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CASE SUMMARY SHEET

CASE NUMBER: V25-10-22  
DATE RECEIVED: September 2, 2025  
DATE OF MEETING: October 14, 2025 and October 28, 2025

Address: 527 Albert  
Subdivision: Old Town of Mandeville, Square 85B Lots 21-24, 26, 28, 30, 32, 34, & 36  
Zoning District: R-1 Single Family Residential District  
Property Owner: Richard and Linda James

REQUEST: V25-10-22 – Richard and Linda James request a variance to CLURO Section 7.5.1.3. R-1 Site Development Regulations, Old Town of Mandeville, Square 85B Lots 21-24, 26, 28, 30, 32, 34, & 36, R-1 Single Family Residential District, 527 Albert

CASE SUMMARY: Encroach up to the south side property line to construct a new house

The applicants own the property at 527 Albert Street, located on the east side of Albert St., north of Monroe St., south of Livingston St., and west of Colbert St. The property is an irregularly shaped flag lot, measuring 119’ along Albert St., 236’ along the south property line, 240’ along the east property line, 60’ along Livingston St., then south for 120’, and west for 175’ and contains 35,696 sqft per a survey prepared by Kelly McHugh & Associates and dated 7.31.2025. The property is currently unimproved.

The applicants are requesting to encroach 20’ into the south side setback, up to the property line, to construct a new single-family residence. The south side of the property borders the right of way for the unimproved Harold Street. The eastern half of the Harold Street right of way was previously revoked back in 2008 while the western half remains owned by the City.

	Required	Proposed	Encroachment
Front Setback	25’	25’	0’
Rear Setback	30’	30’	0’
North Side Setback	20’	20’	0’
South Side Setback	20’	0’	20’

Public Works is in the process of reviewing the proposed development.

CLURO SECTIONS:

7.5.1.3. R-1 Site Development Regulations

Each development site in the R-1 Single-Family Residential Zoning District shall be subject to the following site development regulations in addition to any regulations applicable under the provisions of Article 8. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

1. Minimum lot area	10,800 Square feet (except for legal non-conforming lots as provided)
2. Minimum building area (Square feet per unit)	1,200 Square feet
3. Minimum lot width	90'
4. Minimum lot depth	120'
5. Minimum Yard Setback Requirements	
a. Front yard	25'
b. Interior side yard*	
i. Frontage up to 50’	8’ each side
ii. Frontage between 51’ – 60’	10’ each side
iii. Frontage between 61’ – 75’	12’ each side
iv. Frontage between 76’ – 80’	13’ each side
v. Frontage between 81’ – 90’	15’ each side
vi. Frontage between 91’ – 100’	16’ each side
vii. Frontage between 101’ – 110’	18’ each side
viii. Frontage between 111’ +’	20’ each side
c. Street side yard	15'
d. Rear yard	30'
6. Maximum Height of Structures	35'
7. Maximum Impervious Site Coverage	45%

\*The side yard setbacks of the site may be shifted into the opposite yard up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.



LIVINGSTON ST.

S 59°45'49" E 60.00'

ALBERT ST.

(T=120.00')

N 30°05'14" E 119.78'

LOT 35

LOT 33

LOT 31

LOT 29

LOT 27

LOT 25

LOT 23

LOT 21

LOT 19

APPROX. LOCATION OF FLOOD ZONE LINE

S 60°09'53" E 175.55'

(T=176.00')

N 30°03'29" E 120.00'

85 B

S 29°49'46" W 240.04'

(T=240.00')

LOT 36

LOT 34

LOT 32

LOT 30

LOT 28

LOT 26

LOT 24

LOT 22

LOT 20

FLOOD ZONE X  
FLOOD ZONE A10  
B.F.E.=10.0'

N 60°00'00" W 236.57'

(REF. BRG.)

(T=236.00')

HAROLD ST.

(NOT CONSTRUCTED)

NOTE:  
OWNER OR CONTRACTOR IS RESPONSIBLE  
FOR VERIFYING BUILDING SETBACKS  
BEFORE CONSTRUCTION BEGINS.

NO SERVITUDES OR SETBACKS  
SHOWN HEREON.

-- LEGEND --

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET
- = 1" IRON PIPE FOUND
- ▲ = 2" IRON PIPE FOUND

THIS PROPERTY IS LOCATED IN FLOOD  
ZONE A10 & X; BASE FLOOD ELEV. 10.0';  
F.I.R.M. PANEL NO.2202020431D;  
REV.05-16-2012

NOTE:  
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO  
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,  
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL  
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN  
THOSE FURNISHED BY THE CLIENT.



08-07-25

Kelly J. McHugh, REG. NO. 4443

CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL  
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE  
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS  
"C" SURVEY. RED STAMP SIGNIFIES CERTIFIED PLAT.

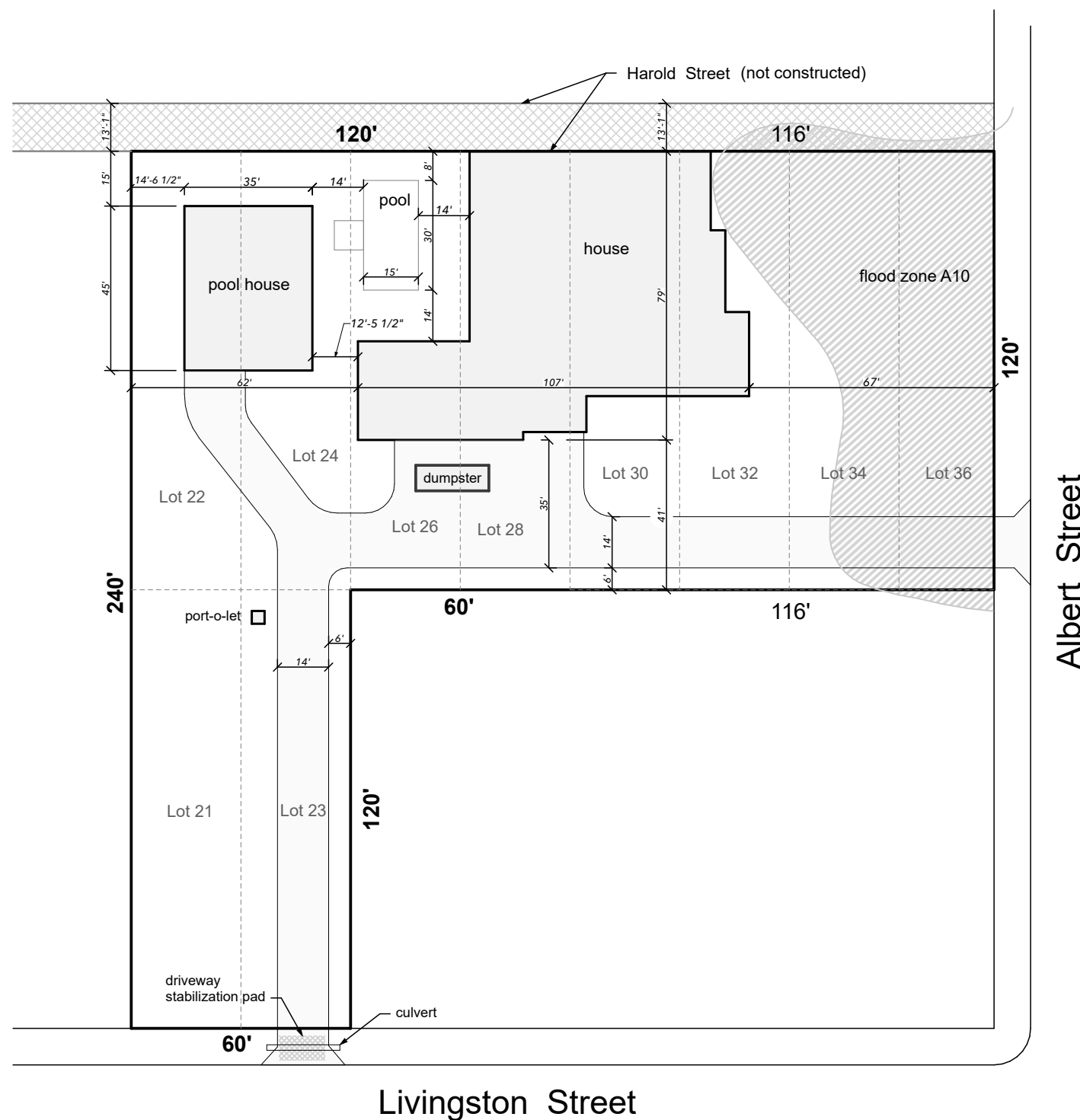
REFERENCE: A SURVEY BY JOHN E. BONNEAU & ASSOC. INC.,  
DATED 06-22-2018, JOB NO. 2018 326.  
BEARINGS HEREON ARE ASSUMED

BOUNDARY SURVEY OF:  
LOTS 21-24, 26, 28, 30, 32,  
34 & 36 SQ. 85B  
TOWN OF MANDEVILLE  
CITY OF MANDEVILLE  
ST. TAMMANY PARISH, LA.

PREPARED FOR:  
  
RICHARD JAMES

KELLY J. McHUGH & ASSOC., INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE:	1" = 40'	DATE:	07-31-25
DRAWN:	MDM	JOB NO.:	25-124
REVISED:			



Richard and Linda James  
Lot cornering Livingston Street and Albert Street  
Mandeville, LA.

**Plot Plan**  
**Scale: 1" = 40'**

**Setbacks**  
Front.....  
Right Side.....  
Left Side.....  
Rear.....

**Date**  
**8/27/25**  
**PROJECT NO:**  
**7236**

CASE SUMMARY SHEET

CASE NUMBER: V25-10-23  
DATE RECEIVED: September 3, 2025  
DATE OF MEETING: October 14, 2025 and October 28, 2025

Address: 2025 Lakeshore  
Subdivision: Old Town of Mandeville, Square 1 Lot 5A  
Zoning District: B-3 Old Mandeville Business District  
Property Owner: Margherita Bechac

REQUEST: V25-10-23 – Denis Bechac requests a variance to CLURO Section 9.2.5.7. Live Oak Protection Requirements, Old Town of Mandeville, Square 1 Lot 5A, B-3 Old Mandeville Business District, 2025 Lakeshore

CASE SUMMARY: Remove a 28” dbh live oak

The property at 2025 Lakeshore is owned by the applicant’s mother, and is located on the north side of Lakeshore Dr., west of Girod St., east of Lafitte St., and south of Claiborne St. The property measures 68’ x 247’ and contains 16,796 sqft per a survey prepared by Randall Brown & Associates and dated 11.26.2012. The property is currently improved with a vacant commercial building.

The applicant is requesting to remove a 28” dbh live oak located near the front property line. An arborist report written by Malcolm Guidry was submitted by the applicant.

The report states that a site visit was conducted on August 16<sup>th</sup>, 2025, to assess the condition of the tree and determine if there was any means of saving the tree. The report states that efforts to save this tree have passed, and that currently all that exists is an unsightly tree. The reason for the demise of the tree is attributed to the compacted soil that has existed beneath the canopy for some time, and that any attempt to fix this problem would require a complete replacing of the soil within the root area of the tree, which would be of little to no benefit at this time.

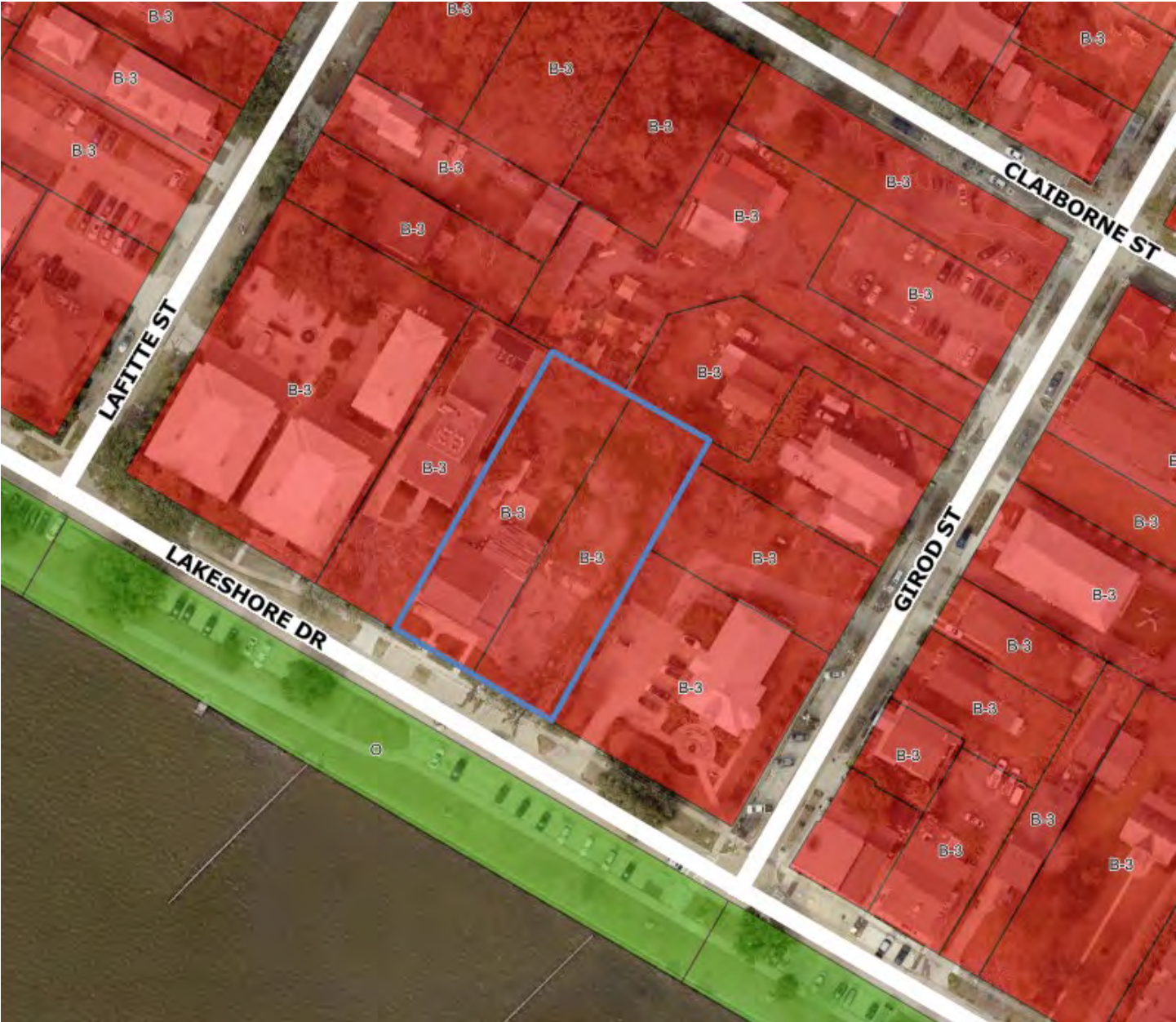
The report provides pictures of the tree, along with a photo of a nearby live oak for comparison. Descriptors of the photos state that the tree exists in a state of decline, and that there are many dead and dying branches present throughout the canopy. It concludes by stating that this tree cannot be helped and that it should be removed.

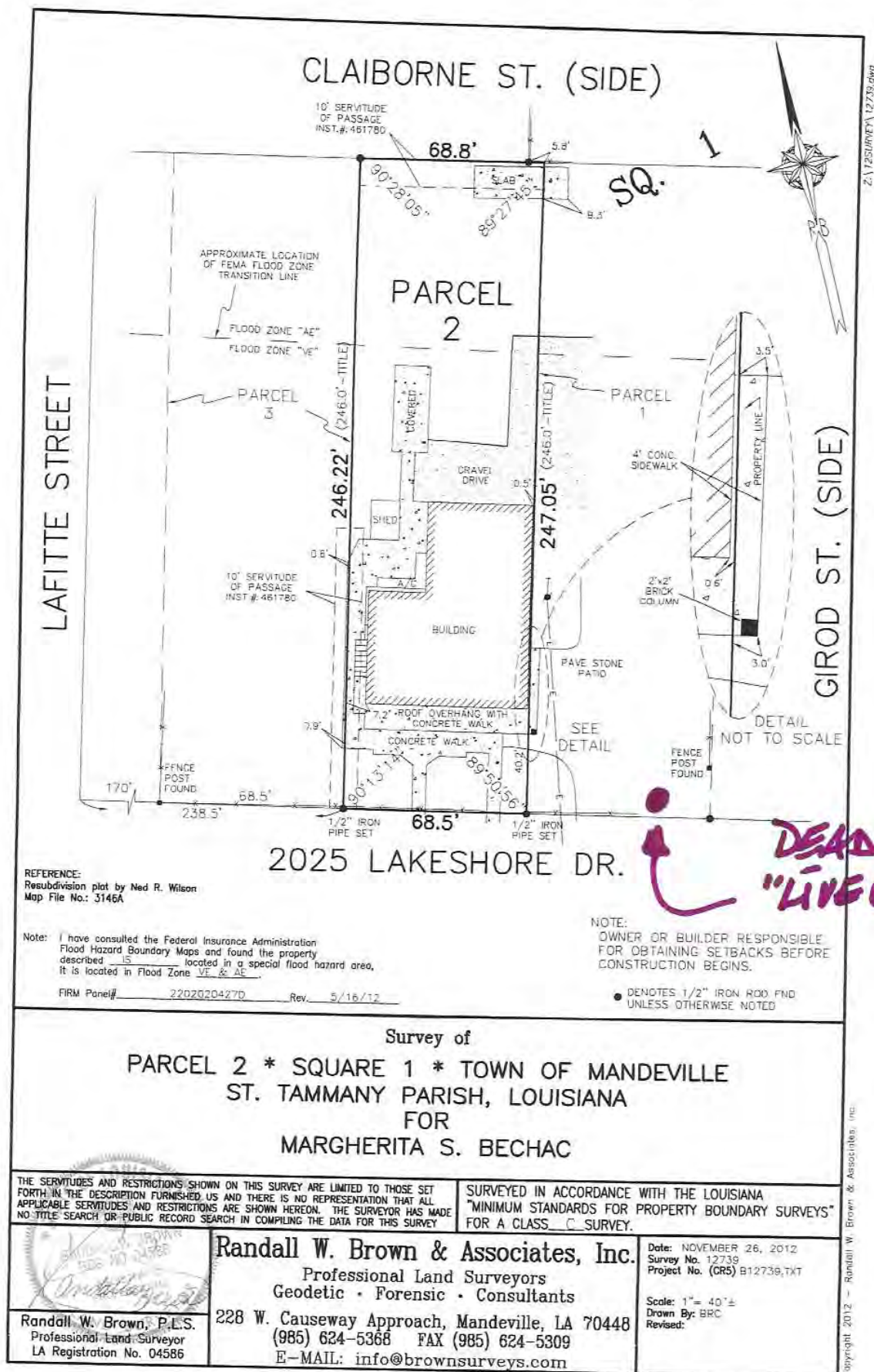
CLURO SECTIONS:  
9.2.5.7. Live Oak Protection Requirements

In all zoning districts, including the R-1, R-1X and R-2 districts, all live oak trees 6" dbh shall be protected as follows:

1. A tree removal permit shall be obtained from the Building Inspector prior to cutting, clearing or removing any live oak tree.
2. The applicant wishing to remove a live oak tree must state in writing that such activity will enhance the health, safety and welfare of the public, or otherwise benefit the public interest and the applicant must offer evidence to that effect. The Building Inspector is empowered to issue or deny the permit based on the application and the evidence. Prior to the issuance of a tree removal permit the applicant must submit a plan or written statement offering evidence of compliance with the tree replacement provisions of this Article.
3. It shall be unlawful for any person to place soil in such a way that would cause live oaks to become diseased or die. If filling with soil is necessary to properly drain the land, all efforts should be made to protect the area within the drip line of a live oak from the impact of such activity. Should all efforts fail and a tree removal permit be issued for the removal of the live oak the provisions of these regulations regarding replacement of trees shall be required to be met.
4. A tree removal permit will be required to prune the primary and secondary branches of any live oak tree 12" dbh or greater. Such pruning shall be required to be recommended in writing and supervised by a licensed arborist or a state forester.









**Malcolm Guidry**  
**Professional Consulting Arborist**  
**P. O. Box 503**  
**Covington, LA 70434**  
**985-630-6391**

August 24, 2025

Mr. Dennis Bechac  
661 Magnolia Ridge Drive  
Mandeville, L 70448

Re: Current state of health and Structural condition of the live oak tree located at front right corner of the Bechac Restaurant, 2025 Lakeshore drive, Mandeville, Louisiana

Dear Mr. Bechac,

As you requested, I met with you on 8/16/25, at which time we conducted an inspection of the live Oak tree at issue with respect to the matter as referenced above.

### **Assignment**

During the time of our inspection you asked that I assess the condition of the tree and that of the possibility of reversing the health of the tree , and if by chance the tree can be saved provide a listing of recommended therapies as to what, when, and how such practices would be of best benefit to the tree. Additionally, you asked that I provide my findings to you in the form of a written report.

### **Observations**

- Tree at issue.....Southern live Oak (Quercus virginiana)
- Trunk diameter.....28"
- Location of tree.....Right front corner of property at the sidewalk
- Health..... Severe state of decline
- Structural condition.....In decline/dead branches over sidewalk
- Risk of failure.....Branches
- Expected future life.....None
- Age.....<85
- Therapies.....None recommended.
- Recommended action.....Remove the tree

## Discussion

There is an old expression, where there is life there is hope, but not for this tree. Efforts to have had benefits to save this tree have long passed many years ago. The tree that was once green and healthy no longer exists. Its beauty and dignity no longer exist. Currently, there exists a very unsightly tree. The current condition of the branched architecture of the tree consists of a few branches which exhibit stress sprouts which is an attempt by the tree to survive. Additionally, there is likely chance of harm to people on the sidewalk beneath the tree where these branches will fall.

Regarding the health and structural condition of the tree, one only needs to see the tree to know the tree is dying. The demise of the tree had everything to do with hard compacted soil which has existed for a very long time beneath its canopy. This problem is not fixable. To do so would require complete replacing of the soil within the root area of the tree. Such an effort at this time would be of little to no benefit to the tree..

(See picture of tree, Photograph A, page 3)

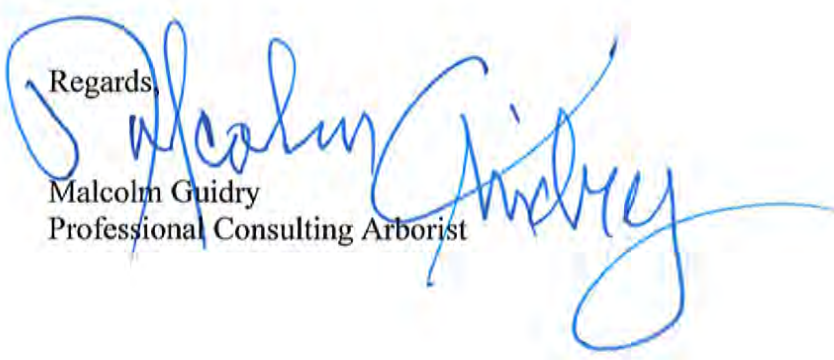
In essence, few leaves which exist on the tree means there exist few roots in the ground.  
(See dead limbs, photograph B, page 4)

## Conclusion

An easily observable difference of the tree at issue as seen in photographs A and B, compared to tree C in Photograph B, page 4 clearly shows the difference between life and death. Based upon my long years of experience as a professional consulting arborist, it is my opinion, the tree cannot be helped, the tree should be removed.

Regards,

Malcolm Guidry  
Professional Consulting Arborist



## Photograph A



A

**The tree exists in a state of decline, note arrows pointing to dead and dying branches.**

**Few branches exhibit stress sprouts which will continue to decline in time.**

**Use of the sidewalk, there exists risk of harm to people from dead limbs falling from a dying tree**



## Photograph B



### B

Dead and dying branches exist throughout the canopy of the tree.

This photo, as well as photograph A shows a tree in last stages of life.

Note tree C in this photograph.

Comparing tree at issue to tree noted as C, the trees speaks well as to the fate of the Bechac Oak at issue



CASE SUMMARY SHEET

CASE NUMBER: V25-10-24  
DATE RECEIVED: September 12, 2025  
DATE OF MEETING: October 14, 2025 and October 28, 2025

Address: 234 Lafitte  
Subdivision: Old Town of Mandeville, Square 25B Lot C  
Zoning District: B-3 Old Mandeville Business District  
Property Owner: Sherry Hubbard

REQUEST: Sherry Hubbard requests a variance to CLURO Section 7.5.10.3. B-3 Site Development Regulations, Old Town of Mandeville, Square 25B Lot C, B-3 Old Mandeville Business District, 234 Lafitte

CASE SUMMARY: Encroach 3’-5” into the south side setback to construct an addition to the structure

The property at 234 Lafitte Street is located on the west side of Lafitte St., south of Jefferson St., east of Carroll St., and north of Claiborne St. The property measures 56’ x 179’ and contains 10,024 sqft per a survey prepared by BFM Corporation, LLC and dated 5.19.2025. The property is currently improved with a single-family residence.

The property owner is wanting to construct an addition to the existing residence. The proposed addition will encroach 3’-5” into the south side setback, leaving a setback of 6’-7”. The property has a frontage of 56’ requiring side setbacks of 10’. The application states that the reason for the encroachment is to allow for a 10’-10” driveway beneath the addition to provide vehicular access to the rear of the property.

	Required	Proposed	Encroachment
Front Setback	15’	15’	0’
Rear Setback	20’	20’	0’
North Side Setback	10’	10’	0’
South Side Setback	10’	6’-7”	3’-5”

The structure is located within the Historic District so all exterior changes will have to be reviewed and approved by the Historic Preservation District Commission.

CLURO SECTIONS:  
7.5.10.3. B-3 Site Development Regulations

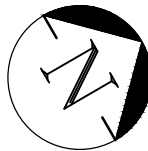
Each development site in the B-3 Old Mandeville Business District shall be subject to the site development regulations established in Exhibit 7.5.10., in addition to any other applicable regulations under the provisions of this CLURO or any other laws of the City, state or federal government. Section 8.1 establishes additional rules for application of lot and area requirements. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

Site Development Factor	Standard	Comments
Minimum Lot Area	7,200 square feet	
Gross Lot Area Per Multi-Family Dwelling Unit	5,500 square feet	
Minimum Building Floor Area	800 square feet	
Maximum Building Ground Floor Area	5,000 square feet	No floor shall exceed this maximum floor area unless the Zoning Commission finds that the building meets the criteria established in section 7.5.10.2.3.
Minimum Lot Width	60 feet	The Planning Director may reduce dimensions by up to 10 percent as an exception if the minimum lot area requirements are met.
Minimum Lot Depth	120 feet	
Minimum Front Setback along Lakeshore Drive	25 feet	
Front Setback along all other Streets	The average of existing setbacks on the nearest two lots, but not less than 10 feet or more than 15 feet	Exceptions to maximum setbacks shall be allowed for courtyards and outdoor dining areas
Minimum Side Street Setback	15 feet	
Minimum Interior Side Setback*	20 feet if side abuts a lot with residential zoning	No setback is required for commercial buildings that extend across a property line or constructed with a firewall on the property line that complies with adopted building codes. The Planning Director may grant an exception for the elevation of existing primary structures where

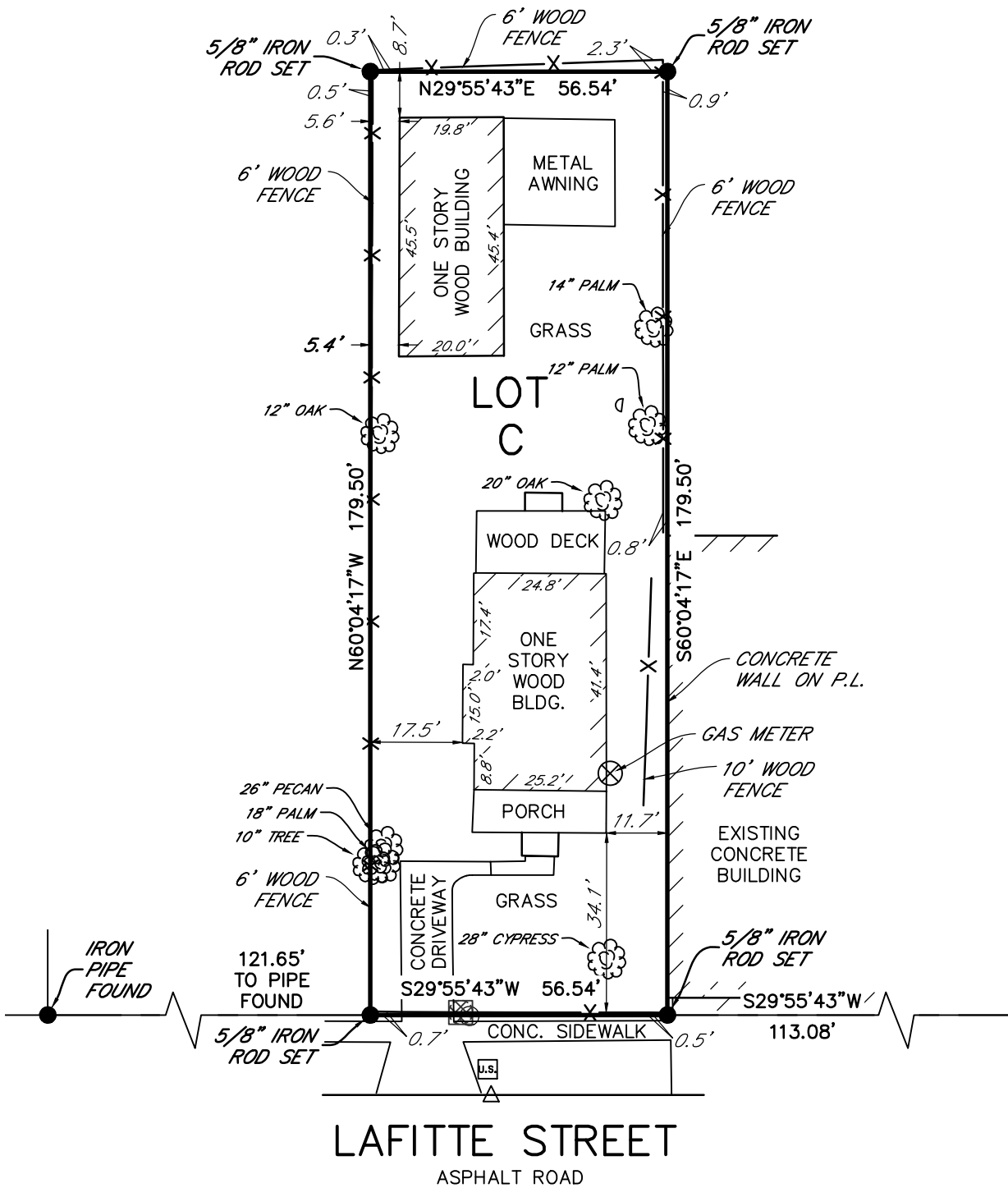
		relocation of the building or mechanical equipment are impractical.
i. Frontage up to 50'	8' each side	
ii. Frontage between 51' – 60'	10' each side	
iii. Frontage between 61' – 75'	12' each side	
iv. Frontage between 76' – 80'	13' each side	
v. Frontage between 81' – 90'	15' each side	
vi. Frontage between 91' – 100'	16' each side	
vii. Frontage between 101' -110'	18' each side	
viii. Frontage between 111' - +'	20' each side	
Minimum Rear Setback	20 feet	
Mechanical Appurtenances	All mechanical appurtenances elevated more than 3 feet above grade shall comply with required building setbacks and shall be screened in accordance with Article 9 if located in the front or side yard, regardless of elevation.	The Planning Director may grant an exception for mechanical appurtenance setback encroachments when an existing primary structure is elevated and relocation of the building or mechanical equipment is impractical.
Maximum Structure Height	35 feet	See section 8.1.1 for additional rules regarding Structure Height
Maximum Impervious Site Coverage	75%	

\*The side yard setbacks of the site may be shifted into the opposite side yard by up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.





GRID NORTH  
NORTH REFERENCED TO  
LOUISIANA STATE PLANE  
COORDINATE SYSTEM  
SOUTH ZONE, NAD 83



JEFFERSON STREET

REFERENCE MAPS:

SURVEY OF LOT C, SQUARE 25-B, TOWN OF MANDEVILLE, BY GILBERT, KELLY & COUTRUIE', INC., DATED SEPT. 26, 1974.

SURVEY OF A 0.27 ACRE PORTION OF SQUARE 25-B, TOWN OF MANDEVILLE, BY J.V. BURKES & ASSOCIATES, INC., DATED 03/02/2012, DRAWING NO. 20120071.

NOTE:  
BEARINGS SHOWN ARE BASED ON LOUISIANA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83.

BOUNDARY AND IMPROVEMENT SURVEY  
OF LOT C, SQUARE 25-B,  
IN THE TOWN OF MANDEVILLE,  
ST. TAMMANY PARISH, LOUISIANA

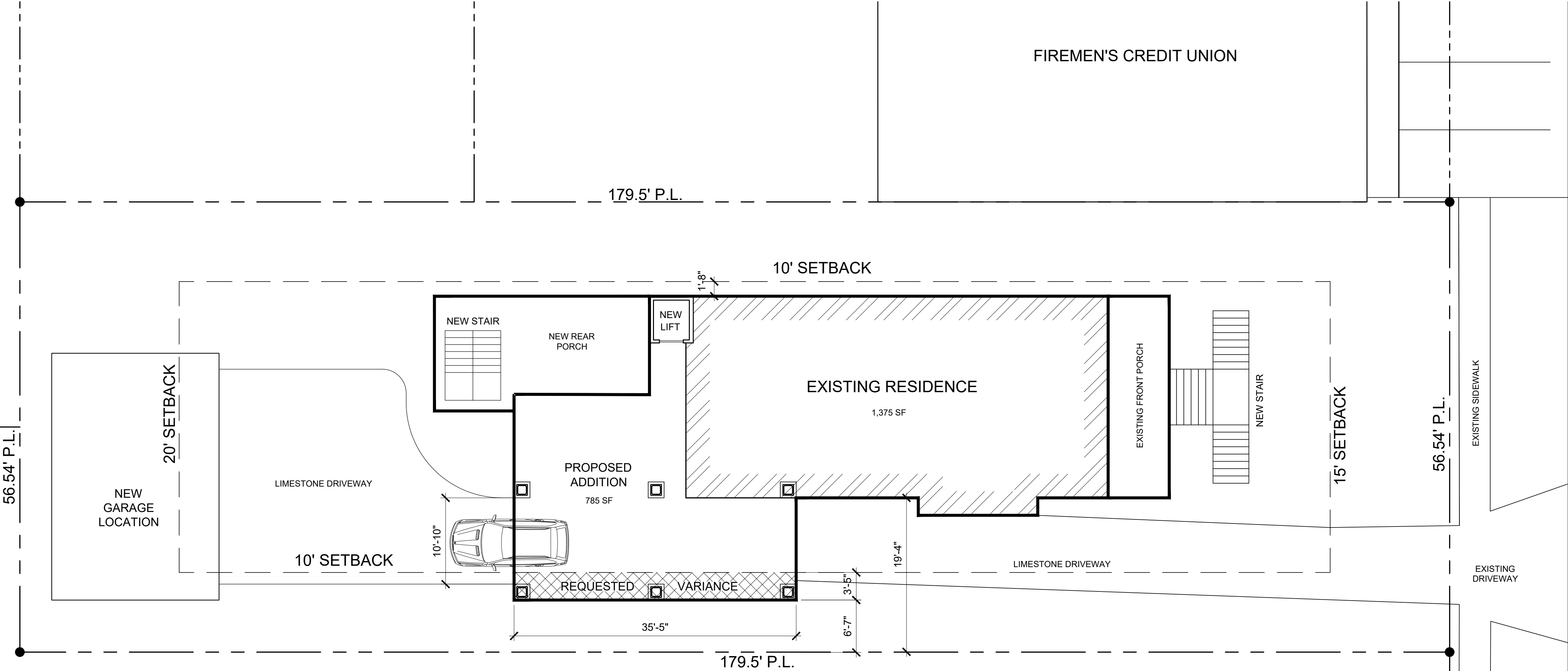
I certify that this plat represents an actual ground survey made by me or under my direction, and it does conform to the requirements for the Minimum Standards for Property Boundary Surveys as found in Louisiana Administrative Code TITLE 46: LXI, Chapter 29 for a Class C survey.

BILL HUBBARD

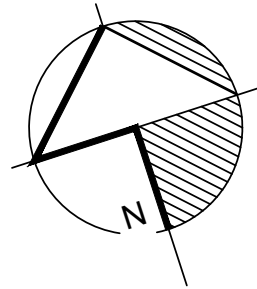
SCALE: 1" = 30'	DRAWN BY: APW CHECKED BY: GJL	DATE 5/19/2025
FILE NAME: 10918 PROJECT No: 10918		

**BFM**  
CORPORATION LLC  
A PROFESSIONAL LAND SURVEYING COMPANY

15 Veterans Memorial Boulevard  
Kenner, Louisiana 70062  
(504) 468-8800 (504) 467-0065  
www.bfmcorporation.com info@bfmcorporation.com  
GARY J. LAMBERT, JR.  
License No. 5259  
PROFESSIONAL  
AND SURVEYOR  
REGISTERED PROFESSIONAL LAND SURVEYOR



1 SITE PLAN  
1/8" = 1'-0"





CASE SUMMARY SHEET

CASE NUMBER: V25-10-25  
DATE RECEIVED: September 15, 2025  
DATE OF MEETING: October 14, 2025 and October 28, 2025

Address: 435 Atalin  
Subdivision: Old Town of Mandeville, Square 77 Lots 5 & 6  
Zoning District: R-1 Single Family Residential District  
Property Owner: Alejandro Gonzalez

REQUEST: V25-10-25 – Alejandro Gonzalez requests a variance to CLURO Section 9.2.5.7. Live Oak Protection Requirements, Old Town of Mandeville, Square 77 Lot 5 & 6, R-1 Single Family Residential District, 435 Atalin

PREVIOUS CASES: V17-12-32 – Site Development Criteria & Live Oak Encroachment  
V25-03-05 – Live Oak Encroachment & Accessory Structure Location

CASE SUMMARY: Remove a 40” dbh live oak tree

The applicant owns the property at 435 Atalin St, located on the corner of Atalin St. and Monroe St. The property measures 160’ x 212’ and contains 33,920 sqft per a survey prepared by John Bonneau & Associates and dated 10.20.2017. The property is currently improved with a single-family residence.

There are 4 live oak trees on the property. The applicant is requesting to remove the live oak closest to the front property line and measuring 40” dbh. An arborist report written by Ladson Poole of ArborWorks was submitted by the applicant.

The report states that a site visit was conducted on September 3<sup>rd</sup>, 2025, and an assessment was performed on the tree in question. The report states that the tree has an approximate 30<sup>o</sup> lean towards the house and contains a significant amount of deadwood in the tree canopy. In addition to the deadwood the report also states that there are multiple large pockets of decay and hollows located near the base of the trunk as well as at the root crown. These hollows extend about 80% - 85% of the diameter of the root flare. There are also multiple targets within striking distance of the tree, including the house, parking area, and two other live oak trees.

The report concludes with the recommendation of removal of the tree, citing the amount of decay and wood loss, the proximity of targets within the area, and the signs of decline present in the tree. The report states that industry best management practices call for removal when targets are present and a third or more of the trunk is decayed or rotted out.

CLURO SECTIONS:  
9.2.5.7. Live Oak Protection Requirements

In all zoning districts, including the R-1, R-1X and R-2 districts, all live oak trees 6" dbh shall be protected as follows:

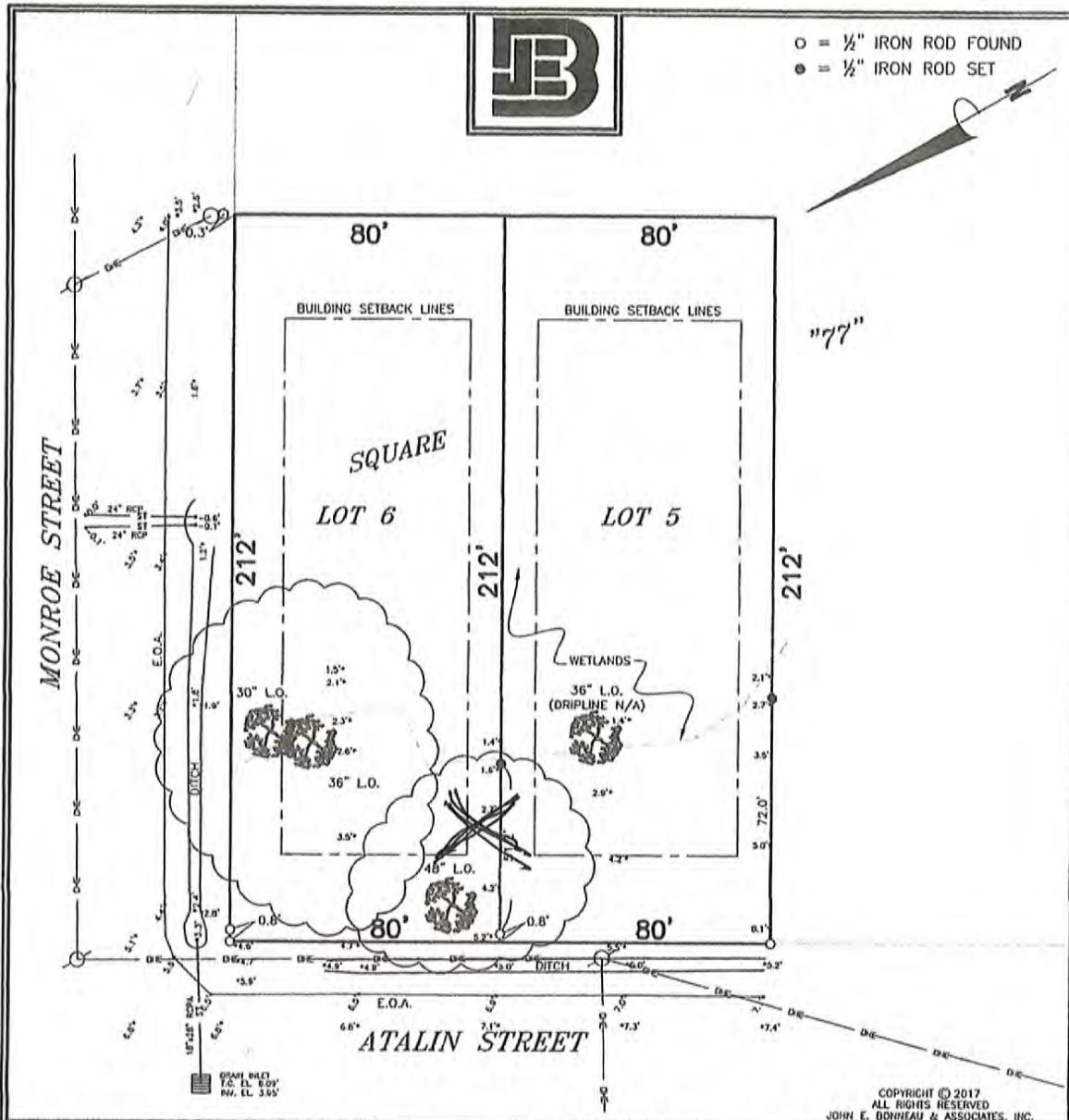
1. A tree removal permit shall be obtained from the Building Inspector prior to cutting, clearing or removing any live oak tree.
2. The applicant wishing to remove a live oak tree must state in writing that such activity will enhance the health, safety and welfare of the public, or otherwise benefit the public interest and the applicant must offer evidence to that effect. The Building Inspector is empowered to issue or deny the permit based on the application and the evidence. Prior to the issuance of a tree removal permit the applicant must submit a plan or written statement offering evidence of compliance with the tree replacement provisions of this Article.
3. It shall be unlawful for any person to place soil in such a way that would cause live oaks to become diseased or die. If filling with soil is necessary to properly drain the land, all efforts should be made to protect the area within the drip line of a live oak from the impact of such activity. Should all efforts fail and a tree removal permit be issued for the removal of the live oak the provisions of these regulations regarding replacement of trees shall be required to be met.
4. A tree removal permit will be required to prune the primary and secondary branches of any live oak tree 12" dbh or greater. Such pruning shall be required to be recommended in writing and supervised by a licensed arborist or a state forester.







○ = 1/2" IRON ROD FOUND  
● = 1/2" IRON ROD SET



**BUILDING SETBACKS:**

FRONT: 25'  
SIDE: 10'  
SIDE STREET: 15'  
REAR: 30'

**NOTE:**

The Interior Angles are 90°.

**REFERENCE SURVEY:**

A survey by Fontcuberta Surveys with  
job no. 987001 dated 10-13-98.

**BASIS FOR DEARINGS:**

The Reference Survey.

**FLOODZONE NOTE:** This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "AE" with a Base Flood Elevation of 10' + 2' = 12' in accordance with Community Panel No. 220202 0431 D; Revised: MAY 16, 2012

**NOTE:** Setback lines shall be verified by owner or contractor prior to any construction, as an abstract has not been performed by the undersigned.

**NOTE:** Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

**NOTE:** This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS D SURVEY.

**SURVEY MAP OF**

**LOTS 5 & 6, SQUARE 77, TOWN OF MANDEVILLE**

in the

City of Mandeville

St. Tammany Parish, Louisiana

for

**ALEJANDRO GONZALEZ**

Survey No. 2017 444

Drawn by: SPH

Scale: 1" = 40'

Date: OCTOBER 20, 2017

Revised:

This Survey is Certified  
True and Correct by

**JOHN E. BONNEAU & ASSOCIATES, INC.**

Professional Land Surveyors

Planners and Consultants

1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471

(985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778

www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

**JOHN E. BONNEAU**

License No. 4423

PROFESSIONAL

John E. Bonneau  
Professional Land Surveyor  
Registration No. 4423



## To Whom It May Concern,

### Property

435 Atalin St  
Mandeville, LA 70448

In September of 2025, Mr Alex Gonzalez contacted ArborWorks LLC to request a professional arborist assessment of a live oak tree on his property. On the phone, Mr Gonzalez indicated that another arborist informed him that the live oak in question showed evidence of “termite infestation” and would need to be removed. Mr Gonzalez, after hearing this news, called ArborWorks in order to get a second opinion from an ISA Certified Arborist.

I visited the property on September 3rd of 2025 and conducted a Level 1 Arborist Assessment. The tree in question is a large live oak (*Quercus virginiana*) located on the western edge of the lot. The tree has a 40 inch DBH and is approximately 45 to 50 feet tall. There is an approximate 30 degree lean towards the house. The entire canopy is growing in the direction of the lean, likely as a result of phototropic growth. The canopy is thinning and contains a significant amount of deadwood, indicating stress and decline. There are multiple, large pockets of decay and hollows located near the base of the trunk as well as at the root crown. Approximately 80% to 90% of the root crown and heartwood is completely gone on the tension side of the lean near the base - this hollow extends through 80% to 85% of the complete diameter of the root flare (this approximate measurement was taken using a probe through multiple hollow openings and from multiple angles). There are multiple targets within striking distance of the tree, including the house, driveway, parking area, and 2 additional large live oak trees that are located on the lot.

I observed zero evidence or signs of termite infestation

Unfortunately, I recommend removal by a licensed, fully insured, and competent arborist as soon as possible. This is due to the significant amount of decay and wood loss, the lean towards valuable targets and life, and the signs of decline. A hollowed out root crown indicates significant decay, posing a potential safety hazard, particularly during storms. Industry Best Management Practices call for removal when targets are present and a third or more of the trunk is decayed/rotted out.



Please see attached pictures and disclaimer. If you have any questions or concerns, or require additional information please contact me.

Best Regards,

Ladson Poole  
ArborWorks LLC  
ISA Certified Arborist - SO-11097A  
LA Licensed Arborist - 2469  
Lpoole@arbor-works.com































## **Disclaimer**

Arborists are tree specialists who use their education, knowledge, training, experience, and research to examine trees and woodlands. Arborists recommend measures to enhance the beauty and health of trees and forests, while attempting to reduce the risk of living near them. Clients may choose to accept or disregard the recommendations of the arborist or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms subject to attack by disease, insects, fungi and other forces of nature. There are some inherent risks with trees that cannot be predicted with any degree of certainty, even by a skilled and experienced arborist. Arborists cannot predict acts of nature including, without limitation, storms of sufficient strength, which can cause even a healthy tree to fail. Any entity that develops land and builds structures with a tree in the vicinity should be aware and inform future residents of the risks of living with trees and this arborist's disclaimer.

Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like medical care, cannot be guaranteed. In addition, construction activities are hazardous to trees and cause many short and long-term injuries, which can cause trees to die or topple either in the short term or over many years or decades.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services, such as property boundaries, property ownership, disputes between neighbors, and other issues. Consulting arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist by the client. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Neither the author nor ArborWorks LLC has assumed any responsibility for liability associated with the tree(s) on or adjacent to this project site, their future demise and/or any damage, which may result from them. To live near trees is to accept some degree of risk.

CASE SUMMARY SHEET

CASE NUMBER: V25-10-26  
DATE RECEIVED: September 25, 2025  
DATE OF MEETING: October 14, 2025 and October 28, 2025

Address: 639 Lotus Dr. N  
Subdivision: Beau Rivage Village, Lot 16  
Zoning District: B-2 Highway Business District  
Property Owner: Paul Clark

REQUEST: V25-10-26 – Paul Clark represented by Charles Walker Jr., requests a variance to CLURO Sections 7.5.9.3. B-2 Site Development Regulations and 9.2.5.5 Landscape Requirements in Districts Other than Low-Density Residential, Beau Rivage Village, Lot 16, B-2 Highway Business District, 639 Lotus Dr. N

CASE SUMMARY: Landscape and site development criteria variances for the development of a legal nonconforming lot

The applicant is looking to purchase and develop the property at 639 Lotus Dr. N. located along Lotus Dr. N just off of W Causeway Approach. The property is slightly irregular in shape, measuring 104’ along Lotus Dr N, 93’ along the rear property line, and 225’ along the sides containing approximately 22,233 sqft per a survey prepared by Randall Brown & Associates and dated 2.01.2001.

The property is a legal nonconforming development. The applicant is proposing to demolish the existing front building and build a new building with two suites to be used for a hair salon and a hedge fund office. As the existing building is being demolished and a new building is being built, the site is required to come into compliance with the current regulations. Due to the nature of the site, there are practical difficulties with coming into compliance, so the applicant is requesting a variance for the following items.

Greenbelt

Regulations require that when calculating the required greenbelt area any utility servitude is excluded from the calculations. There are two servitudes located at the front of the property, one measuring 10’ and the other measuring 15’. The depth of both servitudes combined will equal the required 25’ greenbelt depth. The applicant is requesting to use the servitudes for the greenbelt calculation, rather than locate the greenbelt behind the servitudes, so that the new building can be in-line with the surrounding properties.

Site Development Criteria

The property is zoned B-2 Highway Business District which allows for a maximum impervious percentage of 75%. The site is approximately 22,233 sqft which would allow for a maximum impervious coverage of 16,675 sqft and leaving 5,558 sqft for pervious area.

The applicant is working to increase the amount of pervious area on site and is eliminating several parking spaces currently located within the proposed greenbelt area and adding a planting area between the two buildings as well as behind the existing building in the rear. Based upon the submitted site plan there will be 1,934 sqft of pervious area. The applicant is working on submitting a revised site plan which will identify the pervious and impervious areas.

The existing rear structure is compliant with the current setback requirements, and the proposed site will be compliant with parking requirements. A drainage plan and landscape plan have not yet been submitted but the applicant is aware that compliant plans will be required for a permit.

CLURO SECTIONS:

7.5.9.3. B-2 Site Development Regulations

Each development site in the B-2 Highway Business District shall be subject to the following site development regulations in addition to any other applicable regulations under the provisions of this Land Use Regulations Ordinance or any other laws of the City, state or federal government. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

1. Minimum lot area	15,000 Square feet
2. Unit Size	
a. Minimum	800 Square feet (1)
b. Maximum	65,000 Square feet
3. Maximum Building Size	100,000 Square feet (2)
4. Minimum lot width	150' (3)
5. Minimum lot depth	100' (3)
6. Minimum Yard Setback Requirements	
c. Front Yard	25’ or Required depth of greenbelt, whichever is greater
d. Street Side or Rear Yard	15’ or Required depth of greenbelt, whichever is greater
e. Interior Side or Rear Yard	
1) Adjacent to Residential Districts	20'
2) Adjacent to Other Districts	5' or



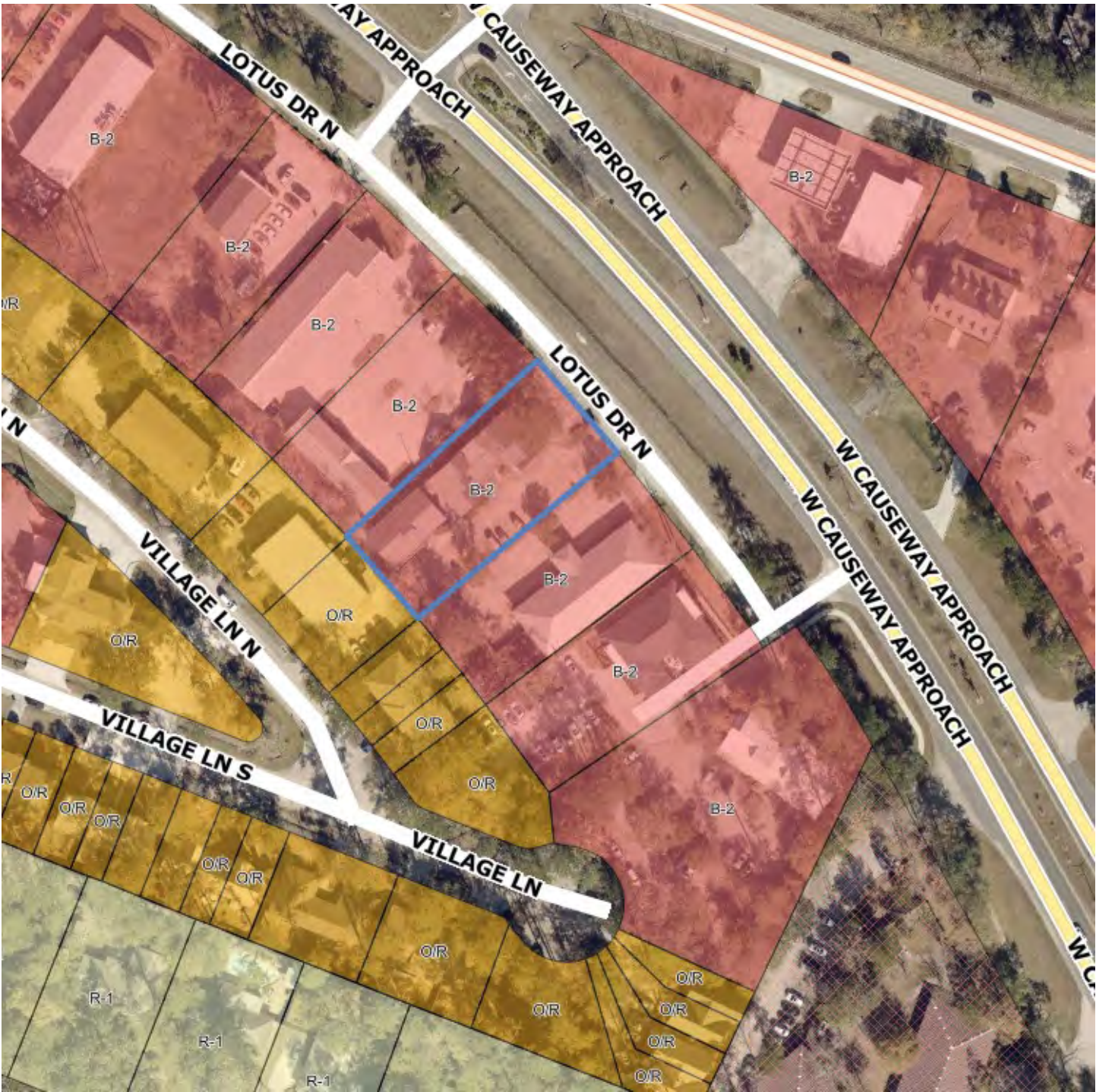
3) With firewall at property line 0'	
7. Maximum Height of Structures	35'
8. Maximum Impervious Site Coverage	75%
9. Minimum District Size	40,000 Square feet
<i>(1) Minimum building size may be reduced subject to issuance of a Special Use Permit.</i> <i>(2) Multiple buildings may be linked by covered breezeways or a single continuous shopping center up to 100,000 square feet of floor area may be developed, provided that each commercial unit has an independent outdoor access and that no commercial unit exceeds 65,000 square feet.</i> <i>(3) Minimum lot depth and width may be reduced by the Planning Commission through the subdivision process provided that the applicant demonstrates that the minimum lot area and setbacks can be met.</i>	

**9.2.5.5. Landscape Requirements in Districts Other than Low-Density Residential**

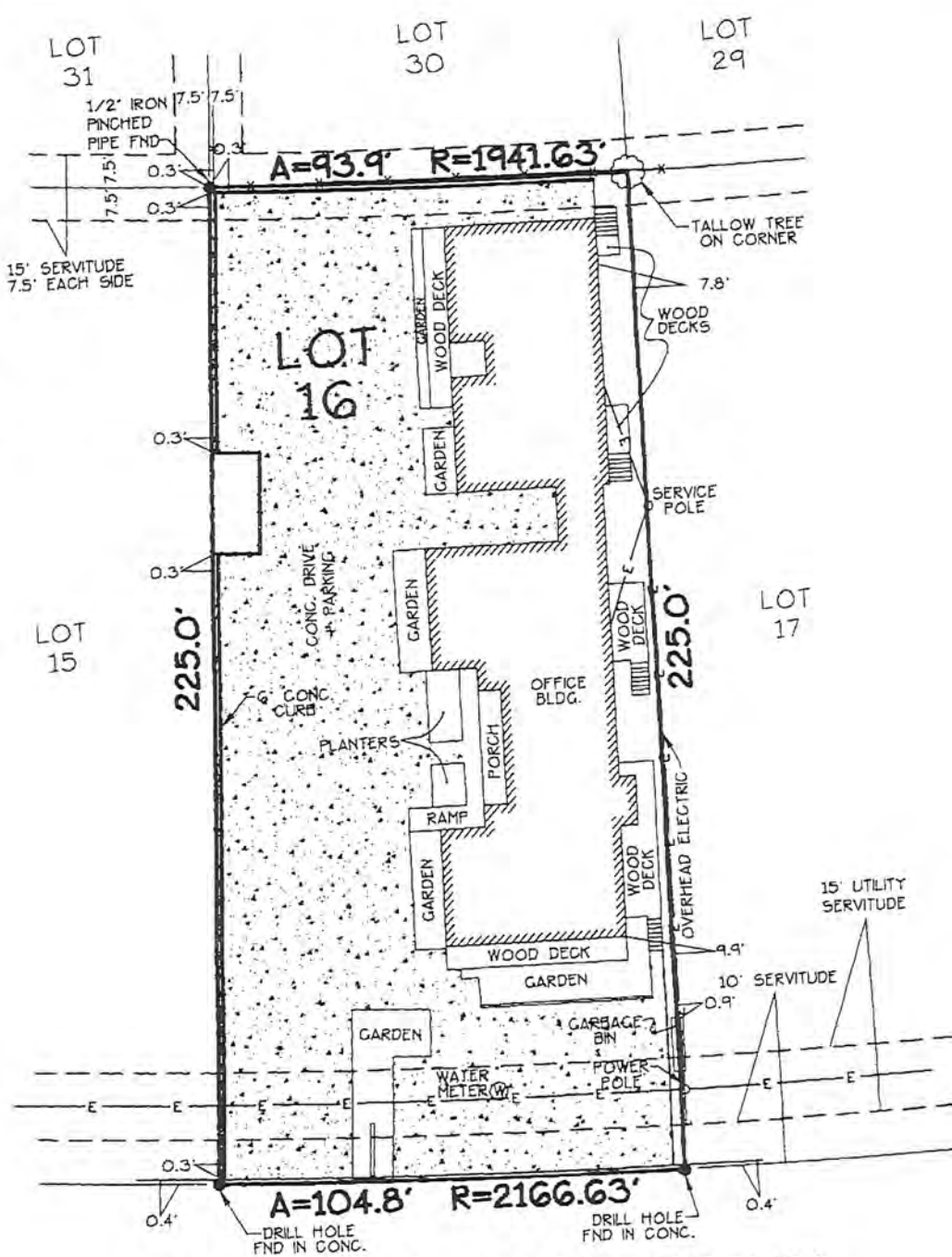
The requirements of this Article shall apply to all zoning districts other than R-1, R-1X and R-2 residential districts, with the exception of the Live Oak Protection requirements in section 9.2.5.7, which apply in all zoning districts. In all zoning districts other than R-1, R-1X and R-2, development sites shall be required to meet the minimum requirements as specified by this Article for Landscaping within the periphery landscape areas, interior planting areas and buffer areas. All required plant materials shall be installed or preserved in accordance with this Article and the landscape inspector shall inspect the required landscaping to verify adherence to code and the landscape plan approved in conjunction with the permit prior to the issuance of a Certificate of Occupancy.

**1. Periphery Landscape (Greenbelt) Requirements**

- a. Required Area of Greenbelt - In all zoning districts other than the R-1, R-1X and R-2 districts, a periphery landscape area, also known as the greenbelt area, shall be required to be located adjacent to the property line of the right-of-way of any public street, road, lane, or other public accessway (excluding an alley) upon which the site fronts. In calculating the required greenbelt area the area of any utility servitude, either existing or proposed as part of the development permit, shall not be included as a part of the greenbelt. The required area of the greenbelt shall be calculated as an area fifteen (15) feet in depth measured at right angles from the property line edge of the street right-of-way or from the interior edge of any utility servitude which is adjacent to and parallel with the street right-of-way less the maximum allowable accessways through the greenbelt. Except in accessways and as prohibited by the utility provider's use of the utility servitude, the servitude shall also be landscaped minimally with a vegetative or decorative ground cover. On corner or through lots 347 with more than one street frontage, the greenbelt shall be required adjacent to each street frontage. The periphery area shall contain trees and vegetative or decorative ground covering material, as specified herein.







639 LOTUS DRIVE NORTH

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS NOT located in a special flood hazard area. It is located in Flood Zone C.

FIRM Panel# 220202 001C Rev. 4-4-83

Survey of  
LOT 16 • BEAU RIVAGE VILLAGE  
ST. TAMMANY PARISH, LOUISIANA  
FOR  
ROBERT JOSEPH CLARK, SR.; GUELDA MUNOZ CLARK;  
PAUL ALBERT CLARK; CENTRAL PROGRESSIVE BANK;  
LANDMARK TITLE CORPORATION &  
FIRST AMERICAN TITLE INSURANCE COMPANY

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO OTHER SEARCH OR FURTHER RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

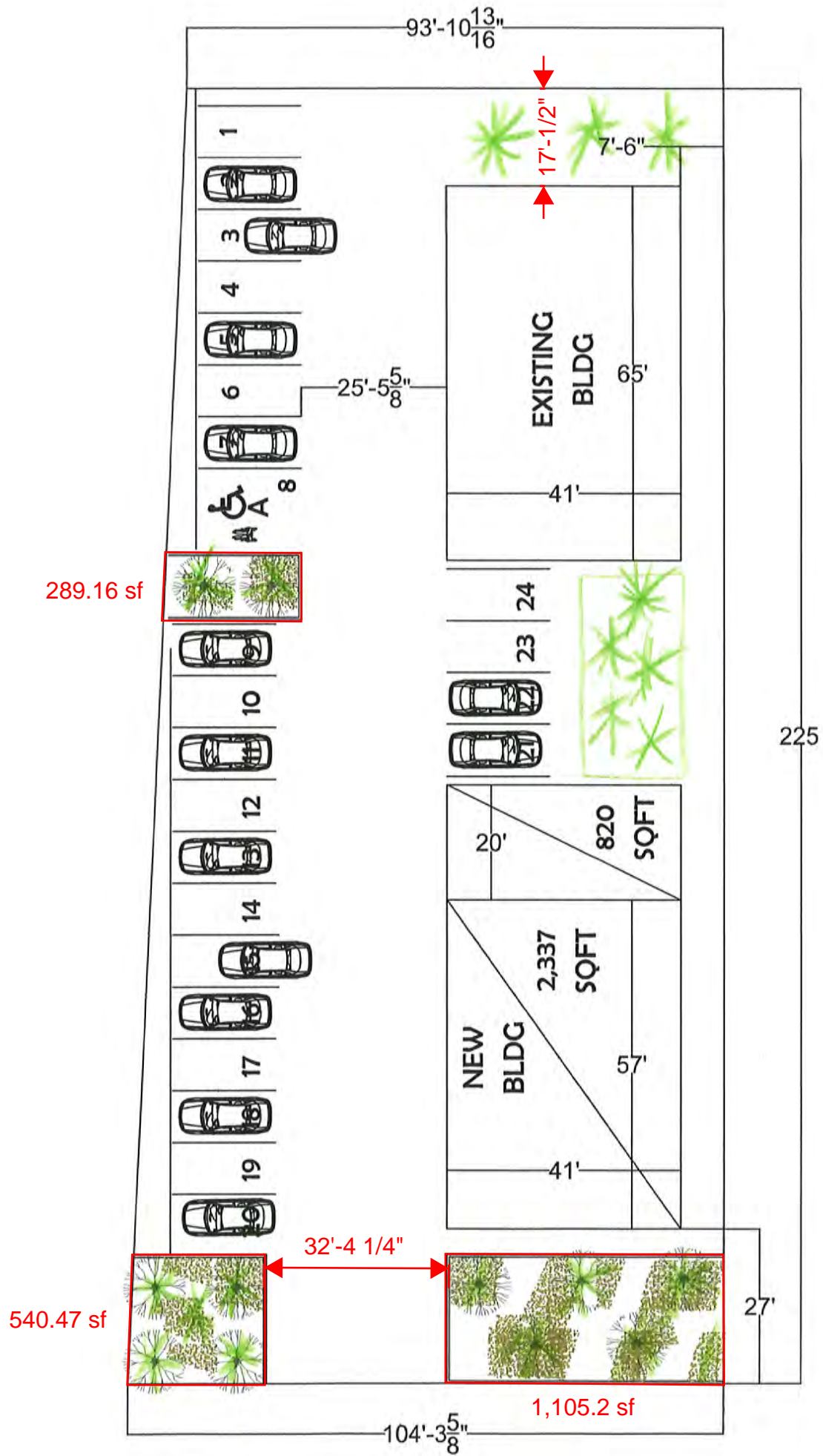
SURVEYED IN ACCORDANCE WITH THE LOUISIANA "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEY" FOR A CLASS C SURVEY.

Survey Certified and Correct By  
RANDALL W. BROWN  
P.L.S. No. 04586  
Randall W. Brown, P.L.S.  
Professional Land Surveyor  
LA Registration No. 04586

Randall W. Brown & Associates, Inc.  
Professional Land Surveyors  
Planners • Consultants  
228 W. Causeway App. Mandeville, LA 70448  
(504) 624-5368 FAX (504) 624-5309

Date: FEBRUARY 1, 2001  
Survey No. 01080  
Scale: 1"=40'±  
Drawn By: AMH  
Revised:





PARKING TABULATION		
HAIR SALON	1 SPACE PER 200 SF = 16 REQ.	16 PROVIDED

MAX IMPERVIOUS COVERAGE ALLOWED: 16,772 SF  
IMPERVIOUS COVERAGE SHOWN: 14,796 SF

This is a previous design iteration that is no longer going forward, but this plan showcases the greenbelt request

