUME, CUT AND PATCH AS REQUIRED TO INSTALL PIPES
6. ALL WORK AND MATERIAL SHALL CONFORM STRICTLY TO THE LATEST LOCAL CITY, PARISH, STATE AND NATIONAL GOVERNING CODES.
7. CONTRACTOR IS TO FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS ELEVATIONS AND SIZES PRIOR TO COMMENCING ANY WORK. CONTRACTOR SHALL PAY ALL NECESSARY FEES FOR THE UTILITIES CONNECTIONS.
8. CONTRACTOR IS RESPONSIBLE TO VERIFY THE EXISTING INVERTS AND SET NEW INVERTS OF SEWERAGE AND DRAINAGE PIPES.
9. SEWERAGE LINES 3-INCH AND SMALLER SHALL BE SLOPED 1/4" PER FOOT AND LINES 4-INCH AND LARGER SHALL BE SLOPED 1/8" PER FOOT.
10. TEST ALL PIPING AT REQUIRED PRESSURE.
11. CLIENT TO SPECIFY A WATER FILTRATION SYSTEM PRIOR TO CONSTRUCTION
12. HOT WATER PIPING INSULATION - HOT WATER PIPING INSULATION OF R-3 MINIMUM SHALL BE APPLIED WHEN ANY OF THE FOLLOWING OCCURS (IRC 1103.5.2).
  1. 3/4-INCH PIPE AND LARGER LOCATED INSIDE THE CONDITIONED SPACE.
  2. PIPING SERVING MORE THAN ONE DWELLING UNIT.
  3. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
  4. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
  5. PIPING LOCATED UNDER A FLOOR SLAB.
  6. BURIED PIPING.
  7. SUPPLY AND RETURN PIPING IN CIRCULATION AND RECIRCULATION SYSTEMS OTHER THAN COLD WATER PIPE RETURN DEMAND RECIRCULATION SYSTEMS.

LUMBER

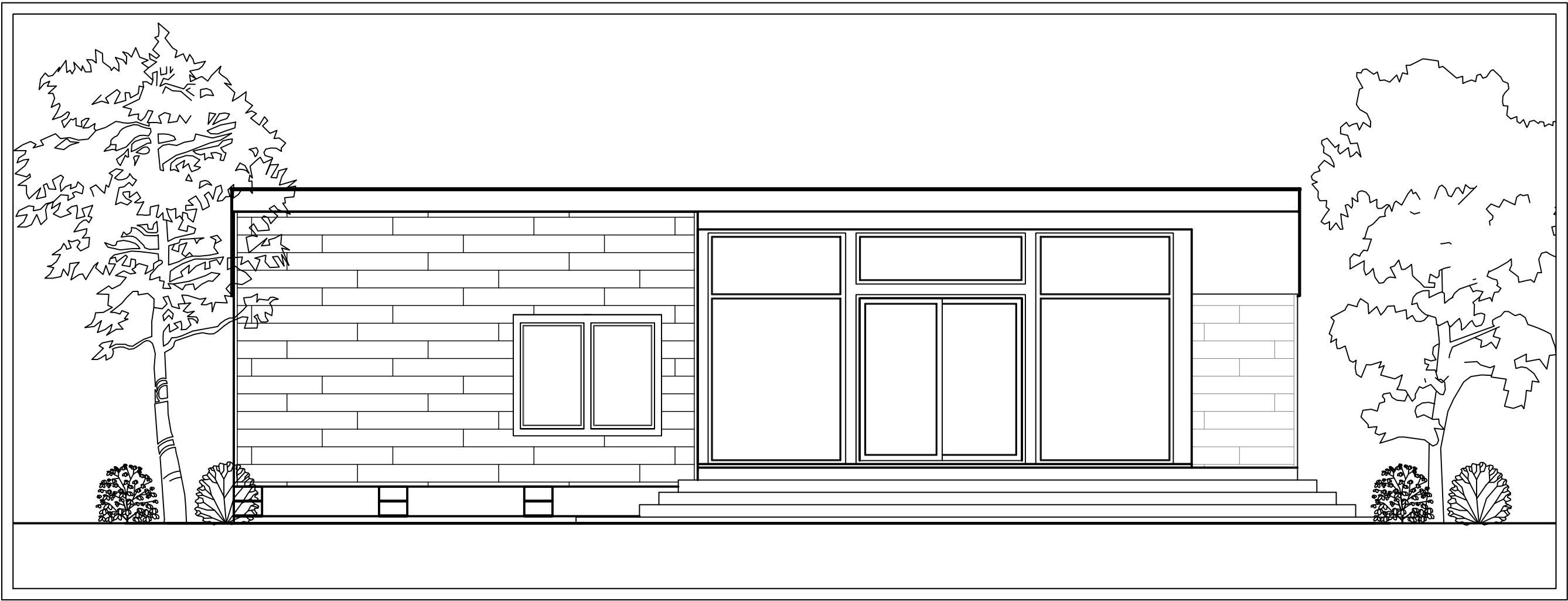
1. All lumber and plywood shall be identified by official grade mark and shall be of the following grades:
  - a. Studs #2 Fir or SYP S4S
  - b. Plates, Furring, Joists & Rafters #2 Fir or SYP S4S
  - c. Roofing, Sheathing : 5/8" plywood C-D with exterior glue, APA
2. Framing lumber shall be the following nominal sizes:
  - a. Exterior walls 2"x4" studs @ 16' o.c., Fir or SYP
  - b. Interior partitions 2"x4" studs @ 16' o.c., Fir or SYP
  - c. Base Plates 2"x thickness of wall, Fir or SYP
  - d. Ceiling Joist See plans for sizes, Fir or SY

CODE REQUIREMENTS

MAXIMUM NOTCHING & BORING OF JOISTS & RAFTERS			
MEMBER SIZE	END OF MEMBER (1/4 D)	OUTER 1/3 OF SPAN (1/6 D)	HOLE DIAMETER (3/8 D)
2x4	7/8"	9/16"	NOT PERMITTED
2x6	1-3/8"	15/16"	1-1/2"
2x8	1-13/16"	1-3/16"	2-7/16"
2x10	2-5/16"	1-9/16"	3-1/16"
2x12	2-13/16"	1-7/8"	3-3/4"
2" of wood must be above & below the hole			

Note all notches shall be in the outer 1/3 of the span.  
"D" equals actual depth of members in inches.

MAXIMUM NOTCHING & BORING OF STUDS			
MEMBER SIZE	EXTERIOR WALLS & INTERIOR BEARING WALLS		NONBEARING STUD
	NOTCH (1/4" D)	HOLE (0.4 D)	NOTCH (0.4 D) HOLE (0.6 D)
2x4	7/8"	NOTCH (1/4" D)	NOTCH (1/4" D)
2x6	1-3/8"	NOTCH (1/4" D)	NOTCH (1/4" D)
2x8	1-13/16"	2-7/8"	2-7/8"



WINDBORNE DEBRIS PROTECTION:

1. WINDOWS IN BUILDINGS LOCATED IN WINDBORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WINDBORNE DEBRIS OR THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2021.
2. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM 1996 AND OR ASTM 1886 REFERENCED THEREIN PROVIDE INSULATION TO CONFORM WITH THE "R" VALUE OF THE ELECTRIC UTILITY COMPANY AND/OR MANUFACTURERS SPECS.
3. FLASH ALL ROOF CHIMNEYS, VALLEYS, ETC. AREAS IN THE PRESCRIBE MANNER WITH METAL OR FABRIC FLASHING. DOORS AND WINDOWS TO BE FLASHED AS REQUIRED.

HURRICANE CLIPS AND SHEAR WALLS:

1. The installation of plywood sheathing on the exterior wall shall be installed in order to provide shear walls.
2. Provide hurricane clips at every ceiling joist, securing joist to top plate.
3. Provide hurricane clips at every vertical stud, securing to the top and botom plates.
4. Provide hurricane clips at every rafter, securing rafters to ceiling joists.

AREA CALCULATIONS

LIVING AREA	961 SQFT.
FRONT PORCH	235 SQFT.
TOTAL AREA	1,196 SQFT.

SCOPE OF WORK

-NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE

I HAVE DETERMINED THAT THEY COMPLY WITH THE FOLLOWING EXISTING STATE AND LOCAL BUILDING CODES FOR THE JURISDICTION IN WHICH THE RESIDENCE IS TO BE LOCATED

<input checked="" type="checkbox"/>	Structural
<input type="checkbox"/>	Mechanical
<input type="checkbox"/>	Electrical
<input type="checkbox"/>	Plumbing

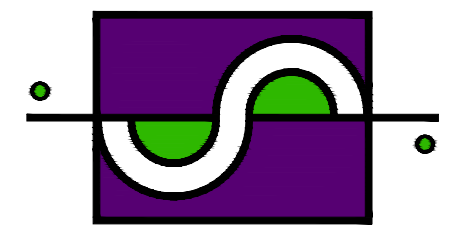
DRAWING INDEX

A-1	INDEX & GENERAL SPECIFICATIONS
A-1.1	SITE PLAN & SURVEY
A-2	WALL SECTIONS & FRAMING DETAILS
A-3	DIMENSIONED FLOOR PLAN & NOTES
A-3	CABINET ELEVATIONS & SCHEDULES
A-4	ELEVATIONS
A-5	ELECTRICAL & A/C LAYOUT & NOTES
A-6	CEILING FRAMING PLANS & NOTES
A-7	ROOF PLAN & NOTES
A-8	PLUMBING DRAINAGE PLAN & RISER DIAGRAM

LABEOUF RESIDENCE  
REAR BUILDING (NEW CONSTRUCTION)  
3316 MONROE STREET  
MANDEVILLE, LA 70448  
ST. TAMMANY PARISH



SPECTRUM  
DESIGNS, LLC  
1929 JUTLAND DRIVE  
Suite A - HARVEY, LA 70058  
PHONE: (504) 366-0710  
E-Mail: ADMIN@SPECTRUMDESIGNSLLC.COM



Date: 09-25-2025  
Drawn: RHT  
Checked: TEP

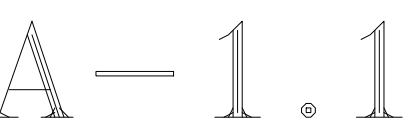
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INDEX  
& GENERAL  
SPECIFICATIONS

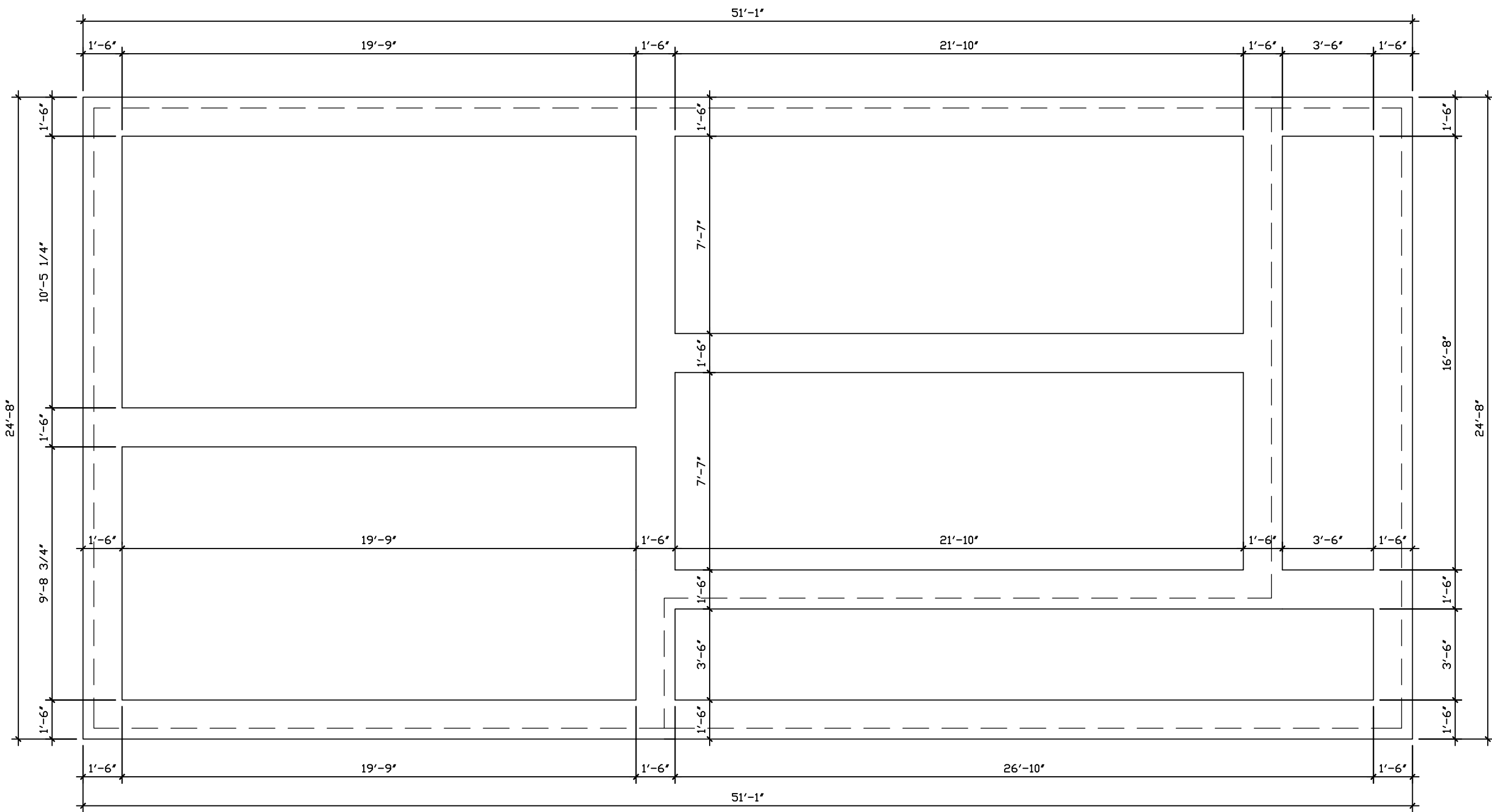
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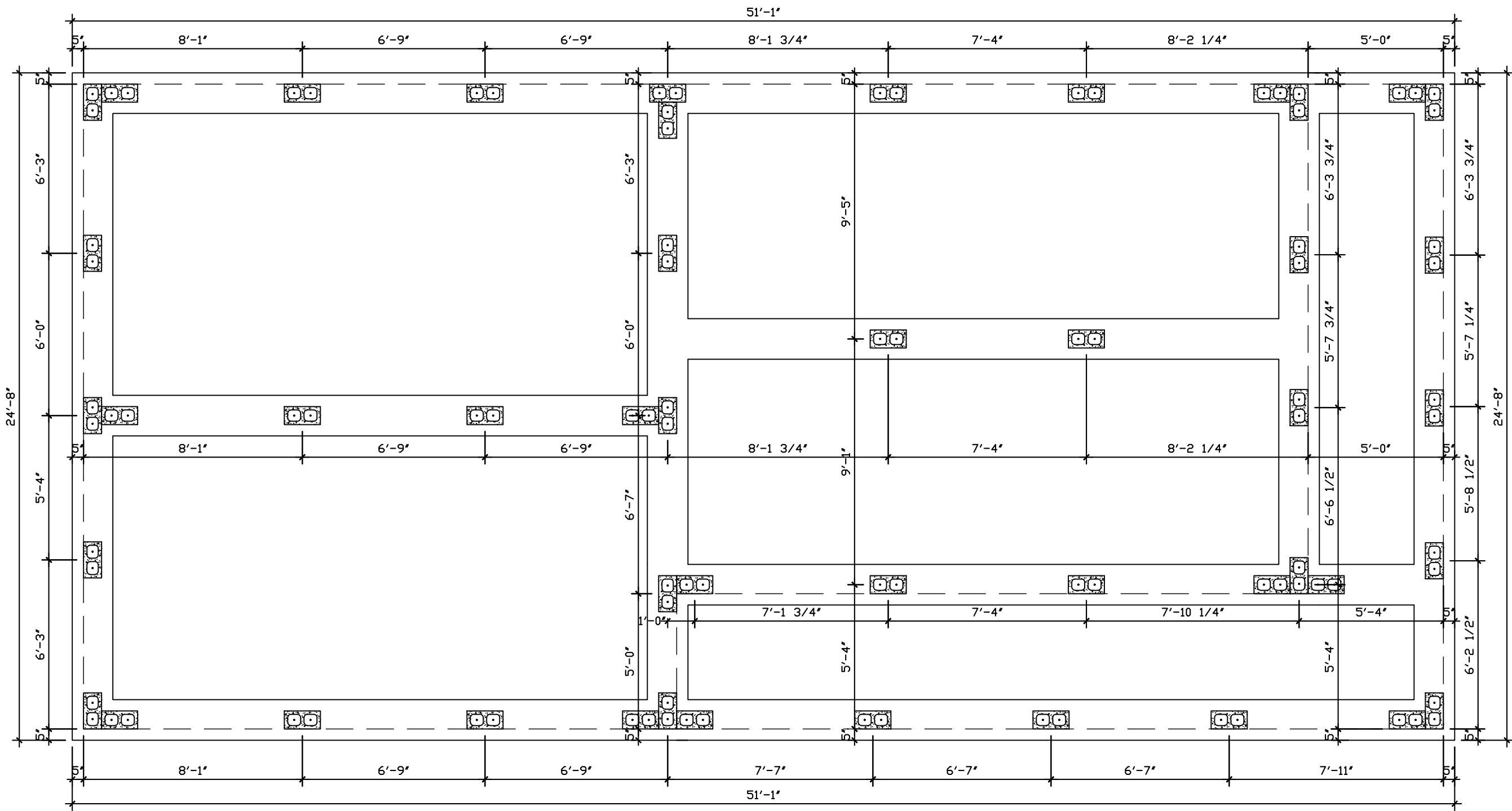






FOUNDATION PLAN

SCALE: 1/4"=1'-0"



PIER PLAN

SCALE: 1/4"=1'-0"

GENERAL FOUNDATION NOTES:

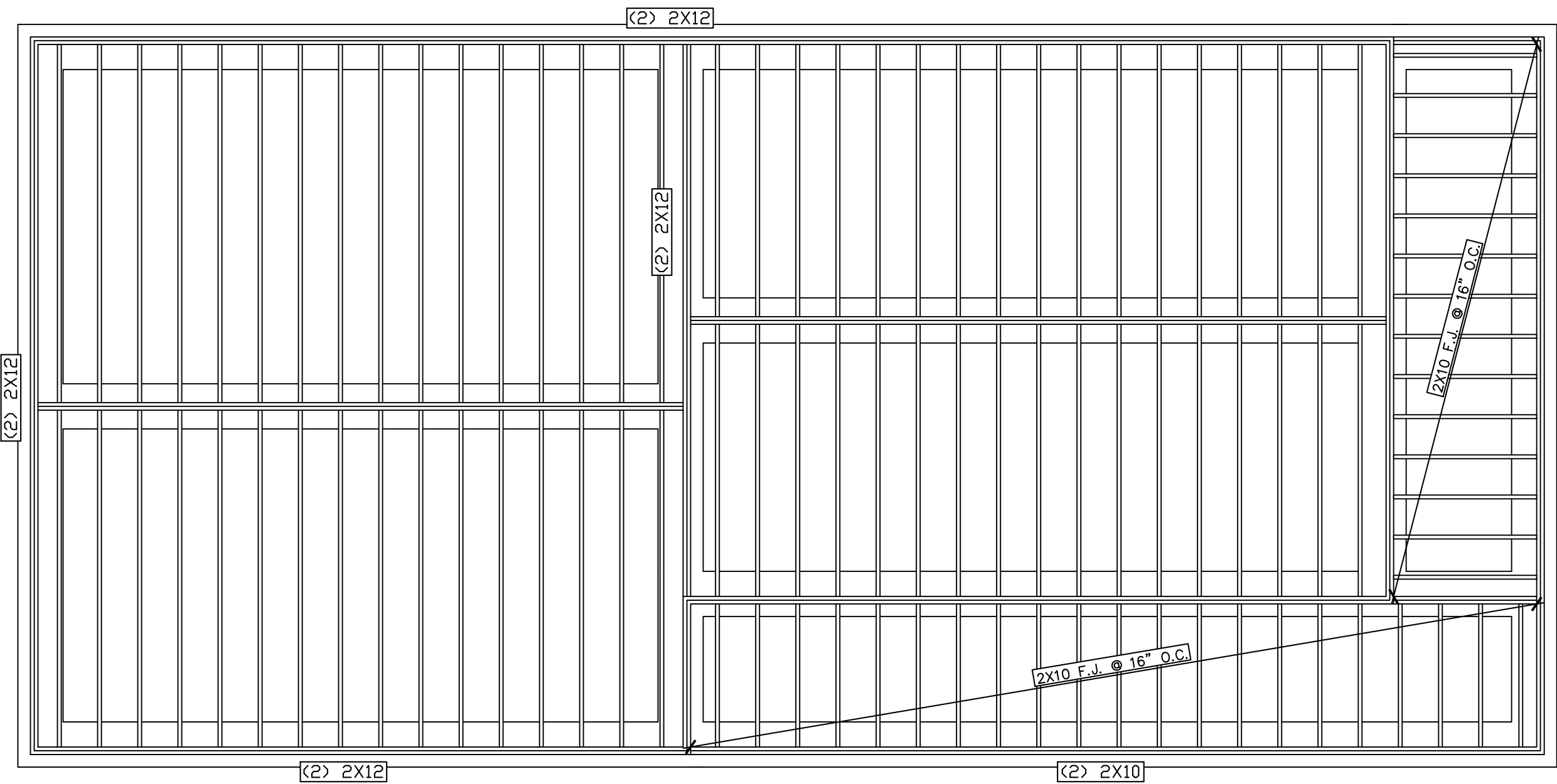
NOTES FOR PILINGS (WHEN APPLICABLE)

1. PILINGS SHALL BE ONE PIECE TREATED TIMBER PILING AND SHALL CONFORM TO ASTM D25 AND HAVE A MINIMUM TIP DIAMETER OF 6" AND A MINIMUM BUTT DIAMETER OF 8". THE TIPS OF ALL PILES SHALL BE DRIVEN TO THE SPECIFIED DIAMETER BELOW EXISTING GRADE OR TO REFUSAL.
2. CUT OFF TREATMENT: BRUSH TOP OF PILE WITH COPPER NAPHTHENATE CONFORMING TO A.W.P.A. SPECIFICATION M4
3. HAMMERING: SINGLE ACTING DROP HAMMER DELIVERING 7,500 FT. LBS. OF ENERGY PER BLOW
4. DESIGN LOAD AS PER SPECIFICATIONS.
5. DRIVE TO A REFUSAL OF 15 BLOWS PER FOOT FOR TWO CONSECUTIVE FEET (MAX)

NOTES FOR CONCRETE (WHEN APPLICABLE)

6. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS WITH A 5" MAXIMUM SLUMP, GRADE 40 DEFORMED REINFORCING.
7. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE CURRENT "ACI MANUAL OF CONCRETE PLACEMENT".
8. FOUNDATION DESIGN IS BASED ON A-4 FILL DIRT COMPACTED TO 95% DENSITY (ASTM-698) & ON PILE CAPACITY FROM MUNICIPAL PILE DATA
9. FOUNDATION DESIGN LIVE LOAD = 100 PSF
10. FOR ALL CONCRETE FOUNDATIONS 25" LAP WITH 2 TIES REQUIRED AT REINFORCING SPLICES.
11. 12" HOOKS REQUIRED AT CORNERS.
12. CONCRETE SHALL CONFORM TO ACI 318, LATEST EDITION.
13. REINFORCING OR FABRIC ON GRADE SHALL BE CHAIED WITH 3000 PSI CONCRETE BRICKETTES SPACED TO ADEQUATELY SUPPORT THE REINFORCING,BUT NOT GREATER THAN 3'-0" O.C. EACH WAY. AT RAISED FLOORS USE METAL CHAIRS.

14. ALL REINFORCING SHALL BE SPLICED WITH A CLASS "B" LAP SPLICE IN ACCORDANCE WITH THE CURRENT ACI 318 SPECIFICATION.
15. ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615 GRADE 60, WELDED WIRE FABRIC (WWF) SHALL BE IN ACCORDANCE WITH ASTM A185 WIRE SHALL CONFORM TO ASTM A82. LAP ALL FABRIC ONE WIRE SPACING PLUS 6".
16. 6 MIL VAPOR BARRIER REQUIRED UNDER ALL CONCRETE FOUNDATIONS.
17. SECTION 403 12" MINIMUM FOOTING WIDTH, ANCHOR FLOOR PLATES TO SLAB WITH 5/8", A307 ANCHOR BOLTS (3" LEG) WITH A MINIMUM EMBEDMENT OF 7" WITH 3" X 3" X 1/8" WASHERS SPACED @ 12" O.C., BEGINNING 12" FROM THE CORNER AND RUNNING FOR 4'-0". BEYOND 4'-0" FROM THE CORNER, SPACE THE BOLTS @ 36" O.C. MAX.
18. ALL EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 3/4"
19. REMOVE VISQUEEN AND EARTH FILL FROM THE TOPS OF PILES AND WHERE CONCRETE WILL BEAR ON THE TOP OF THE PILE CAP.
20. CONTRACTOR IS RESPONSIBLE FOR LOCATION FINISHED FLOOR LEVEL ACCORDING TO THE FLOOD ZONE REQUIREMENTS.
21. ANY INFORMATION OBTAINED DETERMINE THE HEIGHT OF THE STRUCTURE MUST BE COORDINATED WITH THE OWNER PRIOR TO CONSTRUCTION T CRETE A FULL UNDERSTANDING.
22. FOUNDATION TO BE TREATED FOR TERMITES BY A LICENSED PROFESSIONAL AND TERMITE CERTIFICATE MUST BE SUBMITTED WITH TOP OF FORM CERTIFICATE.
23. WHERE FLOOD VENTS ARE REQUIRED, FLOOD VENT IS TO BE NO MORE THAN 12" ABOVE GRADE & VENTS SHALL BE 8"x16" BREAK AWAY STYLE.



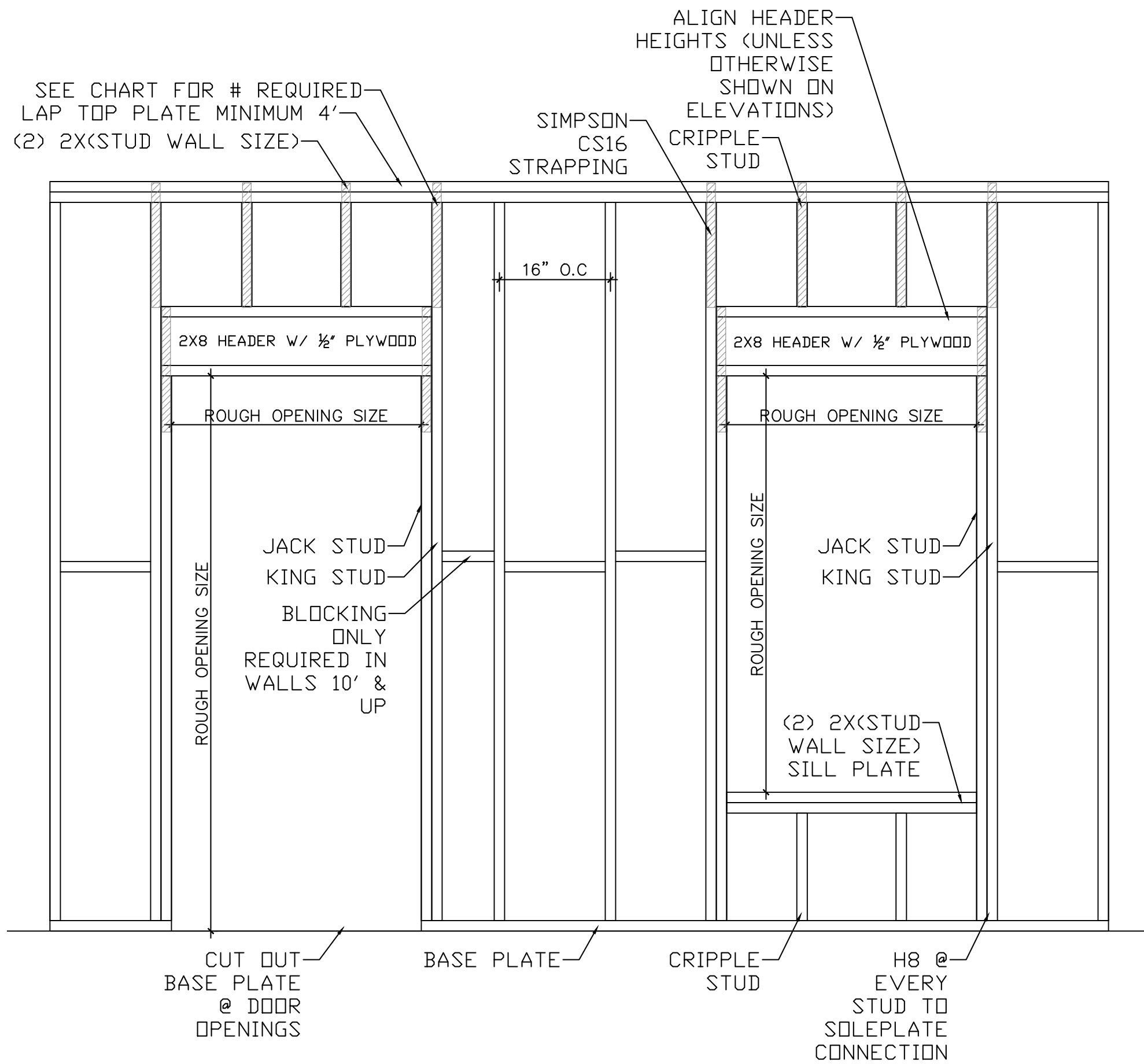
FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"



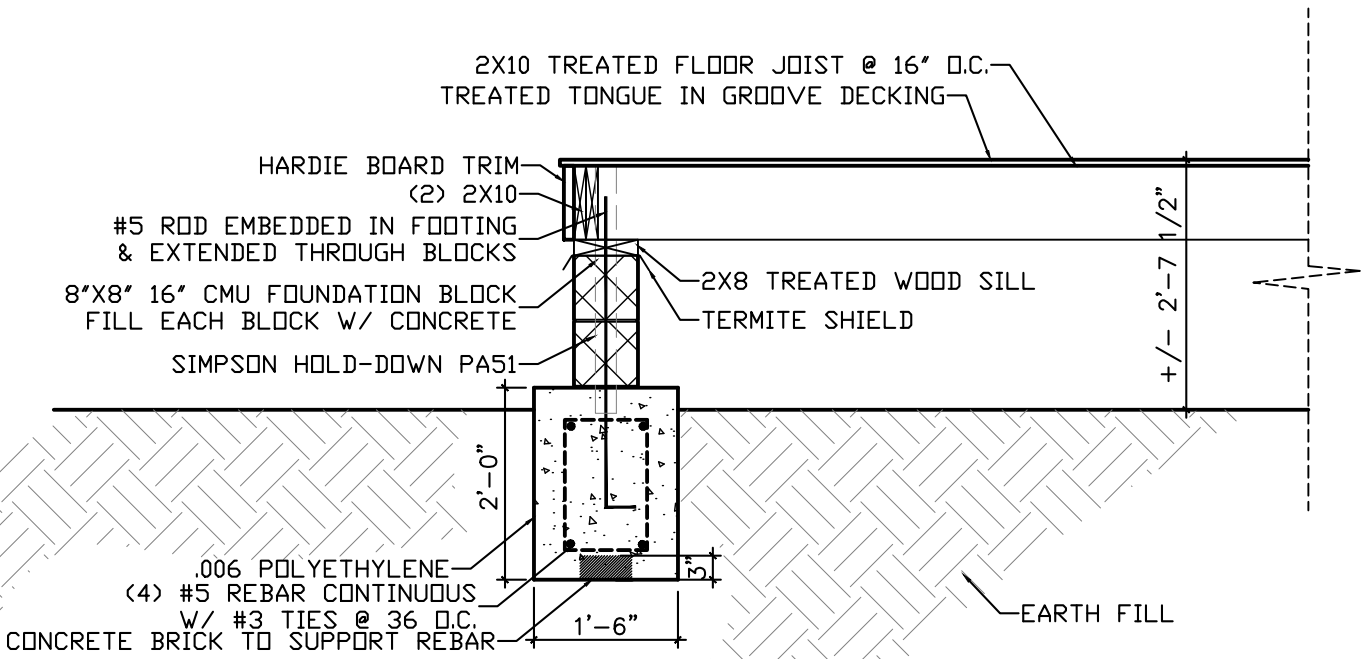
GENERAL FRAMING NOTES:

- ALL WOOD FRAMING, FABRICATION AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NFPA. THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND MEET THE REQUIREMENTS OF THE STANDARD BUILDING CODE. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE S.B.C..
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.
- BLOCK ALL STUDS AT MID-HEIGHT. ANCHOR BOTTOM PLATE OF STUD WALLS TO CONCRETE AT 24" O.C.
- PROVIDE WOOD CROSS BRIDGING, BLOCKING AND BRACING AS REQUIRED BY BUILDING CODE. PROVIDE DOUBLE JOIST AT ALL PARALLEL WALLS ABOVE AND SOLID BLOCKING OVER BEARING WALLS.
- CONCRETE SUBFLOOR – 2 ½" OVER METAL DECKING
- PLYWOOD ROOF SHEATHING – APA RATED 24/0, 3/4" THICK. PROVIDE CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF RAFTERS.
- JOIST HANGERS SHALL BE 16 GA., TYPE "U" AS MANUFACTURE BY SIMPSON STRONG TIES CO.. INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURE'S SPECIFICATIONS. USE JOIST HANGERS FOR JOISTS AND BEAMS WHICH FRAME TO BEAMS AT THE SAME ELEVATION, JOIST HANGERS SHALL BE SAME SIZE AS MEMBER SUPPORTED.
- PROVIDE STUB POSTS MADE UP OF MULTIPLE STUDS BENEATH END BEARING OF BEAMS. NAIL EACH STUD TO THE ADJACENT STUD IN THE POST WITH 16d NAILS AT 12" O.C., ON STUD CENTERLINE AND WITHIN 3" OF EACH END. CUT STUDS CAREFULLY TO INSURE FULL AND COMPLETE BEARING ON BOTH TOP AND BOTTOM.
- COORDINATE FRAMING WITH HVAC DUCTS, ELECTRICAL AND PLUMBING REQUIREMENTS.
- BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGES OF JOIST, NOT LARGER THEN 1 1/4" DIAMETER AND NOT IN THE MIDDLE OF A SPAN.
- STRAP ALL STUDS CUT AWAY FOR PLUMBING WITH 1 1/2" WIDE, NO. 24 GUAGE GALVANIZED STRAPS, 18" LONG, BOTH SIDES OF WALL, SPIKED TO PLATES.
- PROVIDE DOUBLE KING STUDS (MIN.) AT EACH SIDE OF WINDOW OPENINGS IN 2X6 WALLS.
- PROVIDE TRIPLE PACKED STUDS UNDER ALL DOUBLE JOIST, BEAMS HEADER, ETC.
- ALL BEDROOM AND COAT CLOSETS SHALL CONTAIN (1) ROD AND (1) 16" DEEP SHELF, ALL LINEN AND PANTRY CLOSETS SHALL CONTAIN 5 SHELVES. UNLESS OWNER SPECIFIES OTHERWISE.
- ALL FRAMING CONNECTORS SHALL BE INSTALLED PER MANUFACTURER "SIMPSON STRONG TIE CO."
- FRAMER TO PROVIDE BLOCKING IN WALLS FOR INSULATION OF RODS FOR WINDOW TREATMENTS, TOWEL BARS, SHOWER RODS, CABINETS, ETC.
- SEAL AROUND ALL PENETRATIONS AND ROUGH OPENINGS WITH EXPANDING FOAM CAULKING.
- MOISTURE RESISTANT DRYWALL TO BE USED IN ALL WET AREAS.
- FOR RAISED STRUCTURES AND MULTI STORY STRUCTURES, BRIDGING MUST BE PROVIDED FOR FLOOR JOIST @ 8' O.C.
- UNLESS NOTED OTHERWISE MULTIPLE PIECES OF LUMBER OR MANUFACTURED WOOD PRODUCTS USED TO FORM BEAM OR HEADER MEMBERS SHALL BE ATTACHED TOGETHER WITH 2 ROWS OF 12d NAILS AND SPACED AT 12" O.C. FOR PIECES UP TO 12" DEEP. ALL OTHER PIECES SHALL HAVE 3 ROWS OF 12d NAILS
- A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12 FEET 7 INCHES BETWEEN FLOOR LEVELS OR LANDINGS (IRC311.7.3)
- EXTERIOR WALL VAPER RETARDER – CLASS I OR CLASS II VAPOR RETARDER (I.E. KRAFT-FACED FIBERGLASS BATT INSULATION) NOT PERMITTED TO BE INSTALLED IN INTERIOR SIDE OF EXTERIOR WALL WITHIN OUR REGION (CLIMATE ZONE 2) (IRC 1102.1.1 AND IRC TABLE 702.7(2)). UNFACED INSULATION OR INSULATION WITH KRAFT PAPER FACING EXTERIOR SIDE OF EXTERIOR WALL SHALL BE PERMITTED.
- DECK 200 SQFT. OF ATTIC FLOOR AROUND ATTIC ACCESS STAIR



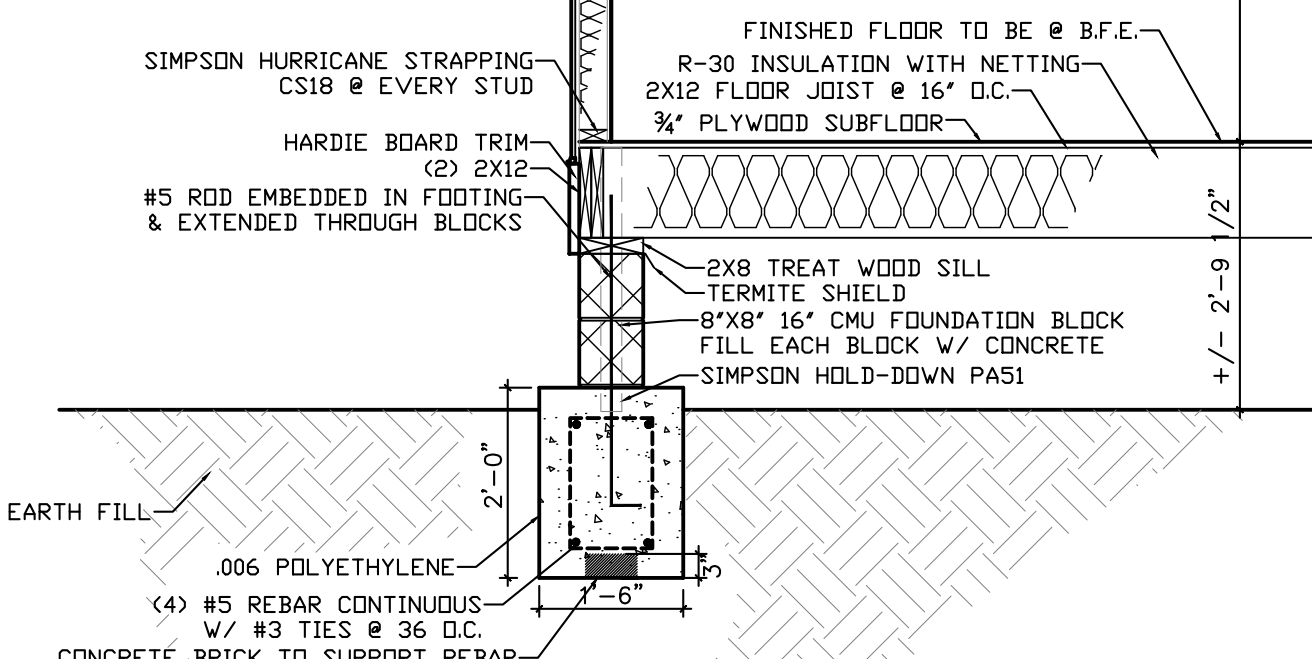
TYPICAL WALL FRAMING DETAIL

SCALE: 3/4"=1'-0"



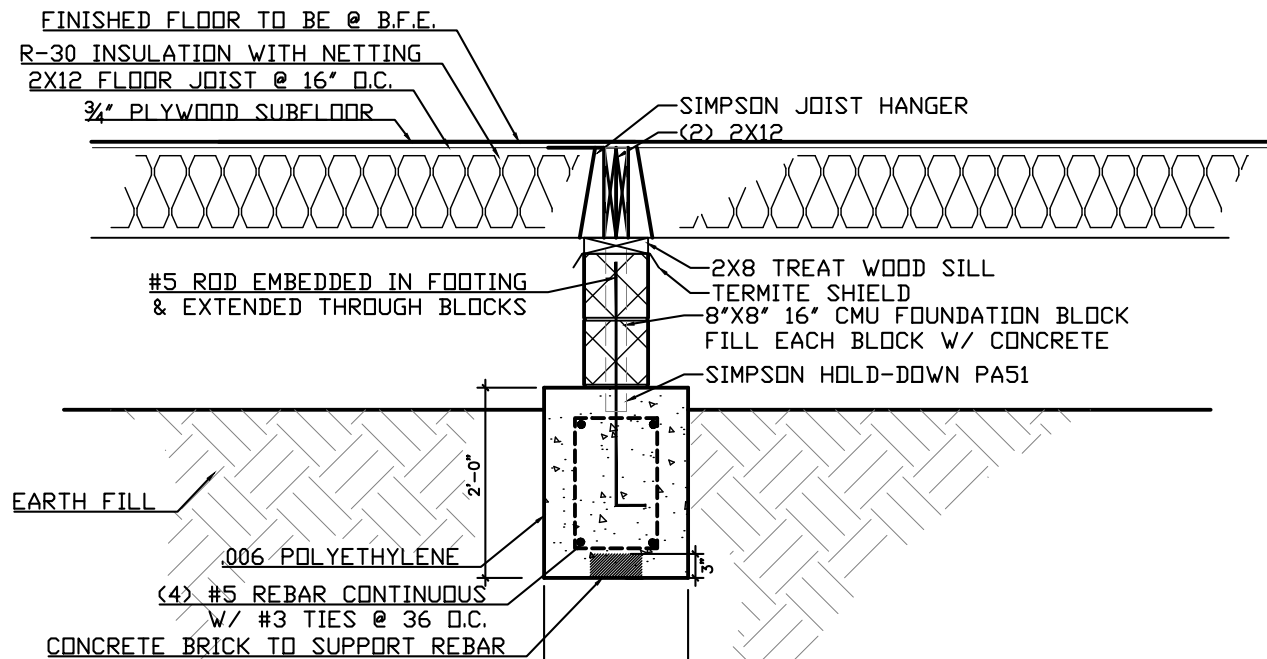
PORCH SECTION

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TYPICAL WALL SECTION

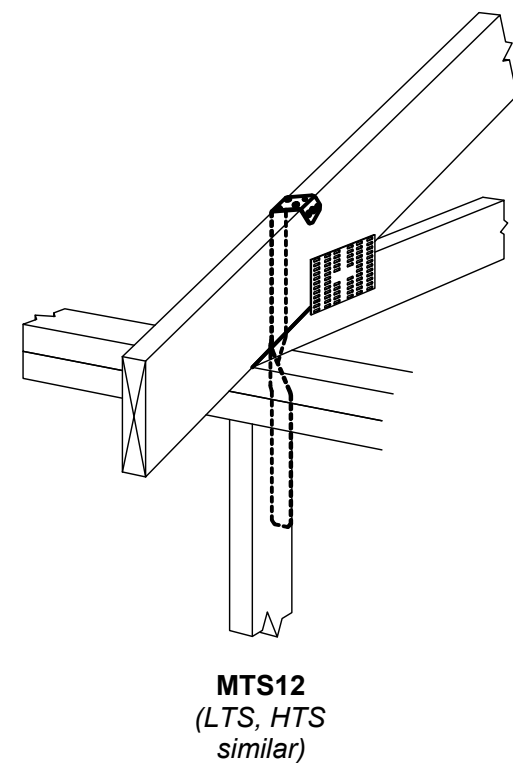
SCALE: 1/2"=1'-0"



INTERIOR SECTION

SCALE: 1/2"=1'-0"

FULL HEIGHT STUD REQUIREMENT FOR HEADERS OR WINDOW SILL PLATES IN EXTERIOR WALLS	
HEADER SPAN (FT.)	# OF FULL HEIGHT STUDS REIURED AT EACH END OF THE HEADER BASED ON 16" O.C. STUD SPACING
2	1
4	2
6	3
8	3
10	4
12	5
14	6
16	6
18	7
20	8

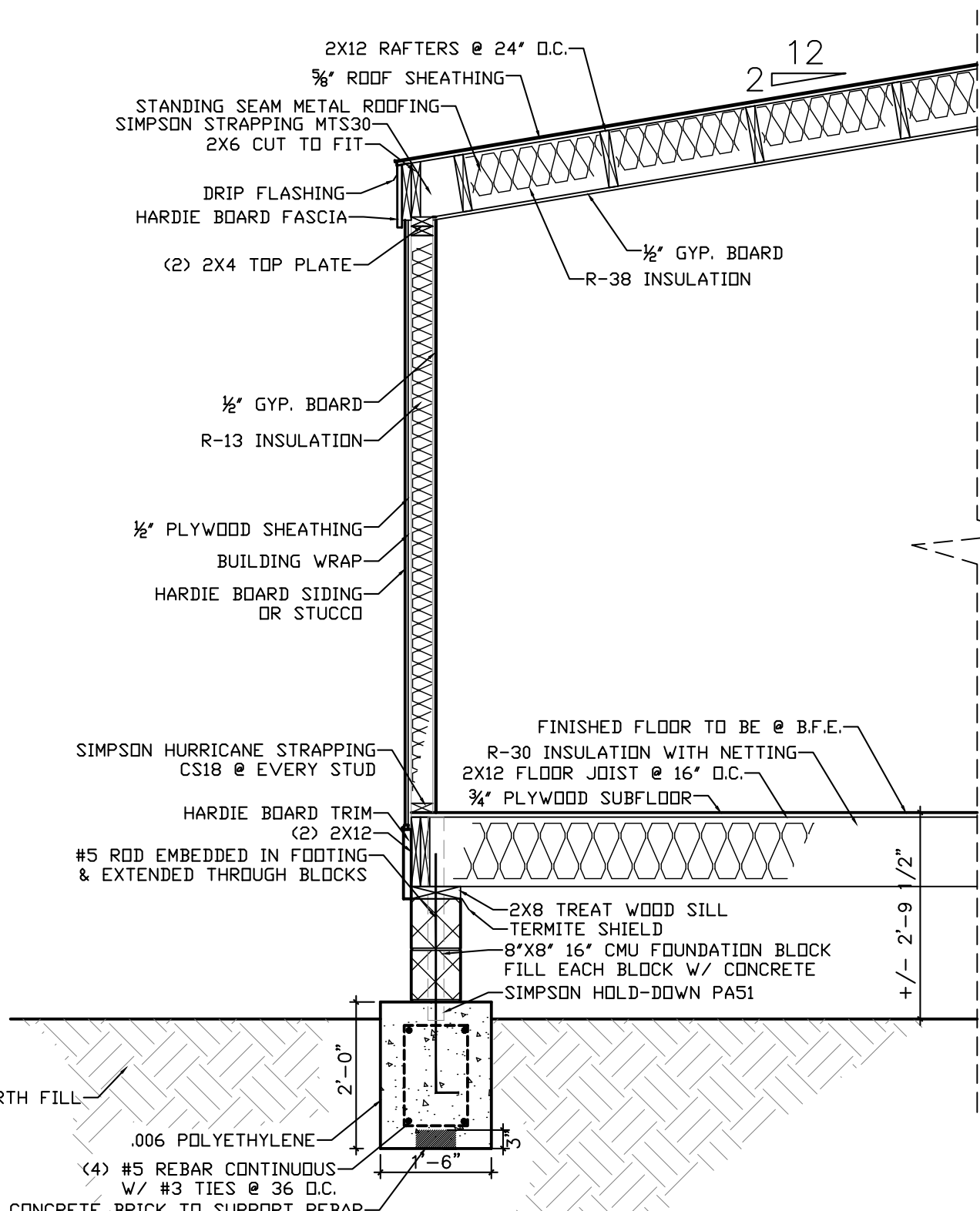


SIMPSON TIE CONNECTION @ COLUMN CAP

SCALE: N.T.S

SIMPSON TIE CONNECTION @ TOP PLATE TO RAFTER

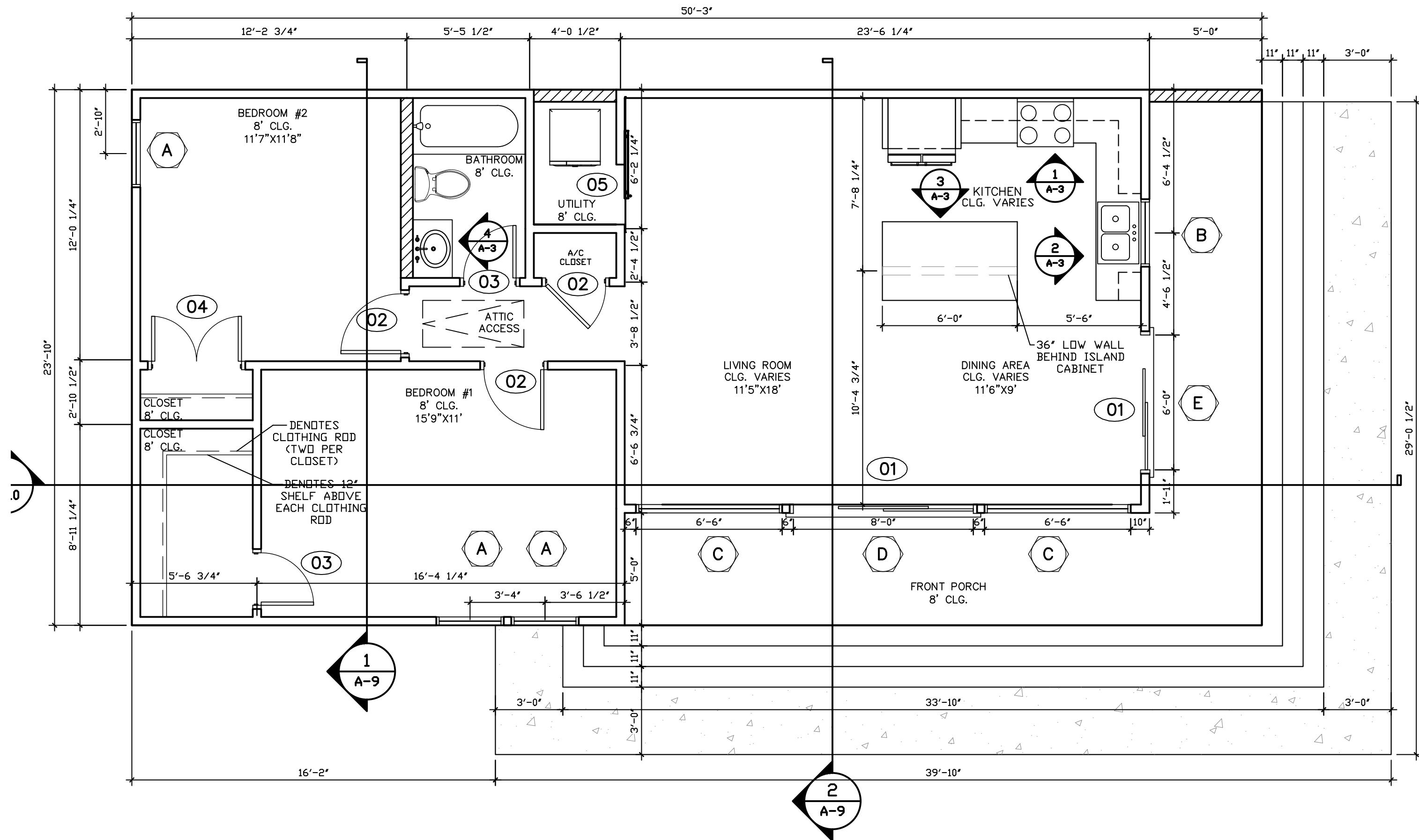
SCALE: N.T.S



WALL SECTION @ LIVING ROOM

SCALE: 1/2"=1'-0"





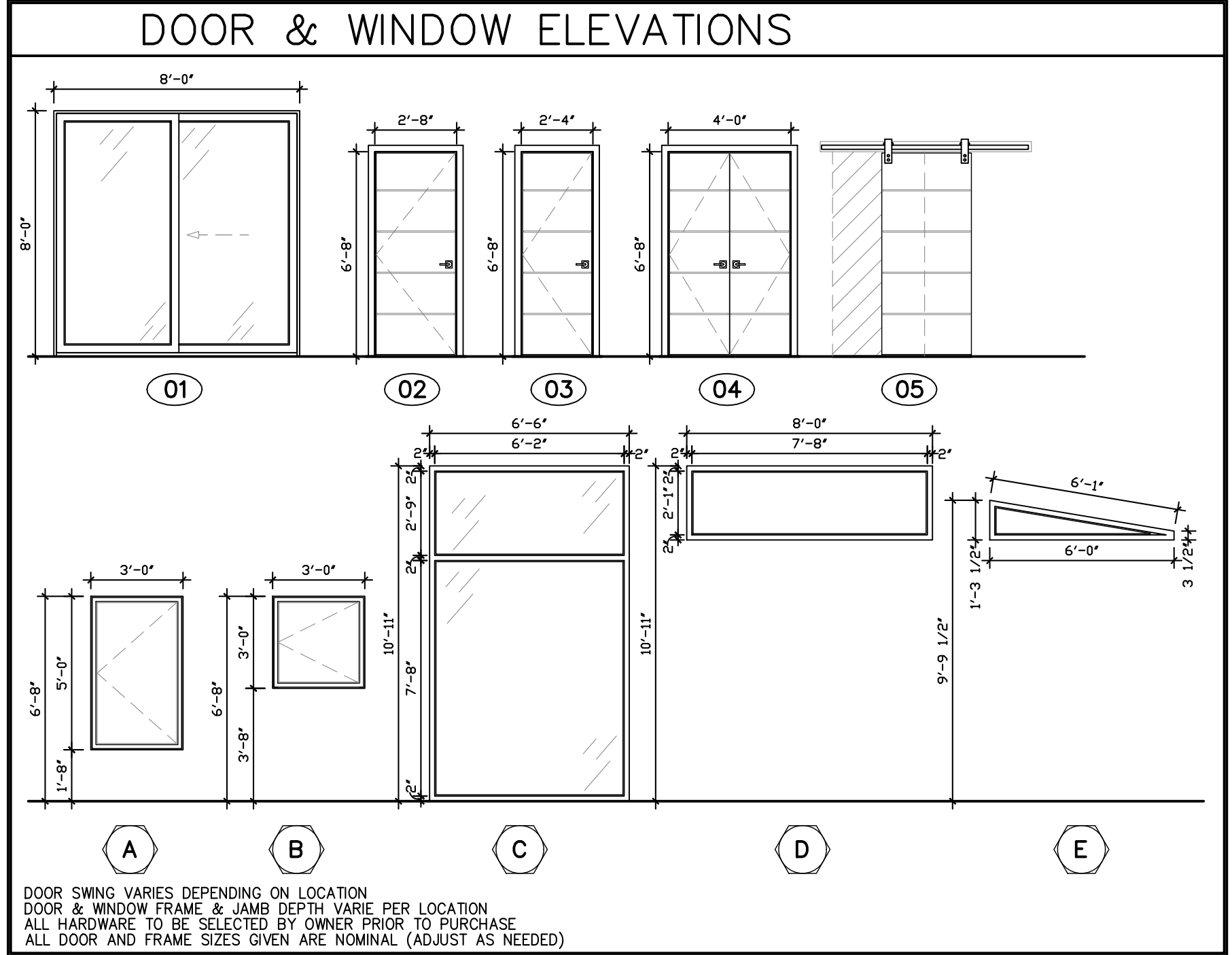
**DIMENSIONED FLOOR PLAN**  
SCALE: 1/4"=1'-0"

DOOR SCHEDULE									9
#	WIDTH	HEIGHT	THICK	MATERIAL	STYLE	DESCRIPTION	EXT./INT.	LOCATION	QTY
01	8'-0"	8'-0"	----	FIBERGLASS	FULL GLASS	SLIDIER (TEMPERED)	EXTERIOR	ENTRANCES	2
02	2'-8"	6'-8"	1-3/8"	SOLID WOOD	STAINED W/ METAL INLAY	PRE-HUNG SINGLE	INTERIOR	BEDROOMS	3
03	2'-4"	6'-8"	1-3/8"	SOLID WOOD	STAINED W/ METAL INLAY	PRE-HUNG SINGLE	INTERIOR	BATHS/CLOSET	2
04	4'-0"	6'-8"	1-3/8"	SOLID WOOD	STAINED W/ METAL INLAY	PRE-HUNG DOUBLE	INTERIOR	CLOSET	1
05	3'-0"	6'-8"	1-3/4"	SOLID WOOD	STAINED W/ METAL INLAY	BARN DOOR HARDWARE	INTERIOR	UTILITY	1
DOOR NOTES									
1. COORDINATE WITH HVAC CONTRACTOR FOR DOORS TO BE UNDERCUT FOR HVAC RETURN									
2. ALL LOCKS AND DEADBOLTS SHALL BE KEYPED ALIKE.									
3. OWNER TO SELECT ALL HARDWARE TYPE, FINISH AND STYLE									
4. PROVIDE DEADBOLTS @ ALL EXTERIOR DOORS									
5. COORDINATE WITH OWNER FOR WINDOWS AND DOORS TO RECEIVE STRUCTURAL TYPE GLAZING. IF STRUCTURAL TYPE GLAZING NOT SELECTED OWNER TO PROVIDE BUILDING INSPECTOR WITH SPECIFICATIONS FOR PROTECTION FOR WIND BORNE DEBRIS TO MEET THE CURRENT IRC CODE									
6. DOORS LEADING FROM GARAGE SHALL BE SELF LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AN AUTOMATIC CLOSING DEVICE PER (IRC 302.5.1)									
7. DESIGN LOAD PERFORMANCE (150 MPH V-ULT/120MPH V-ASD) REQUIREMENTS FOR WINDOWS AND/OR GARAGES SHALL BE INDICATED ON THE ASSEMBLY (IRC 609.3 AND 609.4). MINIMUM REQUIRED DESIGN PRESSURES FOR GARAGE DOORS (IF APPLICABLE) SHALL BE 20.6/-25.0 (IRC 1301.2(2) DESIGN LOAD PERFORMANCE FOR ROLL-UP DOORS SHALL BE PERMANENTLY LABELED ON THE ASSEMBLY (IRC 609.4)									

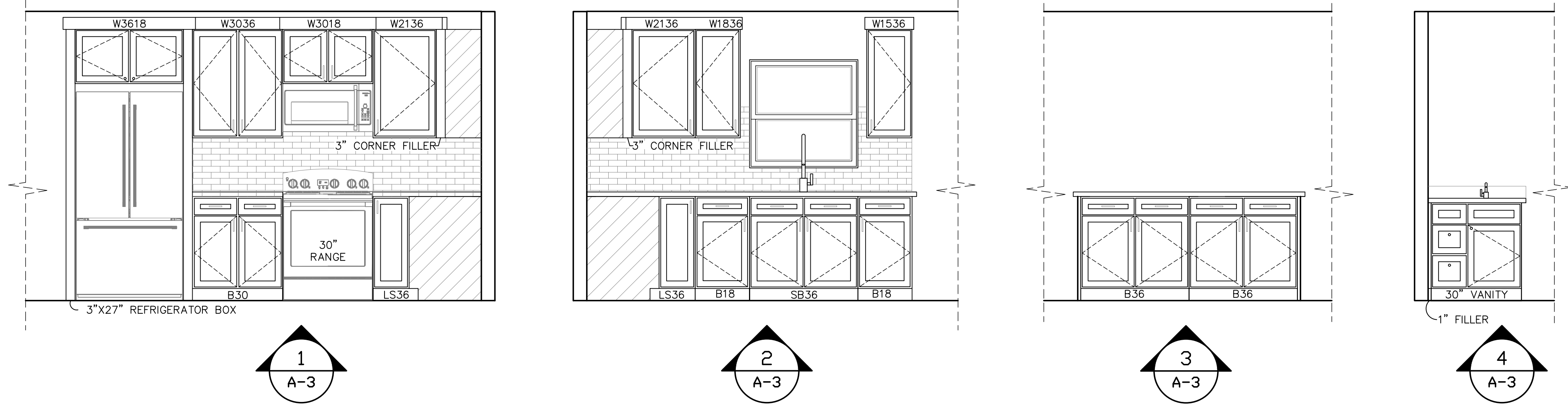
**GAS & HOSE  
BIB LEGEND**

⊕ GAS BIB (NOT USED)  
⊕ HOSE BIB

WALL LEGEND	
	2X4 WALL
	2X6 WALL

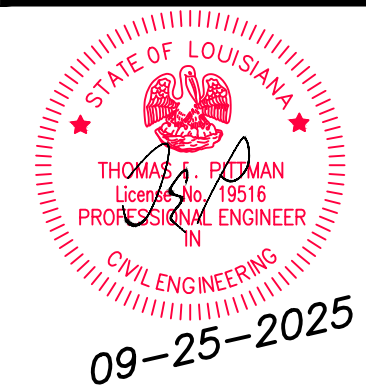


WINDOW SCHEDULE			
○	DIMENSIONS	QUANTITY	DESCRIPTION
A	3'-0" X 5'-0"	3	(1 LITE) CASEMENT W/ EMERGENCY RELEASE
B	3'-0" X 3'-0"		(1/1 LITE) SINGLE HUNG
C	6'-6" X 10'-11"	2	ALUMINUM STORE FRONT (TEMPERED)
D	8'-0" X 2'-5"	1	ALUMINUM STORE FRONT (TEMPERED)
E	6'-0" X 1'-3.5"	1	(IRREGULAR) ALUMINUM STORE FRONT (TEMPERED)
WINDOW NOTES			
1. WINDOWS NOTED SHALL BE VINYL CLAD INSULATED WINDOWS (PRE-FINISHED COLOR SELECTED BY OWNER) WITH SELECTED DIVIDERS.			
2. ALL OPERABLE WINDOWS SHALL HAVE INSECT SCREENS.			
3. SIZES AND SPECS. BASED ON STANDARD VINYL CLAD WINDOWS. NON STANDARD SIZE WINDOWS MUST BE CUSTOM ORDERED.			
4. WINDOW DIMENSIONS ABOVE ARE NOMINAL SIZE.			
5. ALL BEDROOM WINDOWS SHALL HAVE A NET CLEAR OPENING OF 5.7 SQ.FT., 22" MIN. CLEAR HGT., 20 MIN. WIDTH, 44" MAX SILL HGT.			
6. SAFETY GLAZING SHALL BE PROVIDED AT "HAZARDOUS LOCATIONS" PER IRC 308.4 AS FOLLOWS: GLAZING IN SWINGING,SLIDING AND/OR STORM DOORS, GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, SAUNAS, BATHTUBS, SHOWERS ETC. INDIVIDUAL FIXED OR OPERABLE WINDOWS WITHIN 24" OF A DOOR, IN THE PLANE OF THE DOOR, AND WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES (3.14 RAD) FROM THE PLANE OF THE DOOR IN A CLOSED POSITION WITHIN 24" OF THE HINGE SIDE OF AN IN-SWINGING DOOR WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE FLOOR.			
7. THIS PROJECT IS LOCATED IN A REGION DEFINED PER IRC AS WIND BORNE DEBRIS REGION (140 MPH V-ULT OR GREATER), THEREFORE ALL EXTERIOR GLAZED OPENINGS SHALL BE LARGE MISSILE IMPACT RATED OR PROTECTED WITH AN IMPACT-RESISTANT COVERING MEETING THE REQUIREMENTS OF ASTM E 1996 AND ASTM E 1886 (IRC 301.2.1.2). LARGE MISSILE IMPACT RATING CAN BE SUBSTITUTED WITH 1/2" WOOD STRUCTURAL PANEL WITH A MAXIMUM SPAN OF 8'. PANEL SHALL BE PRE-CUT TO MATCH THE FRAMING SURROUNDING THE OPENING CONTAINING THE PRODUCT WITH THE GLAZED OPENING. PANELS SHALL BE PREDRILLED AS REQUIRED FOR THE ANCHORAGE METHOD AND SHALL BE PROVIDED WITH THE ATTACHMENT HARDWARE PER IRC TABLE R301.2(2) OR ASCE 7 (IRC 301.2.1.2) NOTE: 1/2" WOOD STRUCTURAL PANEL CANNOT SUBSTITUTE THE REQUIRED DESIGN LOAD PERFORMANCE REQUIREMENTS (DP/HR RATING).			
8. WINDOWS SHALL MEET THE REQUIREMENTS OF CLIMATE ZONE 2 (IRC TABLE M1102.1.3: U-FACTOR 0.40 OR LESS / SHGC OF 0.25 OR LESS).			

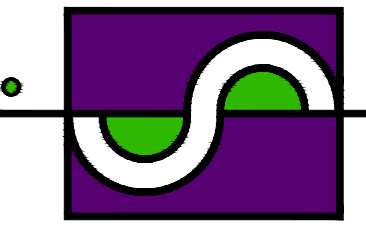


CABINET LAYOUT IS ONLY FOR EXAMPLE, FINAL TO BE DESIGNED BY OTHERS

LABOUF RESIDENCE  
REAR BUILDING (NEW CONSTRUCTION)  
3316 MONROE STREET  
MANDEVILLE, LA 70448  
ST. TAMMANY PARISH



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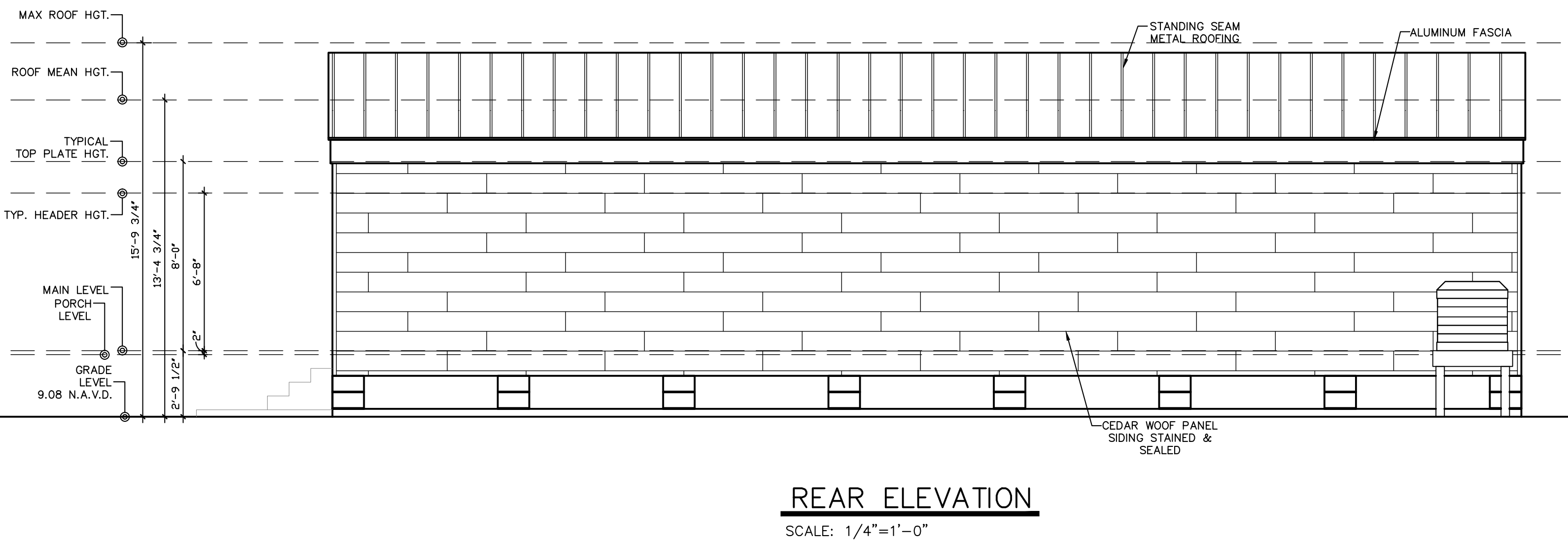
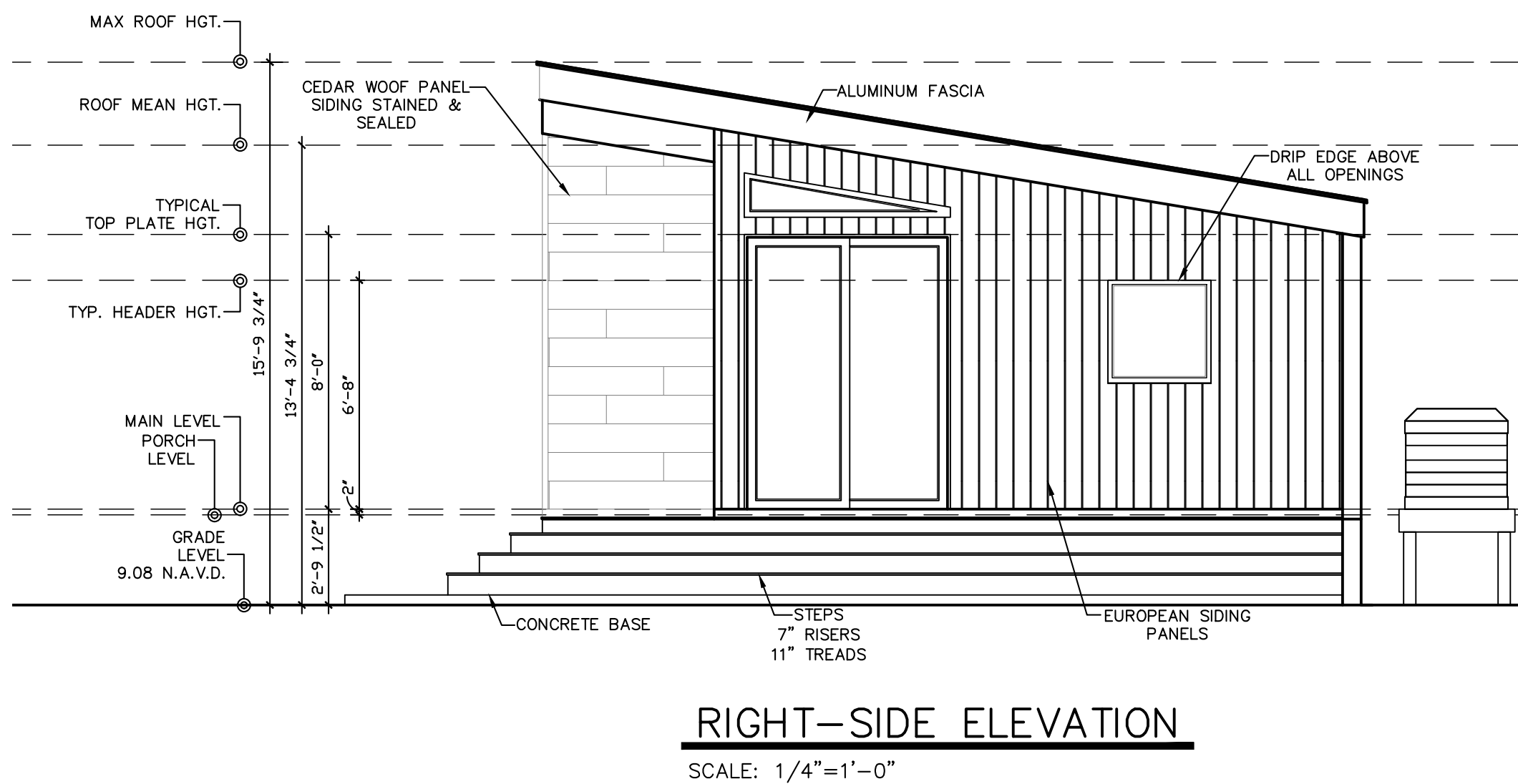
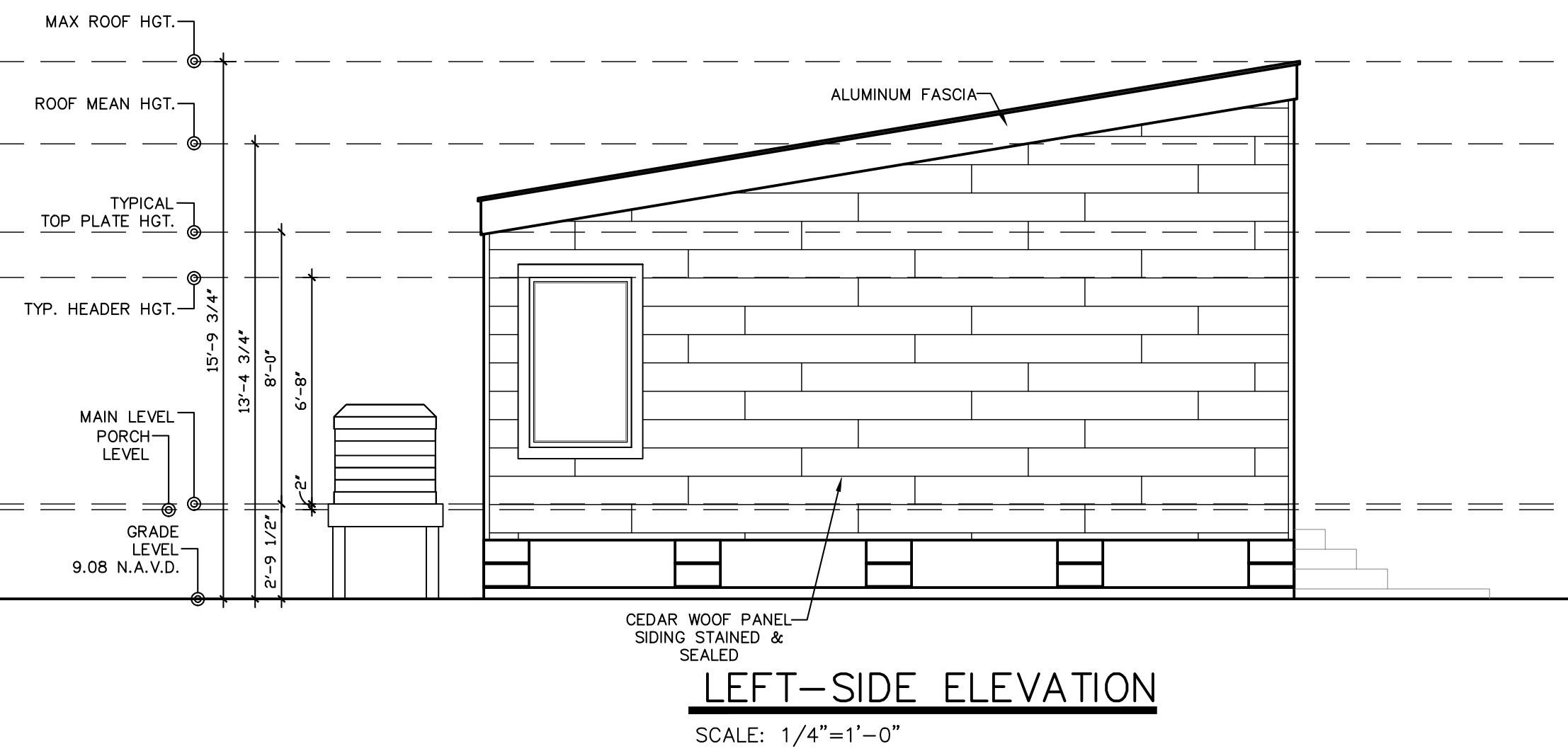
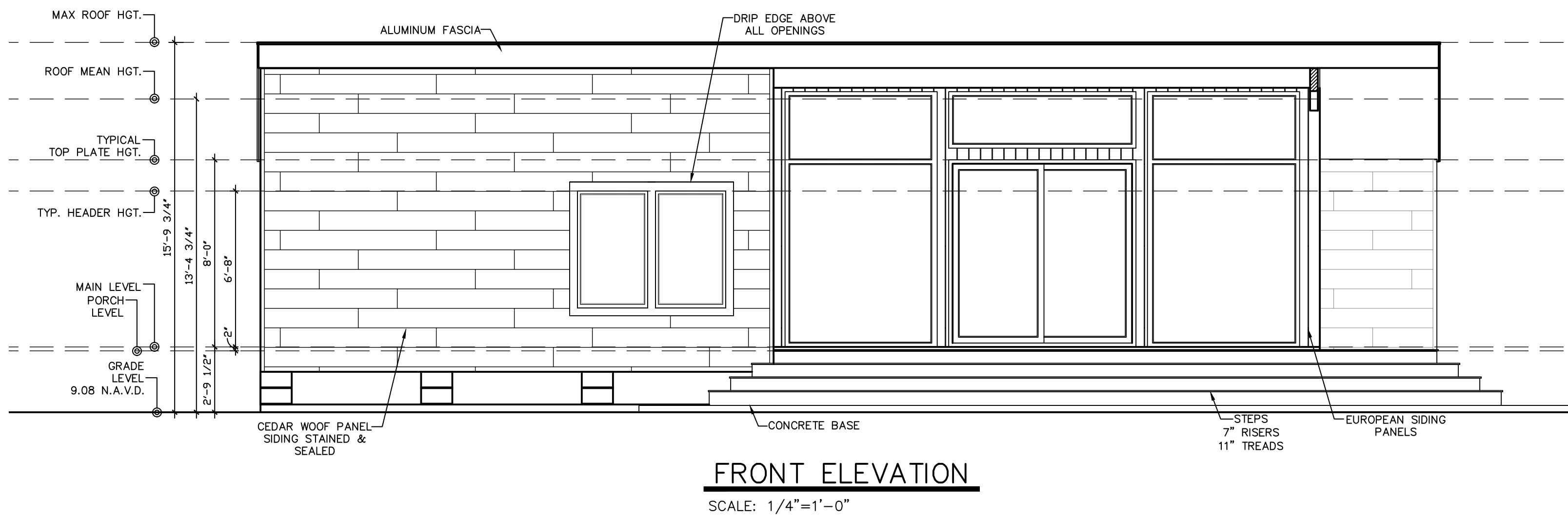
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Sheet Title:  
**DIMENSIONED  
FLOORPLAN  
& NOTES**

Drawing No.

A-3

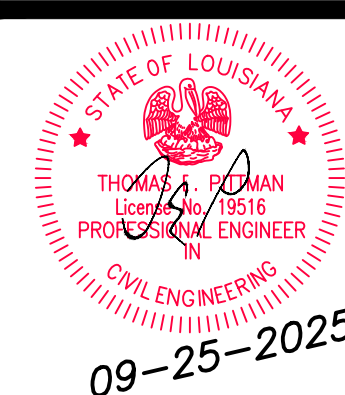




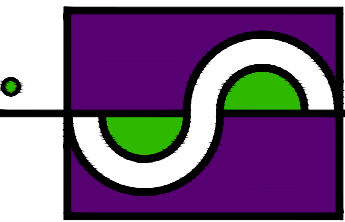
## GENERAL ELEVATION NOTES

- HARDIE PLANK LAP SIDING CAN BE INSTALLED OVER BRACED WOOD OR STEEL STUDS SPACED A MAXIMUM OF 24" O.C. OR DIRECTLY TO MINIMUM  $\frac{7}{16}$ " THICK OSB SHEATHING.
- A WATER RESISTIVE BARRIER IS REQUIRED IN ACCORDANCE WITH LOCAL BUILDING CODE REQUIREMENTS.
- DO NOT USE HARDIE PLANK IN TRIP APPLICATIONS.
- SIDING IS CAN NOT BE USED IN PLACING OF ROOFING MATERIAL, APPLICATION MUST ONLY BE INSTALLED ON FLAT VERTICAL WALLS.
- HARDIE PLANK SIDING CAN NOT BE STAINED ONLY PAINTED.
- FOR RAISED STRUCTURES RAILINGS SHALL NOT BE LESS THAN 36" HIGH, AND ALL BALUSTERS NO MORE THAN 4" O.C. SPACING.
- BALCONY RAILINGS SHALL BE PROVIDED AT PORCHES WHEN THE FLOOR FINISH EXCEEDS 30" IN HEIGHT ABOVE GRADE.
- PER IRC PROVIDE VENTILATION OPENINGS BETWEEN THE BOTTOM OF FLOOR JOISTS AND THE EARTH UNDER THE BUILDING WITH A NET AREA OF VENTILATION NOT LESS THAN 1 SQ.FT. FOR EACH 150 SQ.FT. OF UNDER-FLOOR SPACE AREA AND VENTS SHALL BE WITHIN 3 FEET OF EACH CORNER OF BUILDING.
- FOR RAISED STRUCTURES A ACCESS OPENING MUST BE PROVIDED NO LESS THAN 16"x24"
- GUTTERS MUST INSTALLED EVEN IF NOT SHOWN ON ELEVATIONS, OWNER TO SELECT STYLE AND PLACEMENT OF DOWNSPOUTS TO BE DESIGNED BY OTHERS.
- BOTTOM OF STRUCTURAL FLOOR JOIST SHALL BE LOCATED ABOVE THE REQUIRED MINIMUM FLOOD ELEVATION. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE SURVEYOR TO ENSURE TO ENSURE OWNER RECEIVES FULL AWARENESS OF INSURANCE POLICY IMPACTS FOR FINISH FLOOR ELEVATION.
- (WHEN APPLICABLE) INSULATED VINYL SIDING AND POLYPROPYLENE SIDING MUST BE CERTIFIED AND LABELED AND CONFORMING WITH ASTM D7793 BY APPROVED QUALITY CONTROL AGENCY. INSULATED VINYL SIDING OR POLYPROPYLENE SIDING SHALL NOT BE INSTALLED ON WALLS WITH A FIRE SEPARATION DISTANCE OF LESS THAN 5FT. TO PROPERTY LINES OR 10FT. TO OTHER BUILDINGS ON THE SAME LOT. (IRC 703.13 AND 703.14)

LABOUF RESIDENCE  
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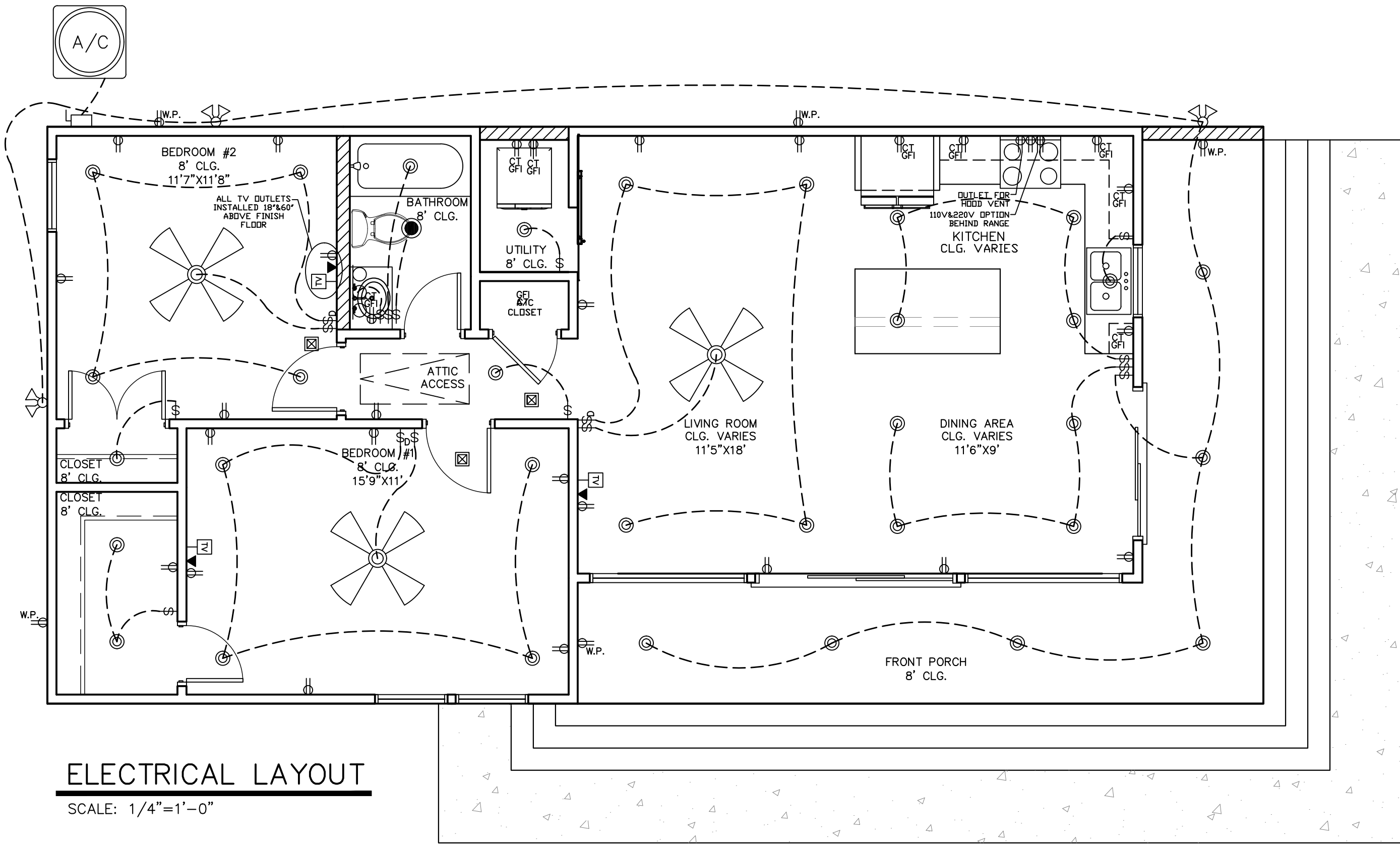
Date: 09-25-2025  
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Sheet Title:  
ELEVATIONS

Drawing No.

A-4





### ELECTRICAL LAYOUT

SCALE: 1/4"=1'-0"

### GENERAL ELECTRICAL NOTES:

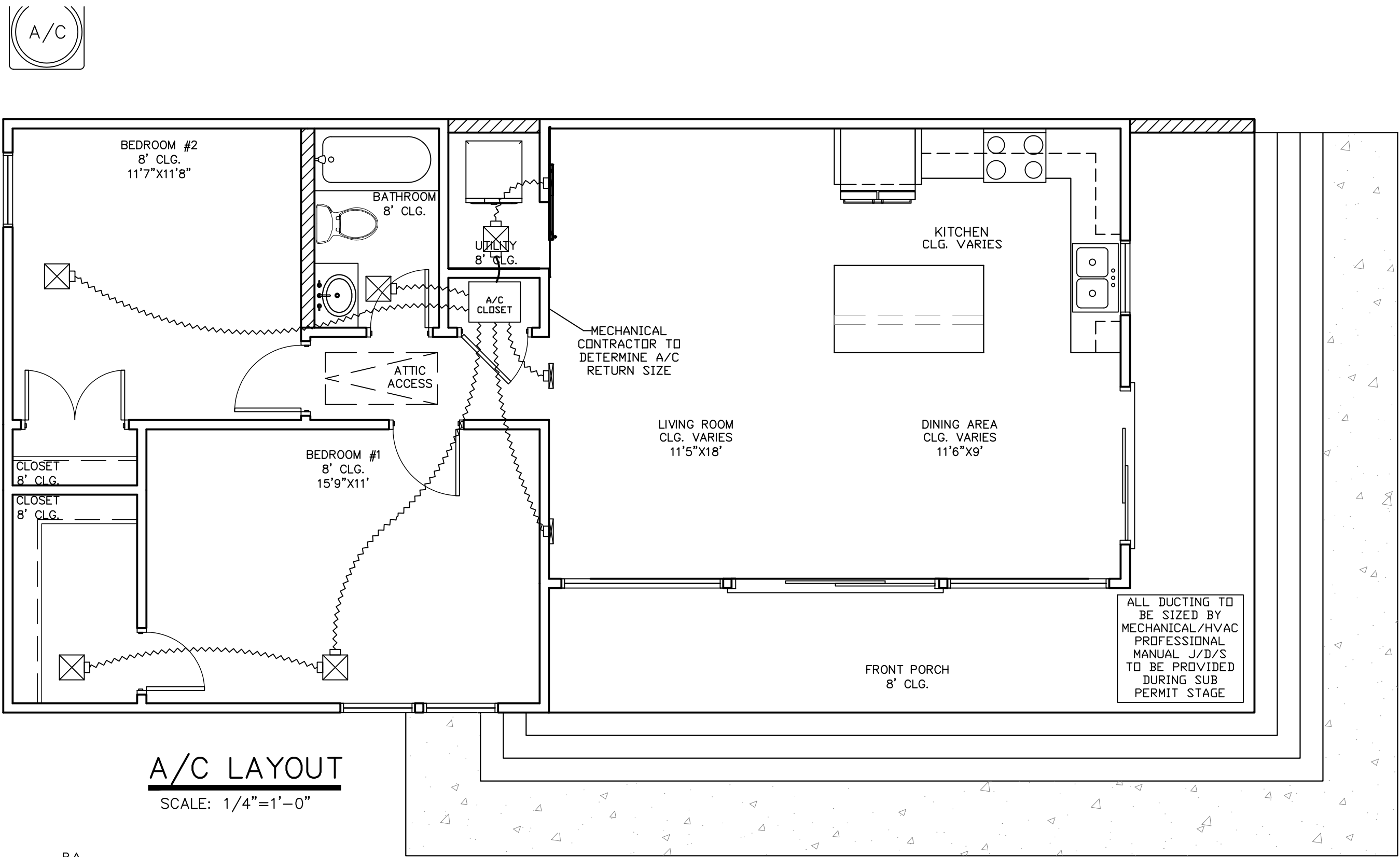
- ELECTRICAL CONTRACTOR TO COORDINATE ALL LOCATIONS AND MOUNTING HEIGHTS OF RECEPTACLES, LIGHT FIXTURES, DOOR BELLS, TELEPHONE, CABLE AND LIGHT SWITCHES.
- EXHAUST FANS SHALL BE INSTALLED IN EACH BATHROOM, FIXTURES TO BE CHOSEN BY OWNERS OR CONTRACTOR
- SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING (R314.3)
- WHEN ONE OR MORE SMOKE ALARMS IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED (R315.5)
- LOCATE OUTLETS AT 6" ABOVE COUNTERS AND GFI OUTLETS WHERE REQUIRED BY CODE
- MINIMUM OF 2 ATTIC VENTILATORS. CONTRACTOR TO COORDINATE STYLE AND TYPE WITH OWNER PRIOR TO CONSTRUCTION
- ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #12 AWG. EXCEPT THOSE USED FOR FIXTURE DROPS AND CONTROL WIRING OF EQUIPMENT. CONDUCTORS #8 AWG. AND LARGER SHALL BE STRANDED. NEC COLOR CODE SHALL BE FOLLOWED THROUGHOUT.
- INDOOR CONDUIT ABOVE GROUND SHALL BE EMT; AND HEAVY-WALL RIGID CONDUIT BELOW GROUND.
- OUTDOOR CONDUIT SHALL BE SCHEDULE 40 PVC. ENCASE IN CONCRETE WHERE REQUIRED BY CODE.
- PROVIDE EMPTY CONDUIT AS REQUIRED FOR TELEPHONE.
- WIRING DEVICES SHALL BE SPECIFICATION GRADE AS MANUFACTURED BY LEVITON, G.E., SIERRA OR EQUAL.
- HVAC AIR HANDLER & WATER HEATER TO BE LOCATED IN ATTIC SPACE UNLESS OTHERWISE SHOWN ON FLOOR PLAN
- GFI STANDS FOR GROUND FAULT INTERRUPT CIRCUIT
- CT STANDS FOR COUNTERTOP HEIGHT PLACEMENT
- PER R315.2.1 CARBON MONOXIDE ALARMS ARE REQUIRED WHEN A STANDBY GENERATOR IS INSTALLED OR GAS EQUIPMENT SERVICED OR INSTALLED
- ALL DETECTORS SHALL RECEIVE PRIMARY POWER FROM BUILDING WIRING, AND HAVE A FACE SAFE DUE TO POWER OUTAGES, WHERE POWER IS INTERRUPTED, THE DETECTOR SHALL HAVE A BATTERY BACK-UP (R315.6)
- ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC)
- E3601.8 EMERGENCY SERVICE DISCONNECTS FOR ONE & TWO FAMILY DWELLING UNITS ALL SERVICE CONDUCTORS SHALL TERMINATE IN A DISCONNECTING MEANS HAVING A SHORT-CIRCUIT CURRENT RATING EQUAL TO OR GREATER THAN THE AVAILABLE FAULT CURRENT, INSTALLED IN A READILY ACCESSIBLE OUTDOOR LOCATION.
- SERVICE DISCONNECT MUST BE NOTED AS EMERGENCY DISCONNECT
- E3606.5 ALL SERVICES SUPPLYING ONE & TWO FAMILY DWELLING UNITS SHALL PROVIDE A SURGE PROTECTIVE DEVICE (SPD) INSTALLED IN ACCORDANCE WITH SECTIONS E3606.5.1 THE SPD SHALL BE AN

INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO.

- THE SPD SHALL BE EITHER TYPE-1 OR TYPE-2
- RECEPTACLES SHALL NOT BE INSTALLED WITHIN A 3FT. HORIZONTALLY AND 8FT. VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER THRESHOLD.
- BATHROOM RECEPTACLE OUTLETS OR THOSE SERVICING A COUNTERTOP NEED TO BE ON THE DEDICATED BATHROOM CIRCUIT.
- ANY WALL GREATER THAN 2' MUST CONTAIN AT LEAST (1) GENERAL PURPOSE RECEPTACLE
- FOR SURFACE MOUNTED INCANDESCENT OR LED LIGHT FIXTURES A MINIMUM DISTANCE OF 12" BETWEEN THE FIXTURE AND THE SHELVES IS REQUIRED NEC 410.2
- FOR RECESSED INCANDESCENT OR LED LIGHT FIXTURES, AS WELL AS FLUORESCENT LIGHT FIXTURES, A MINIMUM DISTANCE OF 6" IS REQUIRED NEC 410.2
- AL DWELLING UNITS SHALL HAVE A SERVICE DISCONNECT LOCATED IN A READILY ACCESSIBLE OUTDOOR LOCATION NEC 230.85
- ALL SERVICES SUPPLYING WITH EITHER A TYPE 1 OR TYPE 2 SURGE PROTECTION DEVICE NEC 230.67
- RECESSED LIGHTING- ALL RECESSED LIGHTING FIXTURES SHALL BE IC RATED AND LABELED (IRC N1102.4.5)

### ELECTRICAL LEGEND

	DISCONNECT SWITCH		CEILING MOUNTED FIXTURE
	110 VOLT RECEPTACLE		HANGING LIGHT
	110 VOLT W/ GROUND FAULT INTERRUPTOR		RECESSED CAN
	110 VOLT WATERPROOF G.F.I.		WATERPROOF RECESSED CAN
	220 VOLT RECEPTACLE		W.P.
	CABLE TV RECEPTACLE		WALL MOUNTED FIXTURE
	TELEPHONE OUTLET		ABOVE MIRROR LIGHTING
	SINGLE POLE SWITCH		COMBO FAN / HEAT / LIGHT
	THREE WAY SWITCH		FLOOD LIGHTS
	DIMMER SWITCH		CEILING FAN w/ LIGHT
	SMOKE/CARBON DETECTOR w/ BATTERY BACKUP		ELECTRICAL PANEL
	DOOR BELL		ELECTRICAL METER
	DOOR BELL CHIMES		

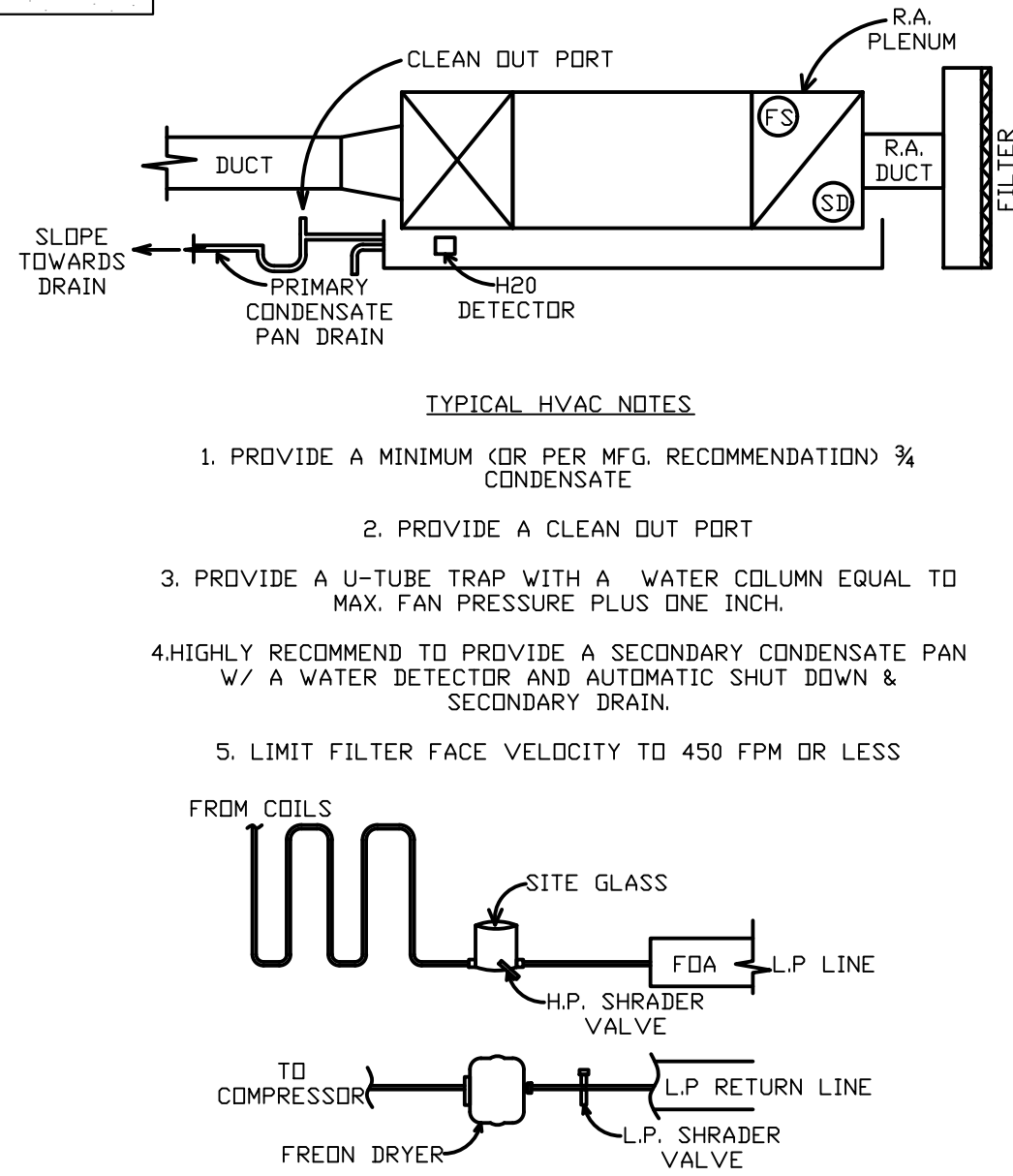


### A/C LAYOUT

SCALE: 1/4"=1'-0"

### GENERAL MECHANICAL NOTES:

- HVAC SYSTEM TO BE CONSTRUCTED IN ACCORDANCE WITH 101:9.2
- ALL R/A DUCTS TO BE SIZED TO PREVENT AIR NOISE.
- ALL SUPPLY DUCTS SHALL HAVE AN ADJUSTABLE DAMPER WHERE THEY LEAVE THE MAIN TRUNK LINE.
- A/C CONTRACTOR TO DETERMINE UNIT SIZE AND MOST EFFICIENT DUCT LAYOUT. DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR INSUFFICIENT TONNAGE OF HVAC OR DUCT WORK.
- ALL THERMOSTATS SHALL BE TAMPER PROOF.
- ALL SQUARE DUCT SHALL BE INSULATED ON THE INTERIOR. FLEX DUCT MAY BE RUN FROM SQUARE DUCT TO GRILLS
- INSTALL .75" P-TRAPS AND DRAIN LINE AND TRAP CLEAN OUTS FROM ALL A/H TO PLUMBING VENT STACK FOR EACH A/H UNIT INSULATE W/ 1/2" ARMFLEX. INSTALL SECONDARY DRAIN PAN AT SECOND STORY A/H UNIT. TUBE HEIGHT MUST EXCEED TOTAL STATIC WATER PRESSURE
- PROVIDE 125 DEG. FIRESTAT IN R/A CHAMBER AT EACH R/A PLENUM. PROVIDE A SMOKE DETECTOR IN EACH RETURN AIR PLENUM
- ALL RETURN AIR GRILLS TO BE FILTER BACK LAY-IN TYPE.
- INSTALL SMOKE DETECTORS TO AUTOMATICALLY STOP THE FAN IN HVAC DUCT SYSTEMS 2,000 CFM AND GREATER IN R/A DUCT IN ACCORDANCE WITH NFPA 90A.6.4.2(1). 101:9.2.1
- RUN BATHROOM PIPE VENT UP THROUGH ROOF TO VENT.
- VENTILATION SHALL COMPLY WITH ASNI/ASHRAE 62-1998
- PROTECT VERTICAL OPENINGS AT PLUMBING CHASES, AND KITCHEN, BATHROOM, DRYER, ETC. EXHAUST VENTS IN ACCORDANCE W/ 101:8.6.
- ALL RULES OF LATEST ADDITION OF NFPA 90A, LOCAL MECHANICAL CODE, LOCAL PLUMBING CODE AND NEC SUPPLY AS MINIMUM FOR THIS PROJECT AND SHALL APPLY.
- INSTALL 1 POINT DISCONNECTS AT ALL AIR HANDLER LOCATIONS.
- MAIN TRUNK DUCTWORK T BE SHEET METAL TYPE W/ INSULATION R VALUE TO BE R-7 MINIMUM. CONNECTIONS @ DUCT SECTIONS TO BE SEALED AIRTIGHT WITH DUCT COUPLINGS AND SECURELY STRAPPED AND TAPED.
- MAIN TRUNK DUCTS ARE TO BE SUPPORTED WITH GALVANIZED STRAPS SUSPENDED ON 8'-0" CENTERS MAXIMUM.
- RETURN AIR AND PLENUM DUCT TO BE INTERNALLY LINED WITH 1" HIGH DENSITY FIBERGLASS.
- A/C REGISTERS TO BE WHITE ENAMEL PAINTED METAL, CEILING MOUNTED OR AS INDICATED ON PLAN.
- WHERE PRACTICAL, PLUMB HOSE BIBS AND MAJOR WATER SERVICES PARALLEL.
- DO NOT PLACE ANY VENTS, STACKS, ETC. ON FRONT ELEVATION.
- PLUMBER & CONTRACTOR SHALL SUPPLY SEWER CONNECTION AS PER COUNTY/PARISH CODE.
- DUCTS ARE SHOWN DIAGRAMATICALLY. CONTRACTOR SHALL VERIFY SIZES AND ACTUAL ROUTING SHALL BE VERIFIED IN FIELD.
- CONTRACTOR SHALL PROVIDE 2" FIBERGLASS FOIL BACK INSULATION ON ALL MAIN SUPPLY DUCTWORK.
- FLEX DUCT WORK SIZE TO BE SAME AS DIFFUSER GRILL SIZE AS SHOWN IN CEILING DIFFUSER SCHEDULE.
- UNITS SHALL BE INTERNALLY WIRED AND FUSED TO ACCEPT ELECTRICAL FROM ONLY ONE DISCONNECTING MEANS.
- CAPACITY OF UNITS SHALL BE BASED ON 105 DEGREES FAHRENHEIT OUTDOOR TEMPERATURE FOR COOLING TO MAINTAIN 70 DEGREES FAHRENHEIT INDOOR TEMPERATURE.
- ALL UNITS SHALL PRODUCE MINIMUM ACCEPTABLE SCHEDULED CAPACITIES AT SCHEDULED CONDITIONS.
- WHEN APPLICABLE ALL ROOFTOP A/C UNITS SHALL BE FURNISHED WITH MANUAL OUTSIDE AIR DAMPERS AND RETURN SMOKE DETECTORS.
- FURNISH AND INSTALL PRE-FILTERS AT EACH UNIT ON GRADE (2" STANDARD)
- INSULATE THE TOP OF ALL ROUND NECK DIFFUSERS WITH 1" ARMFLEX.
- FURNISH RETURN AIR GRILLES W/ SIZE AND LOCATION AS SHOWN.
- INSULATED PLENUM SHALL BE PROVIDED WITH PROPER SIZE ROUND DUCT
- LOCATE WALL THERMOSTAT IN APPROXIMATE AREA SHOWN ABOUT 48 INCHES ABOVE FLOOR.
- IF INSUFFICIENT SPACE IS PROVIDED IN THE DESIGN OF THE STRUCTURE, THE CONTRACTOR SHALL NOTIFY THE THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION
- HIGH EFFICIENCY DX UNIT, CARRIER (SEER 18-MIN. REQUIRED BY CODE) OR SIMILAR UNITS - ALUMINUM GRILLS
- INSTALL THE HEATING AND AIR CONDITIONING UNIT IN THE ATTIC, & PROVIDE 3/4" DRAIN CONNECTED TO THE SEWER LINE WITH A "P" TRAP.
- A/C COMPRESSOR TO BE LOCATED AS PER SITE PLAN.
- A/C DUCT LOCATIONS ARE ONLY SCHEMATIC, A/C CONTRACTOR SHALL DETERMINE SIZE OF DUCT & VENT FOR EACH ROOM PRIOR TO INSTALLATION
- IF GREATER NUMBER OF VENTS IS NEEDED PER ROOM, SCHEMATICS MUST BE ADDRESSED PER PLACEMENT PRIOR TO INSTALLATION.
- A/C VENTS ARE NOT TO BE PLACED IN ANY GARAGE AREA PER IRC 2015
- RELOCATION OF A/C VENTS MAY NEVER BE REDIRECTED TO DECORATIVE CEILINGS, SUCH AS TRAYS OR COFFERED CEILINGS.
- DRYER EXHAUST DUCT TERMINATION (OUTLET) SHALL BE UNDIMINISHED IN SIZE AND SHALL PROVIDE AN OPEN AREA OF NOT LESS THAN 12.5 SQUARE INCHES.
- MECHANICAL SYSTEM PIPING INSULATION - MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F. OR BELOW 55 DEGREES F. SHALL BE INSULATED TO A MINIMUM R-3 (IRC N1103.4)

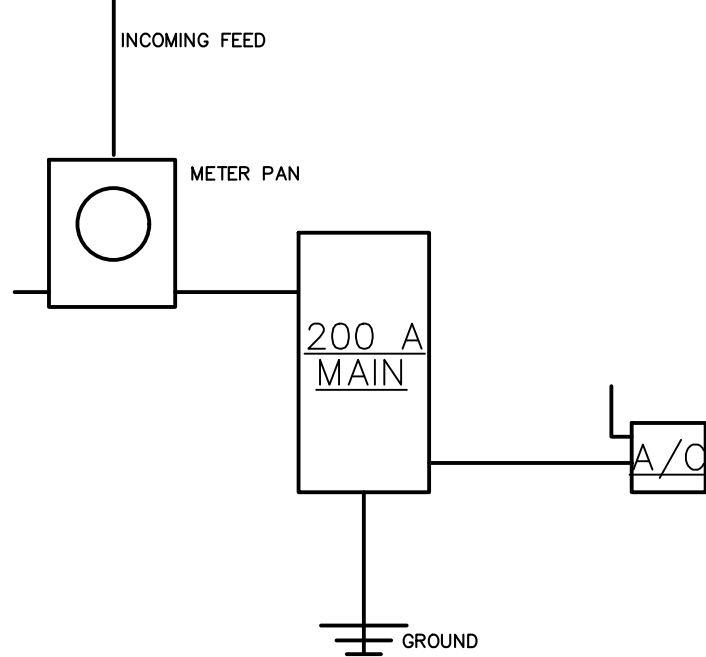


#### TYPICAL HVAC NOTES

- PROVIDE A MINIMUM (OR PER MFG. RECOMMENDATION) 3/4" CONDENSATE
- PROVIDE A CLEAN OUT PORT
- PROVIDE A U-TUBE TRAP WITH A WATER COLUMN EQUAL TO MAX. FAN PRESSURE PLUS ONE INCH.
- HIGHLY RECOMMEND TO PROVIDE A SECONDARY CONDENSATE PAN W/ A WATER DETECTOR AND AUTOMATIC SHUT DOWN & SECONDARY DRAIN.
- LIMIT FILTER FACE VELOCITY TO 450 FPM OR LESS

#### TYPICAL HVAC CONDENSER NOTES

- ARRANGE AC CONDENSER AUXILIARIES AS RECOMMENDED BY THE MANUFACTURER
- ASSURE SERVICE ACCESS TO BOTH SHRADER VALVES AND SIGHT GLASS
- LOCATE UNIT ON SERVICE PAD 6" ABOVE LOCAL TERRAIN OR ON A PLATFORM



### ELECTRICAL SERVICE

SCALE: N.T.S.

CONTRACTOR SHALL DIRECT ANY QUESTIONS PERTAINING TO THESE PLANS TO THE ENGINEER. ANY DEVIATIONS FROM THESE PLANS WITHOUT CONSULTING AND/OR WRITTEN CONSENT FROM THE ENGINEER SHALL NULL AND VOID ALL LIABILITIES

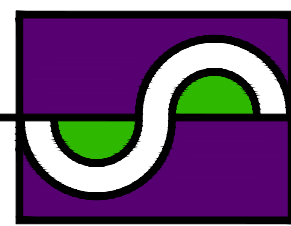
I HAVE RESEARCHED THIS CHAPTER AND THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.

THIS DRAWING IS NOT TO BE REPRODUCED OR USED TO CONTRACT ANY BUILDING WITHOUT THE WRITTEN AUTHORIZATION OF SPECTRUM DESIGNS LLC

LABOUF RESIDENCE  
REAR BUILDING (NEW CONSTRUCTION)  
3316 MONROE STREET  
MANDEVILLE, LA 70448  
ST. TAMMANY PARISH



SPECTRUM  
DESIGNS, LLC  
1929 JUTLAND DRIVE  
Suite A - HARVEY, LA 70058  
PHONE: (504) 366-0710  
E-Mail: ADMIN@SPECTRUMDESIGNSLLC.COM



Date: 09-25-2025  
Drawn: RHT  
Checked: TEP

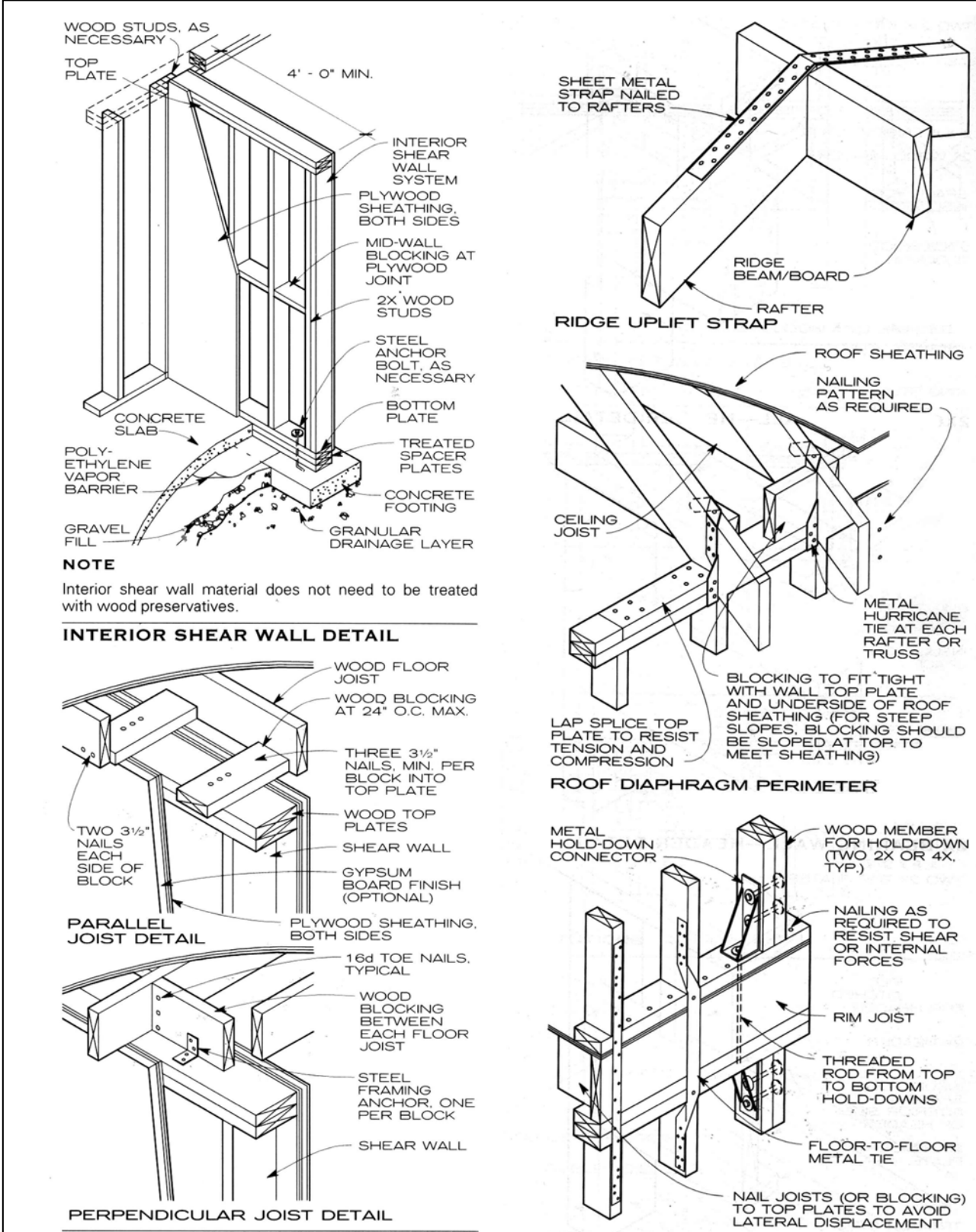
Sheet Title:

ELECTRICAL  
& A/C LAYOUT  
& NOTES

Drawing No.

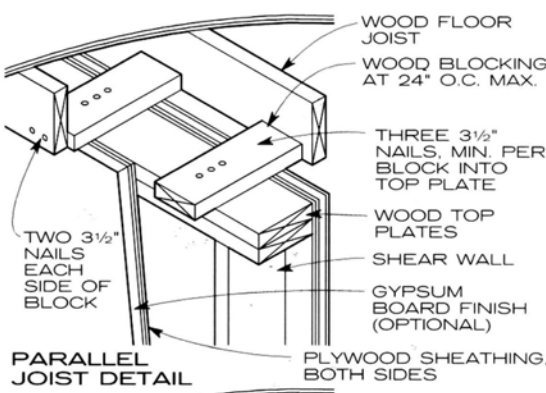
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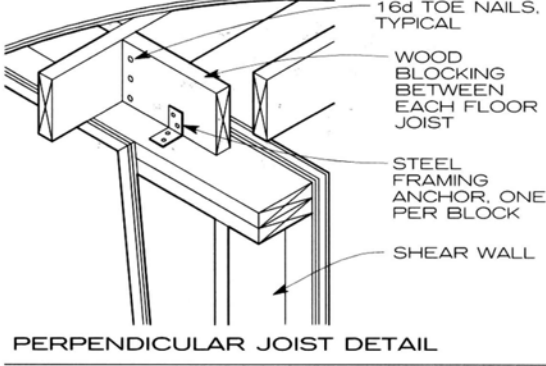


**NOTE**  
Interior shear wall material does not need to be treated with wood preservatives.

#### INTERIOR SHEAR WALL DETAIL



#### PARALLEL JOIST DETAIL



#### PERPENDICULAR JOIST DETAIL

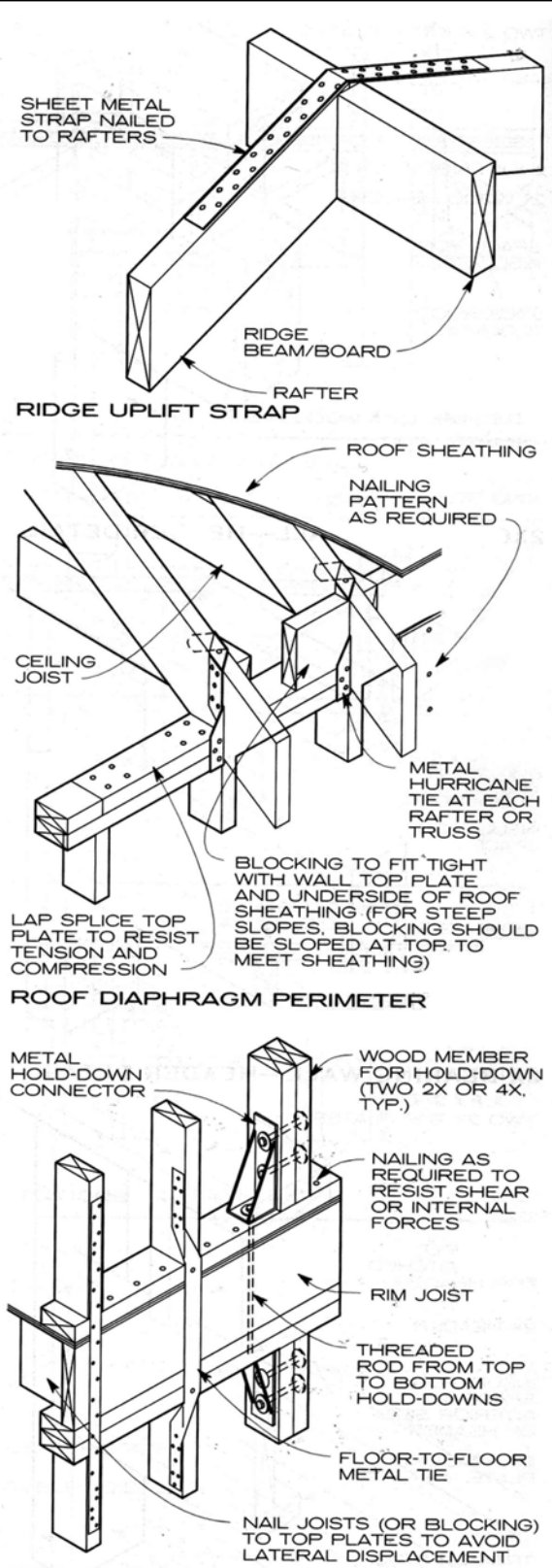
#### SHEAR WALL ANCHORAGE

#### SHEAR WALLS AS RACKING RESISTANCE

Foundation walls may be subject to racking loads, which occur parallel to a wall and can cause shearing forces along the plane of the wall. Racking loads are caused by soil pressure and other lateral forces such as earthquake and wind. Walls, connections, and fasteners must be designed to resist these forces. Generally, soil pressure comes into play for backfill greater than 24 in. in height; check anticipated wind and earthquake forces to determine how best to accommodate them.

Check long shear walls or those with a length-to-width ratio greater than 2:1 for diaphragm deflection, particularly if the structure is built on a slope. The unequal heights of the backfill on a slope apply unequal loads to the end walls or walls parallel to the floor joist system. These walls, having received these loads by the diaphragm action of the floor system, then act as shear walls. Interior shear walls, accommodated within interior partitions, also may be needed.

The strength of a diaphragm or shear wall depends on careful nailing of the plywood to the structural members. Plywood joints should be staggered to increase stiffness.

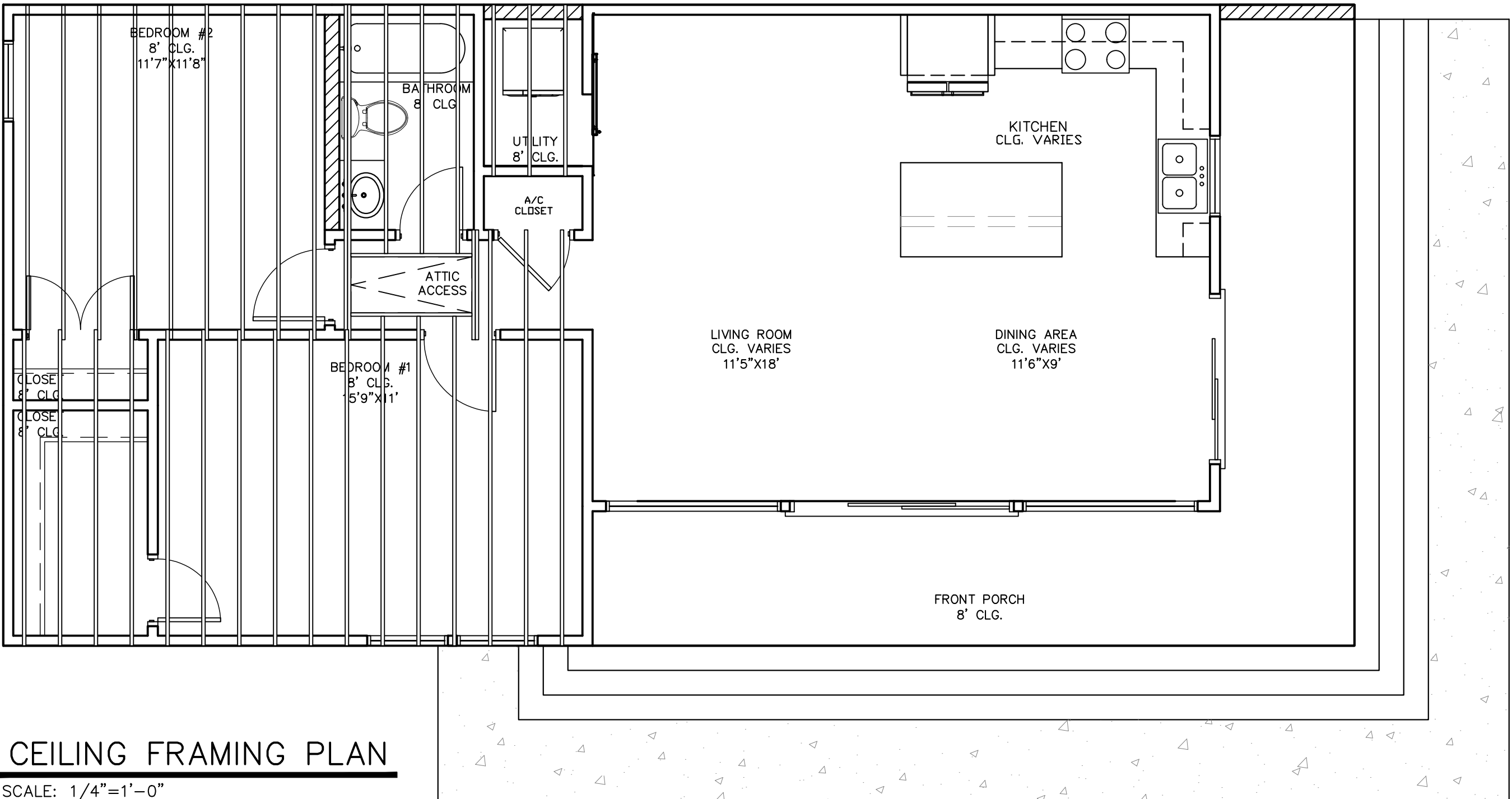


#### NOTE

It is essential to provide a continuous path of resistance from roof to foundation in order to dissipate both lateral and uplift forces. Connections along this load path will guarantee uninterrupted resistance. Seismic and wind forces are transferred from the roof diaphragm to shear walls and through the walls into the ground at the foundation. Shear walls resist horizontal forces in the roof and floor diaphragms and so must be connected to them. It is important to apply wall sheathing to the full wall height, nailing it to the top plate, blocking, or rim joist and also to the mud sill or bottom plate. Shear wall height/width ratios are an important consideration; consult a structural engineer familiar with seismic and wind resistant construction should be their design. The details illustrated show several connection paths; for each specific design, a structural engineer familiar with seismic and wind resistant construction should be consulted. Many of the requirements for high wind situations apply to seismic loading as well, except in shear wall design.

Ties between floors: Wood members (studs) must be sized for the load-carrying capacity at the critical net section.

#### WIND AND SEISMIC CONNECTOR FRAMING



#### CEILING FRAMING PLAN

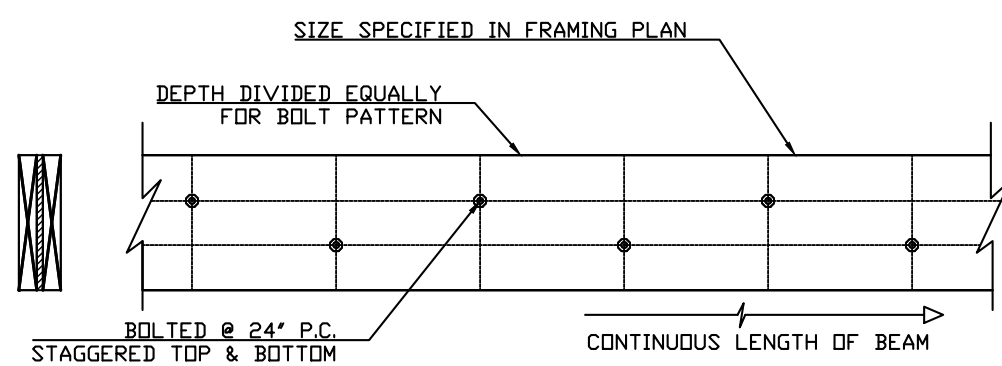
SCALE: 1/4"=1'-0"

#### GENERAL FRAMING NOTES:

- ALL WOOD FRAMING, FABRICATION AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NFPA. THE PLYWOOD DESIGN SPECIFICATION BY THE APA AND MEET THE REQUIREMENTS OF THE STANDARD BUILDING CODE. ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE S.B.C..
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.
- BLOCK ALL STUDS AT MID-HEIGHT. ANCHOR BOTTOM PLATE OF STUD WALLS TO CONCRETE AT 24" O.C.
- PROVIDE WOOD CROSS BRIDGING, BLOCKING AND BRACING AS REQUIRED BY BUILDING CODE. PROVIDE DOUBLE JOIST AT ALL PARALLEL WALLS ABOVE AND SOLID BLOCKING OVER BEARING WALLS.
- CONCRETE SUBFLOOR - 2 1/2" OVER METAL DECKING
- PLYWOOD ROOF SHEATHING - APA RATED 24/0, 3/4" THICK. PROVIDE CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF RAFTERS.
- JOIST HANGERS SHALL BE 16 GA., TYPE "U" AS MANUFACTURE BY SIMPSON STRONG TIES CO., INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURE'S SPECIFICATIONS. USE JOIST HANGERS FOR JOISTS AND BEAMS WHICH FRAME TO BEAMS AT THE SAME ELEVATION. JOIST HANGERS SHALL BE SAME SIZE AS MEMBER SUPPORTED.
- PROVIDE STUB POSTS MADE UP OF MULTIPLE STUDS BENEATH END BEARING OF BEAMS. NAIL EACH STUD TO THE ADJACENT STUD IN THE POST WITH 16d NAILS AT 12" O.C., ON STUD CENTERLINE AND WITHIN 3" OF EACH END. CUT STUDS CAREFULLY TO INSURE FULL AND COMPLETE BEARING ON BOTH TOP AND BOTTOM.
- COORDINATE FRAMING WITH HVAC DUCTS, ELECTRICAL AND PLUMBING REQUIREMENTS.
- BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGES OF JOIST, NOT LARGER THEN 1 1/4" DIAMETER AND NOT IN THE MIDDLE OF A SPAN.
- STRAP ALL STUDS CUT AWAY FOR PLUMBING WITH 1 1/2" WIDE, NO. 24 GAUGE GALVANIZED STRAPS, 18" LONG, BOTH SIDES OF WALL, SPIKED TO PLATES.

- PROVIDE DOUBLE KING STUDS (MIN.) AT EACH SIDE OF WINDOW OPENINGS IN 2X6 WALLS.
- PROVIDE TRIPLE PACKED STUDS UNDER ALL DOUBLE JOIST, BEAMS HEADER, ETC.
- ALL BEDROOM AND COAT CLOSETS SHALL CONTAIN (1) ROD AND (1) 16" DEEP SHELF, ALL LINEN AND PANTRY CLOSETS SHALL CONTAIN 5 SHELVES. UNLESS OWNER SPECIFIES OTHERWISE.
- ALL FRAMING CONNECTORS SHALL BE INSTALLED PER MANUFACTURER "SIMPSON STRONG TIE CO."
- FRAMER TO PROVIDE BLOCKING IN WALLS FOR INSULATION OF RODS FOR WINDOW TREATMENTS, TOWEL BARS, SHOWER RODS, CABINETS, ETC.
- SEAL AROUND ALL PENETRATIONS AND ROUGH OPENINGS WITH EXPANDING FOAM CAULKING.
- MOISTURE RESISTANT DRYWALL TO BE USED IN ALL WET AREAS.
- FOR RAISED STRUCTURES AND MULTI STORY STRUCTURES, BRIDGING MUST BE PROVIDED FOR FLOOR JOIST @ 8' O.C.
- UNLESS NOTED OTHERWISE MULTIPLE PIECES OF LUMBER OR MANUFACTURED WOOD PRODUCTS USED TO FORM BEAM OR HEADER MEMBERS SHALL BE ATTACHED TOGETHER WITH 2 ROWS OF 12d NAILS AND SPACED AT 12" O.C. FOR PIECES UP TO 12" DEEP. ALL OTHER PIECES SHALL HAVE 3 ROWS OF 12d NAILS
- A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12 FEET 7 INCHES BETWEEN FLOOR LEVELS OR LANDINGS (IRC311.7.3)
- EXTERIOR WALL VAPER RETARDER - CLASS I OR CLASS II VAPOR RETARDER (I.E. KRAFT-FACED FIBERGLASS BATT INSULATION) NOT PERMITTED TO BE INSTALLED IN INTERIOR SIDE OF EXTERIOR WALL WITHIN OUR REGION (CLIMATE ZONE 2) (IRC 1102.1.1 AND IRC TABLE 702.7(2)). UNFACED INSULATION OR INSULATION WITH KRAFT PAPER FACING EXTERIOR SIDE OF EXTERIOR WALL SHALL BE PERMITTED.
- DECK 200 SQFT. OF ATTIC FLOOR AROUND ATTIC ACCESS STAIR

#### FLITCH BEAM DETAIL & CROSS SECTION



#### SIMPSON HURRICANE STRAPING NOTES FOR WOODEN SYSTEM

- SIMPSON HURRICANE STRAPING MODEL (2) H2.5A ONE ON EACH SIDE OR COMPARABLE LOCATED EVERY RAFTER TO STUD (MAXIMUM WORKING LOAD= 865 pounds) (ALLOWABLE LOAD PER ANCHOR= 970 pounds)
- ALL ROOF SHEATHING SHALL BE 1/2 PLYWOOD ANCHORED WITH 8 PENNY COMMOM NAILS @ 6" O.C. SPACING.
- SIMPSON HURRICANE STRAPING MODEL "MTS16" OR COMPARABLE LOCATED EVERY EXTERIOR STUD TO SILL (MAXIMUM WORKING LOAD= 1182 pounds) (ALLOWABLE LOAD PER ANCHOR= 1370 pounds)
- PROVIDE 1/2" PLY. WOOD SHEATHING ON ENTIRE HOUSE FRAMING FOR CONT. LOAD PATH CONNECTIONS AS PER "SSSD 10-99"

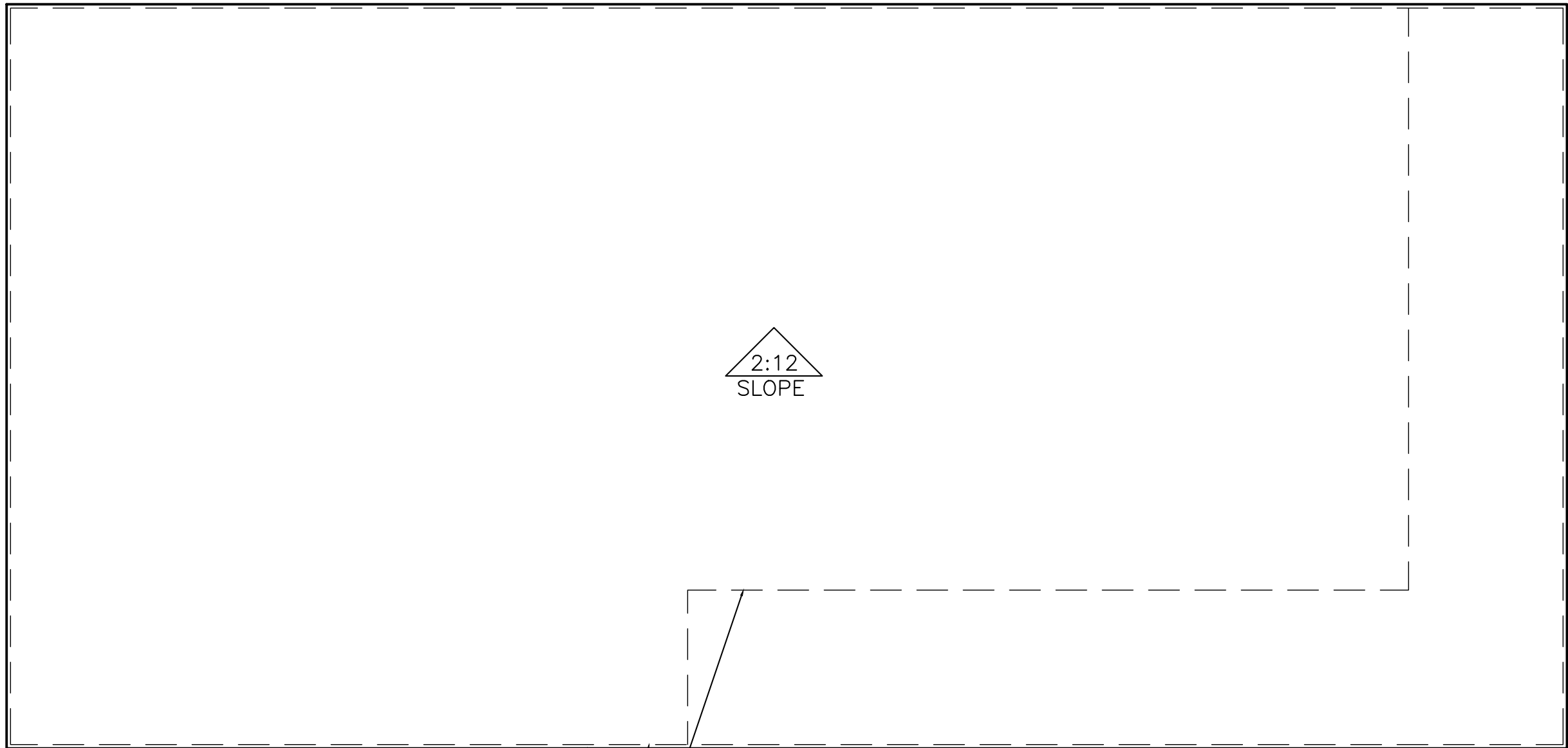
#### "WOOD" CEILING / FLOOR FRAMING NOTES:

- ALL CEILING JOIST SHALL BE: 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE
- ALL BEAMS SHALL BE: (2) 2X12 UNLESS NOTED OTHERWISE
- ALL HEADERS @ 2X4 WALLS SHALL BE: (2) 2X8 W/ 1/2 PLYWOOD UNLESS NOTED OTHERWISE
- ALL HEADERS @ 2X6 WALLS SHALL BE: (3) 2X8 W/ 1/2 PLYWOOD UNLESS NOTED OTHERWISE

#### FASTENING SCHEDULE FOR STRUCUTRAL MEMBERS

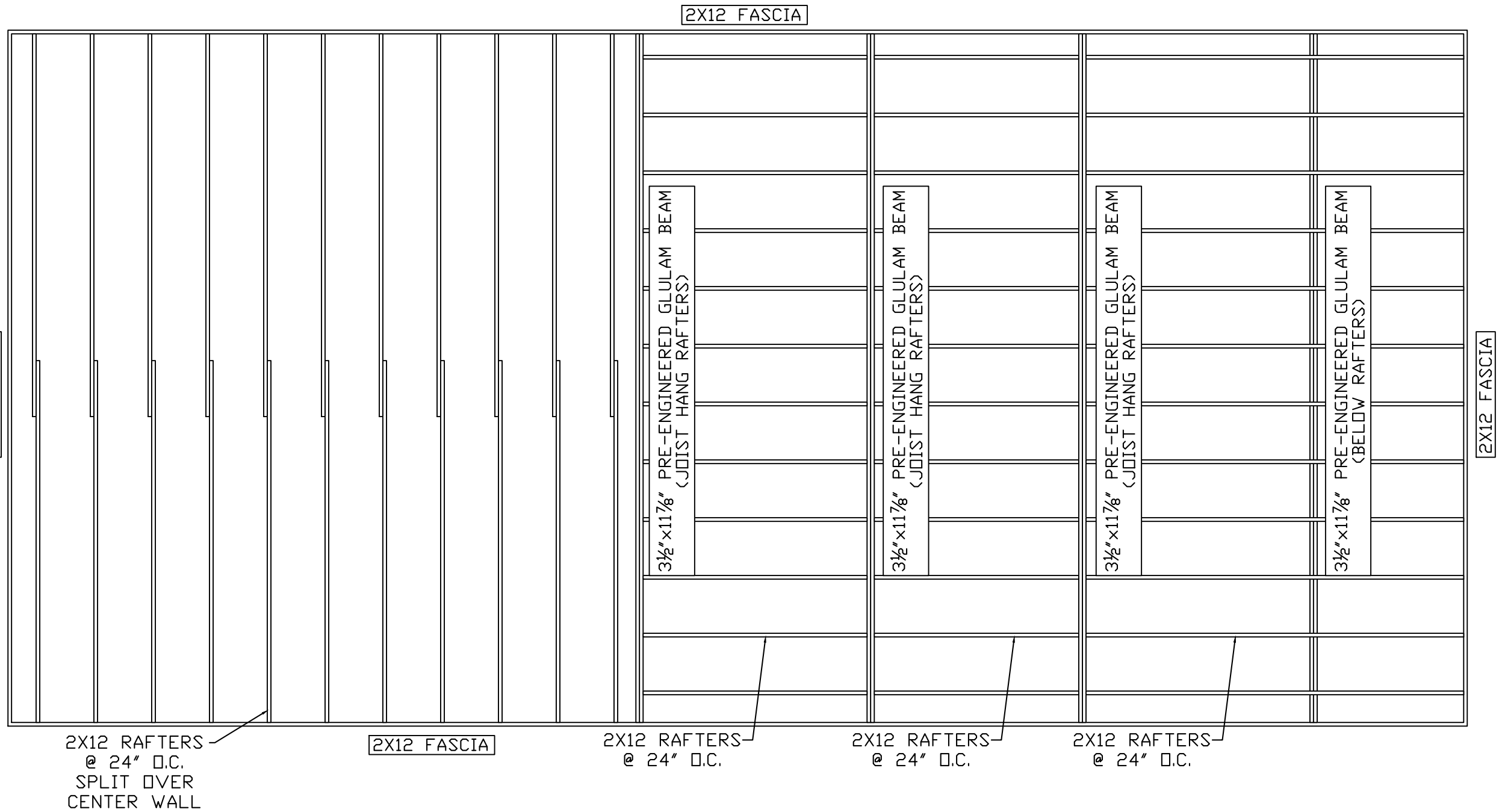
DESCRIPTION OF BUILDING ELEMENTS	TYPE OF FASTENERS	# AND SPACING OF FASTENERS
JOIST TO SILL OR GIRDER, TOE NAIL	3-8d	----
1X6 SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d	----
2 INCH SUBFLOOR TO JOIST OR GIRDER, BLIND & FACE NAIL	2-16d	----
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	2-16d	----
STUD TO SOLE PLATE, TOE NAIL	3-8d or 2-16d	----
DOUBLE STUDS, FACE NAIL	10d	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10d	24" O.C.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALLS PANELS	3-16d	16" O.C.
DOUBLE TOP PLATES, MINIMUM 24 INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d	----
BLOCKING BETWEEN JOIST OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d	----
RIM JOIST TO TOP PLATE, TOE NAIL	8d	6" O.C.
TOP PLATES, LAP AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10d	----
BUILT-UP HEADERS TWO PIECE WITH 1/4 SPACERS	16d	16" O.C. ALONG EACH EDGE
CONTINUED HEADER TWO PIECE	16d	16" O.C. ALONG EACH EDGE
CEILING JOIST TO TOP PLATE, TOE NAIL	3-8d	----
CONTINUOUS HEADER TO STUDS, TOE NAIL	4-8d	----
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	3-10d	----
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	3-10d	----
RAFTER TO PLATE, TOE NAIL	2-16d	----
1 INCH BRACE TO EACH STUD & PLATE, FACE NAIL	2-8d	----
1X6 SHEATHING TO EACH BEARING, FACE NAIL	2-8d	----
1X8 SHEATHING TO EACH BEARING, FACE NAIL	3-8d	----
WIDER THAN 1X8 SHEATHING TO EACH BEARING, FACE NAIL	3-8d	----
BUILT-UP CORNER STUDS	10d	24" O.C.
BUILT-UP GIRDERS & BEAMS, 2 INCH LUMBER LAYERS, SPLOCE 2 INCH PLANKS	10d	----
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS, TOE NAIL	2-16d	AT EACH BEARING
FACE NAIL	4-16d	----
RAFTER TIES TO RAFTERS	3-16d	----
FACE NAILS	3-8d	----





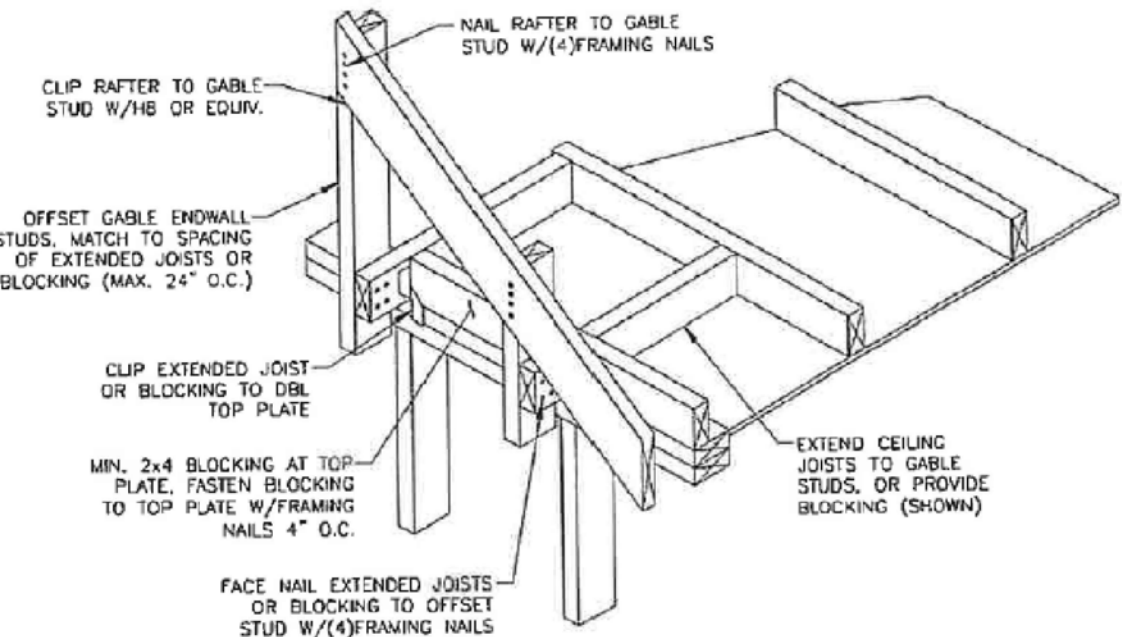
ROOF PLAN

SCALE: 1/4"=1'-0"

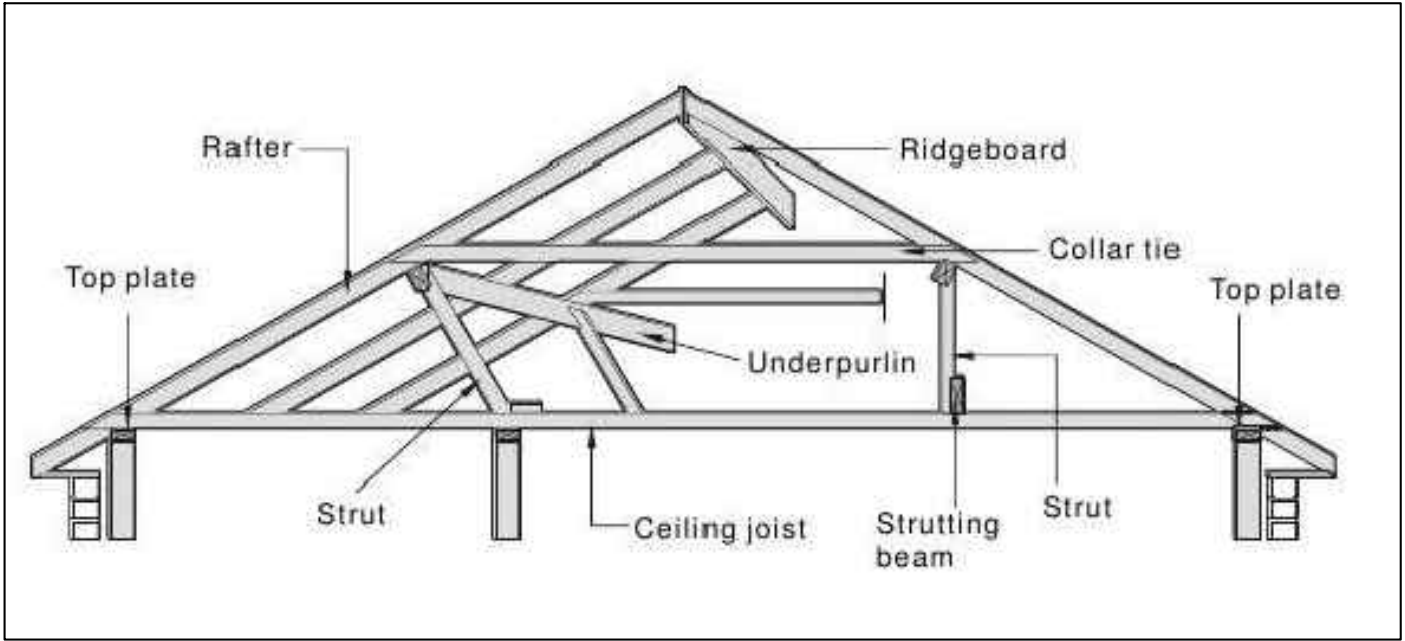


ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



Offset Gable Endwall Framing Detail



TYPICAL ROOF FRAMING

"WOOD" ROOF FRAMING NOTES:

1. ALL LOOKOUTS SHALL BE: 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE
2. ALL RAFTERS SHALL BE 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE
3. ALL HIP RAFTERS SHALL BE: 2X8 UNLESS NOTED OTHERWISE
4. ALL VALLEY RAFTERS SHALL BE: 2X8 UNLESS NOTED OTHERWISE
5. ALL RIDGES SHALL BE: 2X8 UNLESS NOTED OTHERWISE

GENERAL ROOF NOTES:

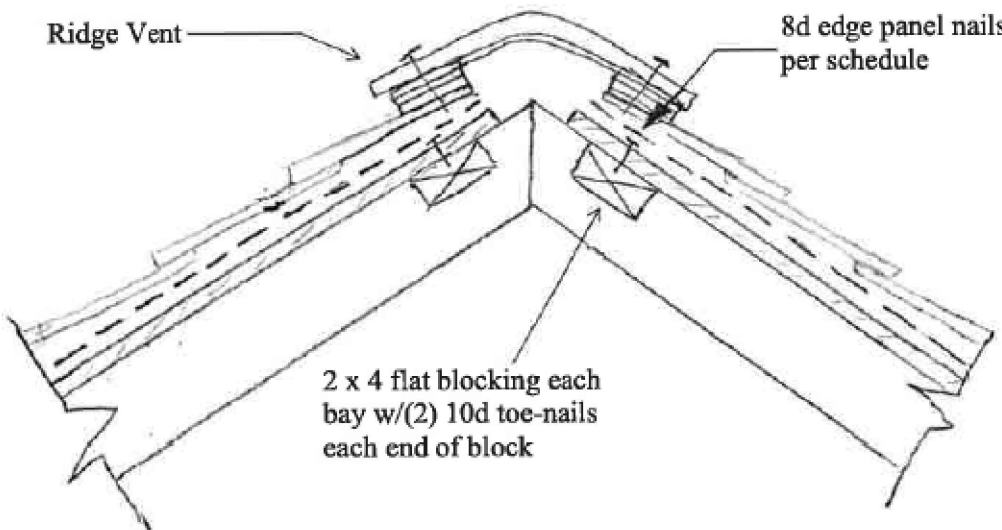
SLOPED ROOF: ROOFING SHALL BE AN ARCHITECTURAL SHINGLE BY G.A.F. OR EQUAL. PROVIDE CLASS A FIRE RATING W/ LIFETIME TRANSFERABLE WARRANTY AND 130 MILE MPH. LTD. WIND WARRANTY. INSTALL PER MFR. RECOMMENDATIONS AND CODE TO MEET WIND SPEED REQUIREMENTS.

CONTRACTOR IS RESPONSIBLE FOR COORDINATING COLOR AND LIFETIME OF ROOF WITH OWNER BEFORE PURCHASE.

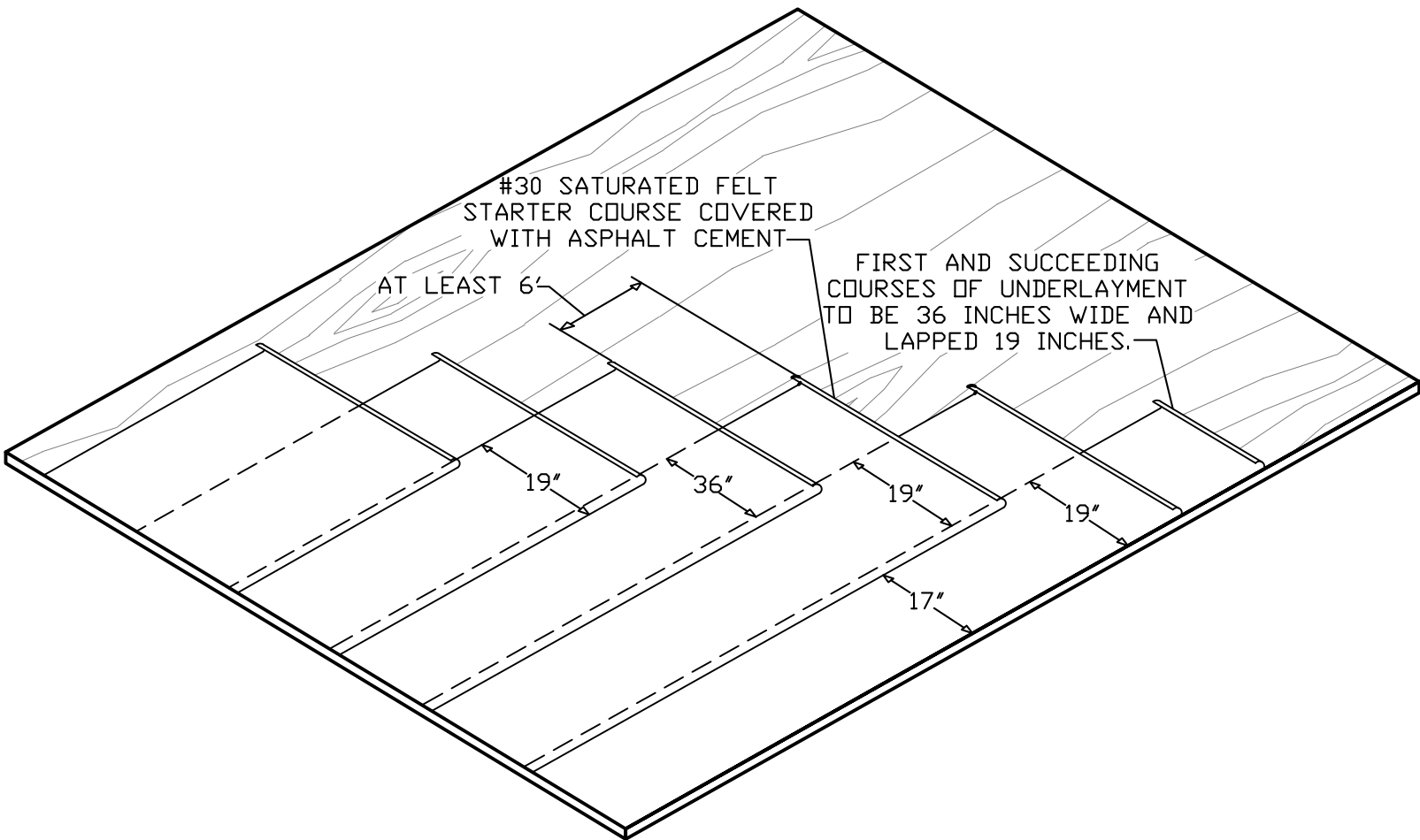
FOR LOW SLOPED SHINGLE ROOFS (2:12 TO LESS THAN 4:12) M.F.R. RECOMMENDATION IS TO PROVIDE 2 LAYERS MIN. UNDERLAYMENT - G.A.F. ROOF DECK PROTECTION OR EQUAL.

ROOF COVERING MATERIAL PER IRC 2021 R905. UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 19- INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES. STARTING AT THE EAVE, APPLY 36" WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19".END LAPS SHALL BE 4" AND SHALL BE OFFSET BY 6" The UNDERLAYMENT SHALL BE ATTACHED WITH CORROSION-RESISTANT FASTENERS IN A GRID PATTERN OF 12" BETWEEN SIDE LAPS WITH A 6" SPACING AT SIDE AND END LAPS. UNDERLAYMENT SHALL BE ATTACHED SING ANNUAL RING OR DEFORMED SHANK NAILS WITH 1" DIA. METAL OR PLASTIC CAP

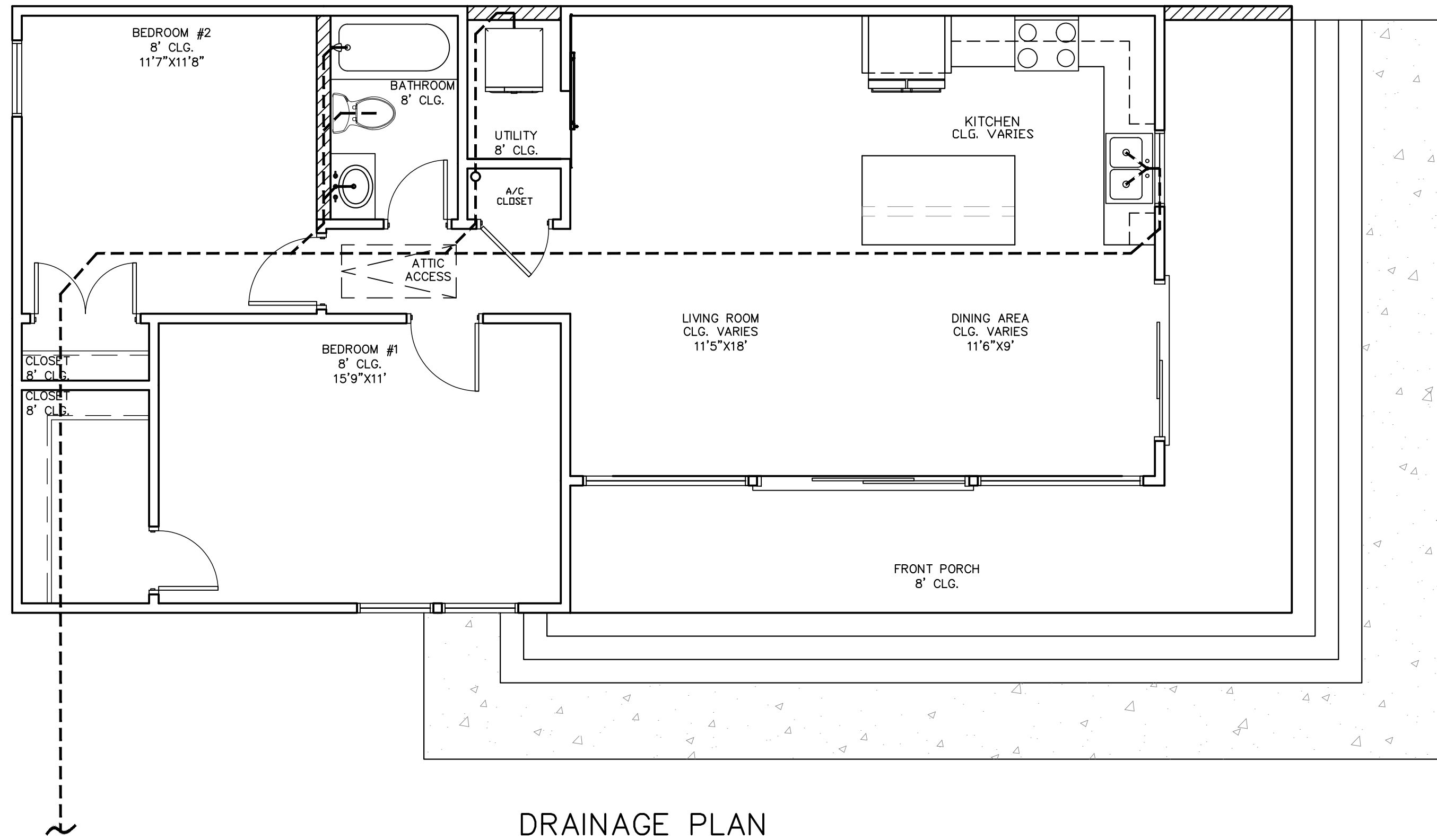
THE USE OF 30LB. FELT OR SYNTHETIC APPROVED UNDERLAYMENT MUST BE USED 15LB. WILL NOT BE ACCEPTED. MUST BE ATTACHED WITH CORROSION-RESISTANT FASTENERS IN A GRID PATTERN OF 12" BETWEEN SIDE LAPS WITH A 6" SPACING AT THE SIDES AND END LAPS.



Note: Blocking at top 1 inch away from ridge is only required when ridge vents are installed. If ridge vents are not installed, nailing pattern will continue on the ridge itself.



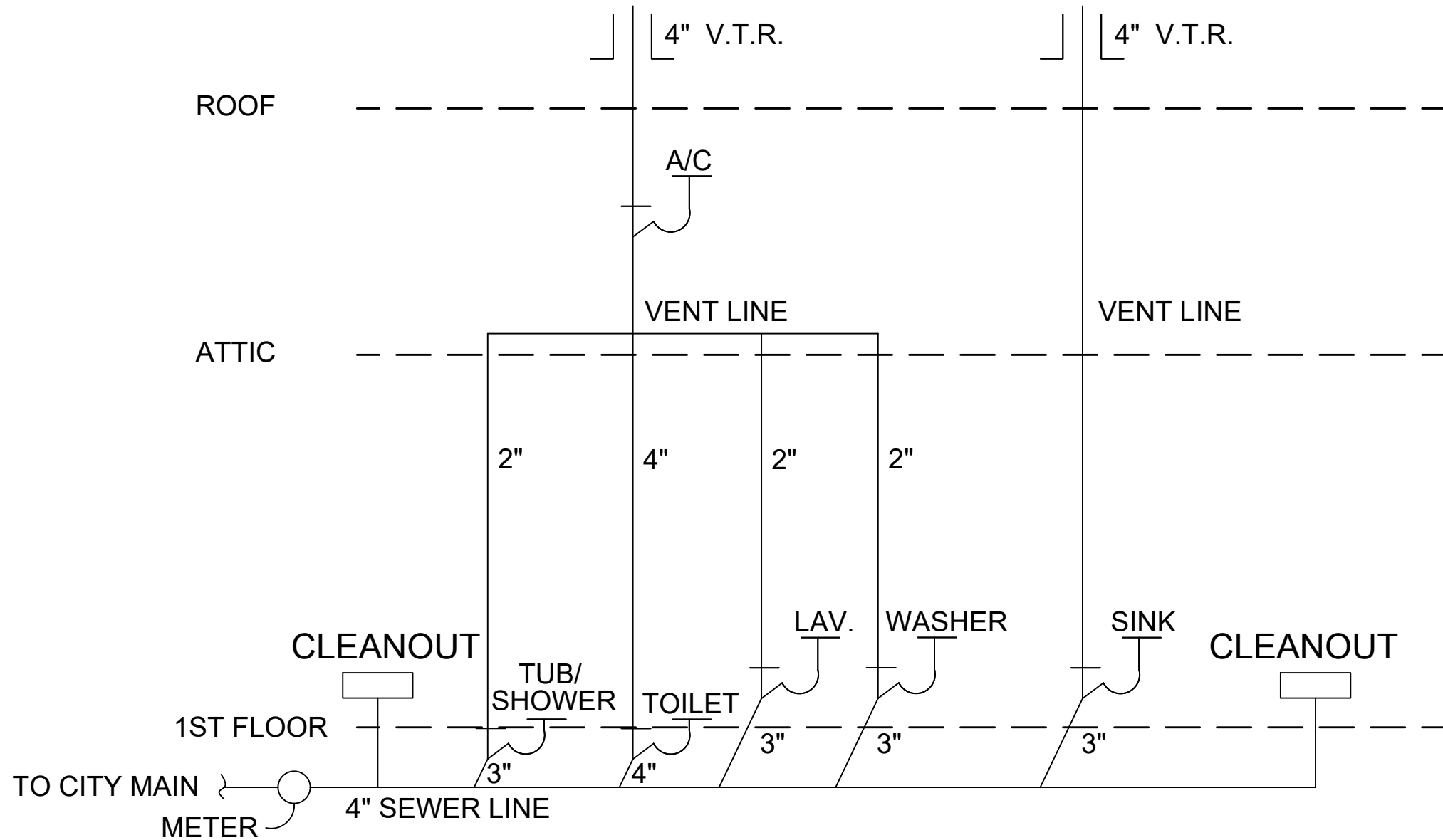




**DRAINAGE PLAN**  
SCALE: 1/4"=1'-0"

**GENERAL PLUMBING NOTES:**

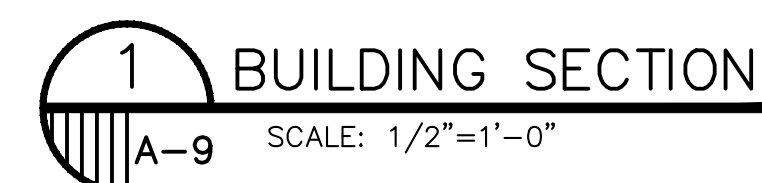
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE, & NATIONAL BUILDING CODES.
- THE PLUMBING CONTRACTOR SHALL OBTAIN ALL PERMITS AND COMPLY W/ ALL LOCAL, STATE & NATIONAL PLUMBING BUILDING CODES.
- EXCEPT AS NOTED SHALL BE AS FOLLOWS: WATER PIPE: COPPER TYPE "L" OR ABS-PVC. SANITARY WASTE PVC SCHEDULE 40 GAS PIPE - GALVANIZED STEEL
- THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PIPE FITTINGS, PLUMBING FIXTURES, ETC. FOR COMPLETE PLUMBING JOB.
- EACH PLUMBING FIXTURE SHALL COME EQUIPPED WITH SHUT OFF VALVE(S).
- THE COMPLETE WATER SYSTEM SHALL BE TESTED AND DISINFECTED AS DESCRIBED IN THE LATEST LOUISIANA STATE SANITARY CODE.
- BUILDING REQUIRES A DUAL BOX WITH (2)-5/8" WATER METERS EACH.
- 4.24.6 EXPOSED PIPES & SURFACES: HOT WATER AND DRAIN PIPES EXPOSED UNDER SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED SO AS TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS.
- 4.24.7 FAUCETS: FAUCETS SHALL COMPLY W/ 4.27.4 LEVER OPERATED, PUSH TYPE, TOUCH TYPE, OR ELECTRONICALLY CONTROLLED MECHANISMS ARE ACCEPTABLE DESIGNS.
- SLOPE DRAINAGE LINES, 3" AND SMALLER, 1/4" PER FOOT AND LINES 4" AND LARGER 1/8" PER FOOT.
- ALL PIPES THRU WALLS TO BE EQUIPPED WITH ESCUTCHEONS, CHROME PLATED.
- SANITARY SEWER PIPING: ASTM D2556, PVC-DMV, SCHEDULE 40 SEWER PIPE W/ PVC FITTINGS, SOLVENT WELD JOINTS, ASTM
- WATER PIPING: COPPER TUBING, ASTM B88 TYPE "L" SOFT DRAWN (UNDERGROUND) AND TYPE "L" HARD (ABOVE SLAB) DRAWN W/ ANSI/ASME B16.29 WROUGHT COPPER FITTINGS; JOINT SILVER SOLDERED NO JOINTS ALLOWED.
- CONTRACTOR SHALL PROVIDE WITHER AIR CHAMBERS (MIN. 18" HIGH) OR SHOCK ABSORBERS AT ALL FICTURES TO PREVENT WATER HAMMER, APPLIES ALL RISER DIAGRAM
- SUPPORT ALL PIPING WITH CLEVIS TYPE HANGERS, EIGHT(8) FOOT CENTERS.
- CONTRACTOR SHALL PROVIDE EXTERIOR CLEANOUTS EVERY 75 FEET AND AT ALL TURNS.
- INSTALL A FLOOR DRAIN UNDER SECOND FLOOR WASHING MACHINE
- INSTALL A DRIP PAN WITH 1 1/2" SIDES UNDER THE WATER HEATER, WITH 3/4" OVER FLOW DRAIN DIRECTED TO FLOOR DRAIN
- PROVIDE PTR VALVE ON WATER HEATER, WITH DRAIN LINE INTO OVER FLOW PAN. PROVIDE HOT AND COLD WATER SHUT-OFF VALVES FOR WATER HEATER.
- PROVIDE ALL WATER FICTURE WITH A FULL LINE SIZED SHUT-OFF VALVE
- PROVIDE AN AIR BLEED VALVE AT HIGHEST POINT FOR EACH APT.
- NOTE THAT KITCHEN WASTE WATER IS COLLECTED.
- WATER DISTRIBUTION FOR UPPER AND LOWER UNITS ARE IDENTICAL SIDE UNITS ARE MIRROR OPPOSITES.



ALL VENT PIPES TO BE PLACE TOWARDS REAR OF ROOF

**PLUMBING RISER DIAGRAM**





STATE OF LOUISIANA

THOMAS J. PUTMAN  
 License No. 19516  
 PROFESSIONAL ENGINEER  
 IN  
 CIVIL ENGINEERING

09-25-2023

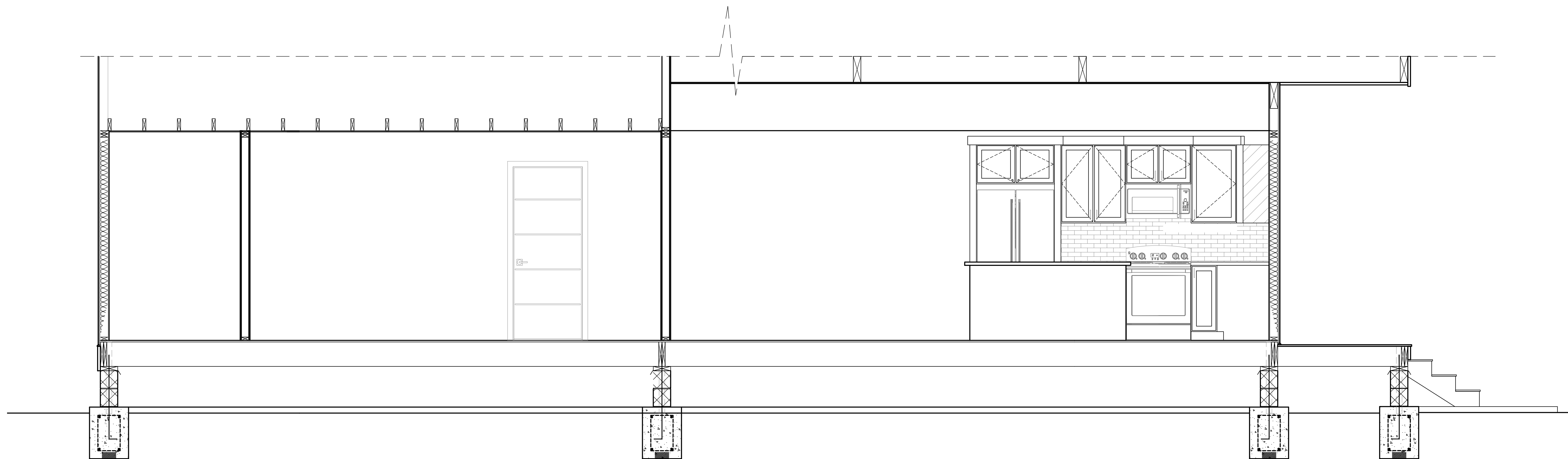
Sheet Title:

PLUMBING  
DRAINAGE PLAN  
& RISER DIAGRAM

A-9

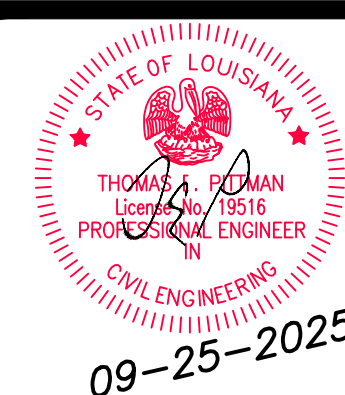
"I HAVE RESEARCHED THIS CHAPTER AND THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS".



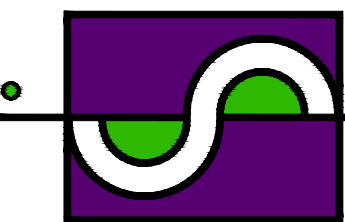


1 BUILDING SECTION  
A-10 SCALE: 1/2"=1'-0"

LABEOUF RESIDENCE  
REAR BUILDING (NEW CONSTRUCTION)  
3316 MONROE STREET  
MANDEVILLE, LA 70448  
ST. TAMMANY PARISH



**SPECTRUM**  
DESIGNS, LLC  
1929 JUTLAND DRIVE  
Suite A - HARVEY, LA 70058  
PHONE: (504) 366-0710  
E-Mail: ADMIN@SPECTRUMDESIGNSLLC.COM



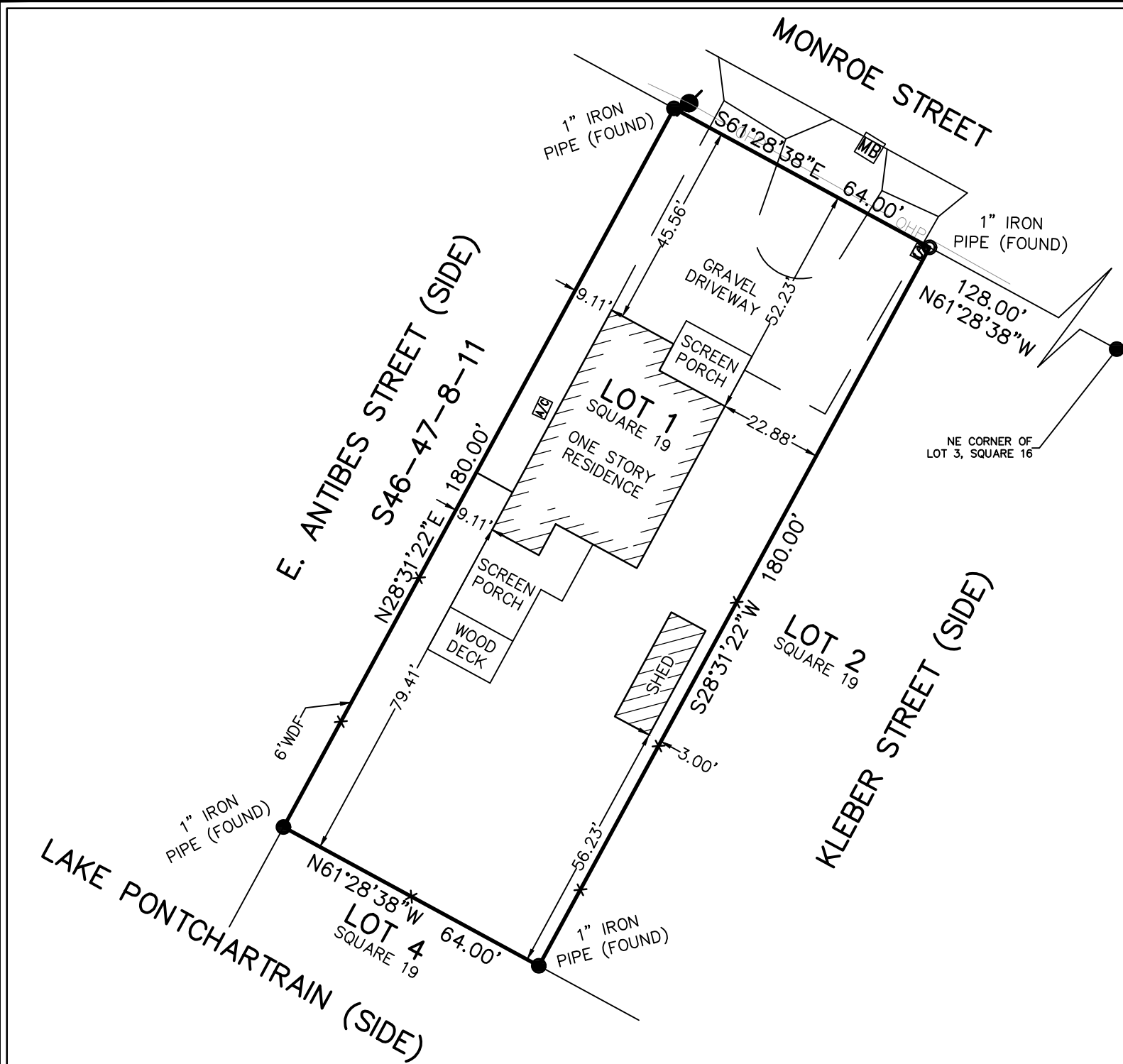
Date: 09-25-2025  
Drawn: RHT  
Checked: TEP


Sheet Title:  
**PLUMBING  
DRAINAGE PLAN  
& RISER DIAGRAM**

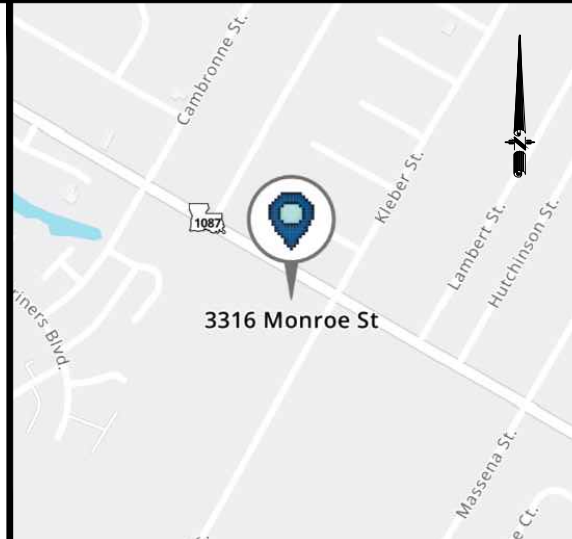
Drawing No.

A-9



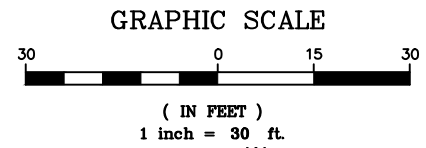


  
**GRID NORTH**  
NORTH REFERENCED TO LOUISIANA  
STATE PLANE COORDINATE SYSTEM,  
SOUTH ZONE, NAD 83.



**VICINITY MAP**  
NOT TO SCALE

**GENERAL NOTES**  
THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.



SCALE: 1" = 30'  
DATE: 9/17/2025  
DRAWN BY: K.A.B. CHECKED BY: Y.C.L.  
PROJ. NO: 727  
SHEET 1 OF 1

The Servitudes and Restrictions shown on this survey are limited to those set forth in the description furnished us and there is no representation that all applicable Servitudes and Restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey.

I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found this property is in a Special Flood Hazard Area.


FIRM ZONE: AE (BFE 9)  
COMMUNITY: ST. TAMMANY PARISH  
PANEL NUMBER: 220202 0427D  
DATED: 05/16/2012

**BOUNDARY SURVEY**  
**3316 MONROE STREET**  
**LOT 1, SQUARE 19**  
**TOWN OF MANDEVILLE SUBDIVISION**  
**ST. TAMMANY PARISH, LOUISIANA**

I certify that this plat represents an actual ground survey made by me or under my direction, and it does not conform to the requirements for the Minimum Standards for Property Boundary Surveys as found in Louisiana Administrative Code TITLE 46: LXI, Chapter 29 for a Class C survey.

**JEFF LABEOUF**

  
**DRAGON LIMITED, INC.**  
4641 Fairfield St, Suite C  
Metairie, LA 70006  
Tel: 504-883-9041

  
**YU-CHIAO LO**  
Reg. No. 2385  
REGISTERED  
PROFESSIONAL LAND SURVEYOR  
YU-CHIAO LO  
REGISTRATION NO. 2385



CASE SUMMARY SHEET

CASE NUMBER: V25-12-35  
DATE RECEIVED: November 12, 2025  
DATE OF MEETING: December 9, 2025 and January 13, 2026

Address: 418 Cedarwood  
Subdivision: Cedarwood Village, Lot 25A  
Zoning District: R-3 Multi-Family Residential District,  
Property Owner: Cedarwood Association, represented by Carol Rome

REQUEST: V25-12-35 – Cedarwood Association, represented by Carol Rome, requests a variance to CLURO Section 9.2.5.7. Key Native Tree Species Protection Requirements, Cedarwood Village, Lot 25A, R-3 Multi-Family Residential District, 418 Cedarwood Drive

CASE SUMMARY: Remove a 26” dbh live oak

The property is located on the west side of Cedarwood Dr. south of Hwy 22. 418 Cedarwood is the rearmost unit in the south building and is part of Cedarwood Condominiums.

The applicant is requesting to remove a 26” dbh live oak located between two different condominium complexes. Regulations require 4 live oak trees to be planted as replacement.

An arborist report written by James Gilmore of Expressions by Nature was submitted on behalf of the applicant. The report states that the Live Oak seems to be healthy, but the location seems to be holding back potential growth. It also says that the root system seems to be compromised due to the surrounding condos and the concrete patios and walkways.

The report concludes by stating there has been dead wood dropping, but the main problem with the tree is the location. It is damaging the condos and will potentially be a hazard as the tree gets bigger.

CLURO SECTIONS:

9.2.5.7. Key Native Tree Species Protection Requirements

The following tree protection requirements shall be in place:

2. Live Oak Protection Requirements

- a. A tree removal permit shall be obtained from the Landscape Inspector prior to cutting, clearing or removing any Live Oak tree six (6) inches dbh or greater. Unpermitted removal of a qualifying Live Oak tree shall subject the property owner, the responsible contractor, or both, to the violation provisions of Section 9.2.5.16.
- b. The applicant wishing to remove a Live Oak tree must state in writing that such activity will enhance the health, safety and welfare of the public, or otherwise benefit the public interest and the applicant must offer evidence to that effect. The Landscape Inspector is empowered to issue or deny the permit based on the application and the evidence. Prior to the issuance of a tree removal permit the applicant must submit a plan or written statement offering evidence of compliance with the tree replacement provisions of this Article.
- c. Upon submission of a tree removal permit, administrative removal shall only be permitted if both a Louisiana-licensed arborist and the Landscape Inspector jointly determine, in writing, that the tree is dead, terminally diseased, or poses an imminent hazard to public safety or property that cannot be mitigated by other less impactful means. Additionally, Planning and Zoning approval shall be required where site-specific conditions require a tree to be within the proposed building footprint, without alternative building placement, making its preservation unfeasible.
- d. During any construction, development, or land-disturbing activity, all Live Oak trees shall be safeguarded pursuant to the Vegetation Protection Zone Barrier requirements of Section 9.2.5.3.
- e. It shall be unlawful for any person to place soil in such a way that would cause Live Oaks to become diseased or die. If filling with soil is necessary to properly drain the land, all efforts should be made to protect the area within the drip line of a Live Oak from the impact of such activity. Should all efforts fail and a tree removal permit be issued for the removal of the Live Oak the provisions of these regulations regarding replacement of trees shall be required to be met.
- f. If a Live Oak tree is removed or dies due to activities on the property, the property owner shall replace it with one (1) tree per 6 inches dbh of the same species for each Live Oak removed or lost. Replacement trees shall be of a minimum size as established by the Landscape Inspector and planted in a location approved by the City.
- g. A tree removal permit will be required to prune the primary and secondary branches of any Live Oak tree 12" dbh or greater. Such pruning shall be required to be performed by a state licensed arborist or a state forester.
- h. These regulations shall apply in all zoning districts.







# Expressions by Nature



985-789-1251



Jamesgilmore20@hotmail.com

3 December 2025

**To:**  
**City of Mandeville**

**re: Cedarwood Condos**

The Live Oak seems to be healthy but its location seems to be holding back its potential growth. The root system seems to be somewhat compromised due to the condos on all sides and concrete patios and walk ways.

There has been dead wood dropping but the main problem with the tree is the location. It is damaging the condos and will potentially be a hazard as the tree gets bigger.

Sincerely,

**James Gilmore**  
Owner







