

**CASE SUMMARY SHEET**

**CASE NUMBER: V23-11-40**

**DATE RECEIVED: October 27, 2023**

**DATE OF MEETING: November 14, 2023 and December 12, 2023**

**Address: 426 Lafitte**

**Subdivision: Old Town of Mandeville, Square 34 Lot D1-B**

**Zoning District: B-3 Old Mandeville Business District**

**Property Owner: Jason and Ashley Collier**

**REQUEST: V23-11-40/R23-11-02 – Jason and Ashley Collier request a variance to CLURO Section 7.5.10.3. B-3 Site Development Regulations and to resubdivide Lot D1-B into Lots D1-B-1 & D1-B-2, Old Town of Mandeville, Square 34 Lot D1-B, B-3 Old Mandeville Business District, 426 Lafitte Street**

**CASE SUMMARY:**

The applicants own the property at 426 Lafitte St., located on the west side of Lafitte St., east of Carroll St., north of Madison St., and south of Monroe St. The property is irregular in shape, measuring 266.45’ along the northern property line, 223.95’ along the western property line, 146.83’ along the southern property line, then north for 98.50’, east for 120’, and then 124.20’ along Lafitte St; containing a square footage of 47,717.7 per a survey prepared by Land Surveying LLC dated 9.21.2020. The property is improved with two residences.

The property was administratively resubdivided in 2020 (ADM20-11-04) to create lots D1-A and D1-B. The applicant is requesting an exception to the minimum lot width to resubdivide Lot D1-B into Lots D1-B-1 & D1-B-2. Lot D1-B-1 is a flag lot being 27.81’ wide at the street, the minimum lot width required is 60’. Should the resubdivision be approved the residences on both lots are compliant with setback requirements. The structure located on proposed Lot D1-B-2 is not compliant with the Based Flood Elevation.

Lot D1-B-1	Proposed	Required	Deficiency
<b>Width</b>	27.81’	60’	-32.82
<b>Depth</b>	145.45’	120’	+25.45’
<b>Area</b>	36,117.98 sqft	7,200 sqft	+28,917.98 sqft

Lot D1-B-2	Proposed	Required	Deficiency
<b>Width</b>	97.01’	60’	+37.01’
<b>Depth</b>	120’	120’	Compliant
<b>Area</b>	11,599.71 sqft	7,200 sqft	+4,399.71

Public Works reviewed the survey and had the following comments: Sewer and water services are already in place for the existing lots. No new services are required.

**CLURO SECTIONS:**

**7.5.10.3. B-3 Site Development Regulations**

Each development site in the B-3 Old Mandeville Business District shall be subject to the site development regulations established in Exhibit 7.5.10., in addition to any other applicable regulations under the provisions of this CLURO or any other laws of the City, state or federal government. Section 8.1 establishes additional rules for application of lot and area requirements. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

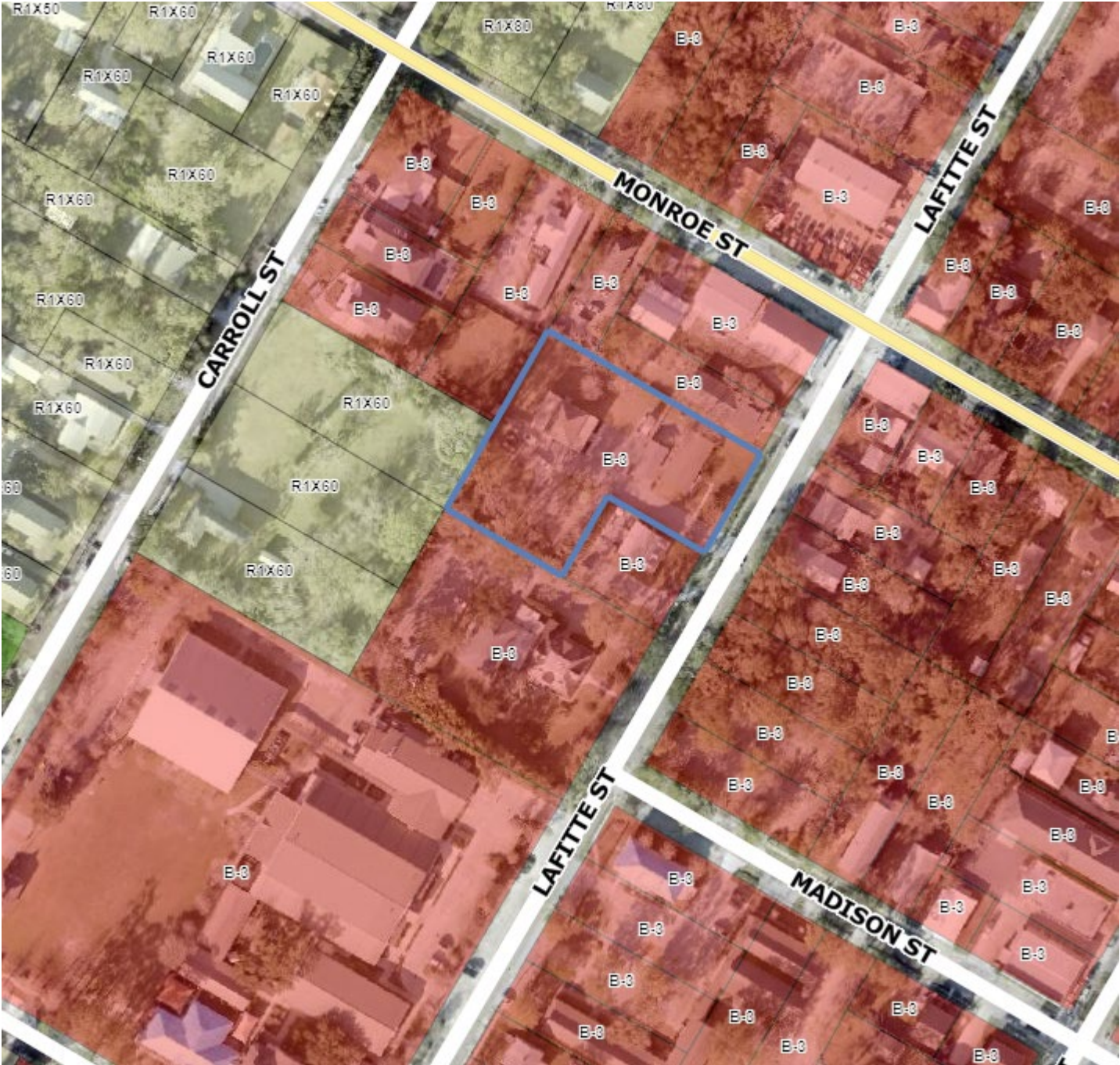
Site Development Factor	Standard	Comments
Minimum Lot Area	7,200 square feet	
Gross Lot Area Per Multi-Family Dwelling Unit	5,500 square feet	
Minimum Building Floor Area	800 square feet	
Maximum Building Ground Floor Area	5,000 square feet	No floor shall exceed this maximum floor area unless the Zoning Commission finds that the building meets the criteria established in section 7.5.10.2.3.
Minimum Lot Width	60 feet	The Planning Director may reduce dimensions by up to 10 percent as an exception if the minimum lot area requirements are met.
Minimum Lot Depth	120 feet	
Minimum Front Setback along Lakeshore Drive	25 feet	
Front Setback along all other Streets	The average of existing setbacks on the nearest two lots, but not less than 10 feet or more than 15 feet	Exceptions to maximum setbacks shall be allowed for courtyards and outdoor dining areas

Minimum Side Street Setback	15 feet	
Minimum Interior Side Setback*	20 feet if side abuts a lot with residential zoning	No setback is required for commercial buildings that extend across a property line or constructed with a firewall on the property line that complies with adopted building codes. The Planning Director may grant an exception for the elevation of existing primary structures where relocation of the building or mechanical equipment are impractical.
i. Frontage up to 50'	8' each side	
ii. Frontage between 51' – 60'	10' each side	
iii. Frontage between 61' – 75'	12' each side	
iv. Frontage between 76' – 80'	13' each side	
v. Frontage between 81' – 90'	15' each side	
<b>vi. Frontage between 91' – 100'</b>	<b>16' each side</b>	
vii. Frontage between 101' -110'	18' each side	
viii. Frontage between 111' - +'	20' each side	
Minimum Rear Setback	20 feet	
Mechanical Appurtenances	All mechanical appurtenances elevated more than 3 feet above grade shall comply with required building setbacks and shall be screened in accordance with Article 9 if located in the front or side yard, regardless of elevation.	The Planning Director may grant an exception for mechanical appurtenance setback encroachments when an existing primary structure is elevated and relocation of the building or mechanical equipment is impractical.
Maximum Structure Height	35 feet	See section 8.1.1 for additional rules regarding Structure Height
Maximum Impervious Site Coverage	75%	

\*The side yard setbacks of the site may be shifted into the opposite yard up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.

#### 8.1.1.2.-1 Setback Measurement

Setback distances shall be the shortest distance measured from the property line or street right-of-way line to a point on the Lot that is directly below the nearest extension of any part of the building that is substantially a part of the building itself and not a mere appendage to it (such as a flagpole, etc.)



## Alex Weiner

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**From:** Clifton Siverd  
**Sent:** Monday, October 30, 2023 1:25 PM  
**To:** Alex Weiner  
**Cc:** Cara Bartholomew  
**Subject:** RE: November P&Z Cases

245 Marigny

The maximum height allowed by CLURO Sec 5.2.3.2 for the ground level slab would be 6.52. The additional height is minimal and would not have impacts on neighboring properties. The proposed drainage plan would be acceptable if the height variance is granted.

426 Laffitte

Sewer and water services are already in place for the existing lots. No new services are required.

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**From:** Alex Weiner <aweiner@cityofmandeville.com>  
**Sent:** Monday, October 30, 2023 9:55 AM  
**To:** Clifton Siverd <csiverd@cityofmandeville.com>  
**Cc:** Cara Bartholomew <cbartholomew@cityofmandeville.com>  
**Subject:** November P&Z Cases

Clif,  
Good morning. There are two cases on the November Planning and Zoning agenda that we would like you to look over.

1. 245 Marigny – the applicant is requesting a fill variance to bring in 6” of additional fill to have their top of slab be at an elevation of 7’
2. 426 Lafitte – the applicant is wanting to resubdivide their property.

I have attached the submitted documents for each case. Let me know if you have any comments or need any additional information.

Thanks,

Alex Weiner, CFM  
Planning Secretary  
Department of Planning & Development  
City of Mandeville  
3101 E. Causeway Approach  
Mandeville, LA 70448  
(985) 624-3132

**Legal Description:**

**Lot D1-B-1 Square 34:**

From the intersection formed by the Westerly Right-of-way of Lafitte Street and the Southerly Right-of-way of Monroe Street run along the Westerly Right-of-way of Lafitte Street S31°20'38"W, 250.00 feet to the Point of Beginning. From the Point of Beginning continue S31°20'38"W, 24.20 feet; thence N59°54'01"W, 120.00 feet; thence S31°20'38"W, 98.50 feet; thence N59°54'01"W, 146.83 feet; thence N31°26'06"E, 223.95 feet; thence S59°37'59"E, 145.45 feet; thence S31°20'38"W, 100.00 feet; thence S59°37'59"E, 120.00 feet back to the Point of Beginning. This tract contains 35,719.44 Sq. Ft.

**Lot D1-B-2 Square 34:**

From the intersection formed by the Westerly Right-of-way of Lafitte Street and the Southerly Right-of-way of Monroe Street run along the Westerly Right-of-way of Lafitte Street S31°20'38"W, 250.00 feet to the Point of Beginning. From the Point of Beginning run N59°37'59"W, 120.00 feet; thence N31°20'38"E, 100.00 feet; thence S59°37'59"E, 120.00 feet; thence S31°20'38"W, 100.00 feet back to the Point of Beginning. This tract contains 11,997.4 Sq. Ft.

A Resubdivision of Lot D-1-B, into Lots D1-B-1 & D1-B-2, Square 34, City of Mandeville, St. Tammany Parish, Louisiana

FINAL APPROVAL

CITY ENGINEER OR PUBLIC WORKS DIR.

**\*This is a Preliminary Map and should not be used for construction, bidding, recordation, conveyance, sales, or as the basis for issuance of a permit**

CHAIRMAN OF PLANNING COMMISSION

MAYOR OF **PRELIMINARY DOCUMENT**

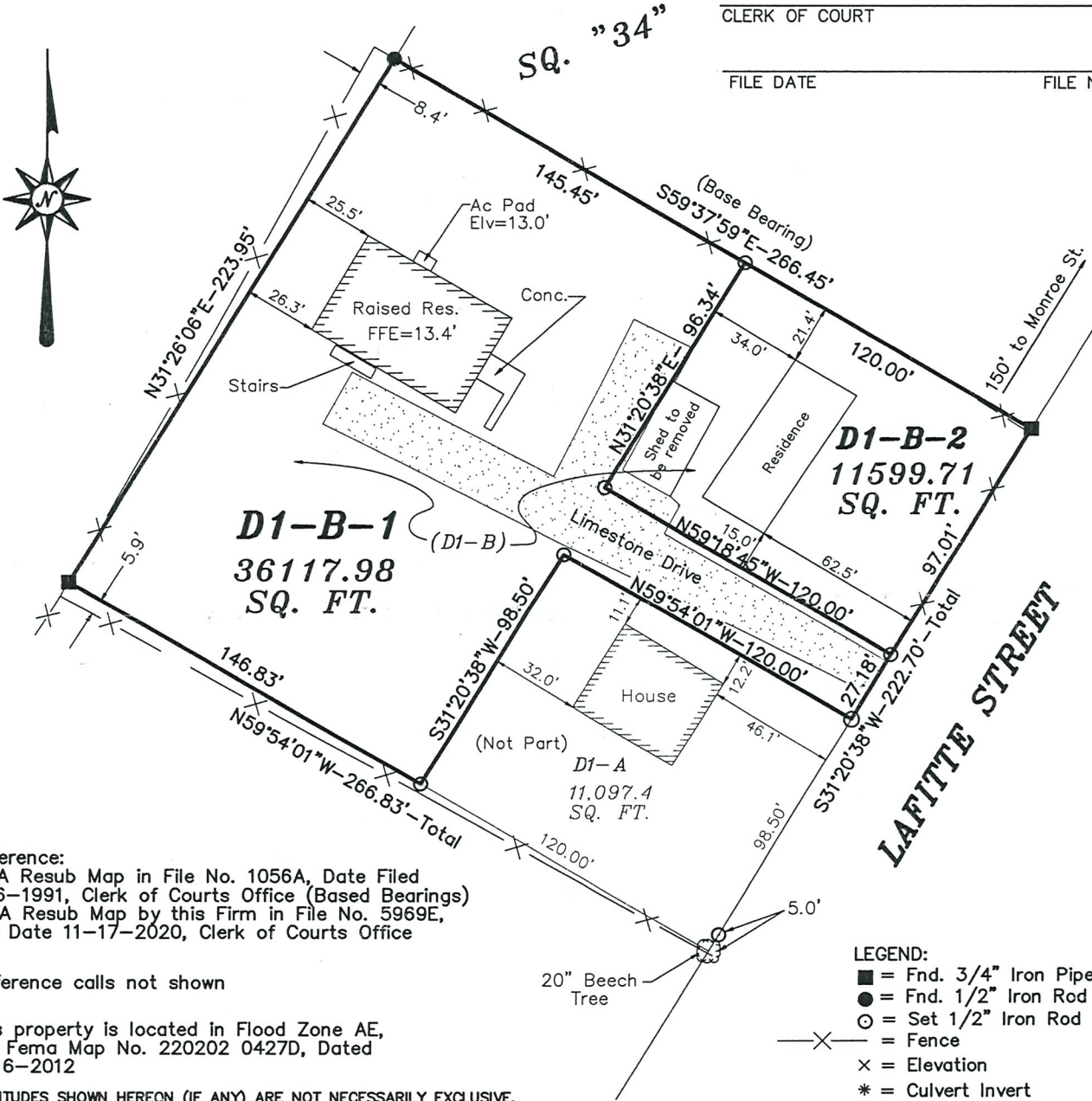
CLERK OF COURT

FILE DATE

FILE NO.

**PRELIMINARY DOCUMENT**

Note: There is no portion of this property under the 5' Contour



**Reference:**

- 1) A Resub Map in File No. 1056A, Date Filed 8-6-1991, Clerk of Courts Office (Based Bearings)
- 2) A Resub Map by this Firm in File No. 5969E, File Date 11-17-2020, Clerk of Courts Office

Reference calls not shown

This property is located in Flood Zone AE, per Fema Map No. 220202 0427D, Dated 5-16-2012

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

**LEGEND:**

- = Fnd. 3/4" Iron Pipe
- = Fnd. 1/2" Iron Rod
- ⊙ = Set 1/2" Iron Rod
- X— = Fence
- x = Elevation
- \* = Culvert Invert
- = Drain Inlet

(Must verify prior to Construction)  
 Building Setbacks  
 Front: 25'  
 Side: Combined 15', Minimum each 5'  
 Rear: 30'  
 Side Street: \*\*

MAP PREPARED FOR **JASON COLLIER**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN LOT D1-B, SQUARE 34, CITY OF MANDEVILLE, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED: SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

CERTIFIED CORRECT

**PRELIMINARY**

**LAND SURVEYING LLC**  
 518 N. Columbia Street, Covington, LA 70433  
 (985) 892-6277 office (985) 898-0355 fax  
 landsurveyingllc@gmail.com

BRUCE M. BUTLER, III  
 LOUISIANA PROFESSIONAL LAND SURVEYOR  
 LICENSE NO. 4894

SCALE: 1" = 60'

DATE: 05-31-2023

NUMBER: 21264

## CASE SUMMARY SHEET

**CASE NUMBER: SUP23-11-05****DATE RECEIVED: October 4, 2023****DATE OF MEETING: November 14, 2023 and December 12, 2023****Address: 2020 Woodrow****Subdivision: Old Town of Mandeville, Square 47 Lot 12A****Zoning District: TC Town Center District****Property Owner: Steve Lee**

**REQUEST: SUP23-11-05 – Richelle Bannon requests Special Use Approval to allow Animal Sales and Services (Limited) per the Table of Permitted Uses, CLURO Section 7.8, Old Town of Mandeville, Square 47 Lot 12A, TC Town Center District, 2020 Woodrow Street**

**PREVIOUS CASES: SUP19-05-02 – Special Use Permit for Medical Services (Suite B)  
SUP19-07-03 – Special Use Permit for a Sit-Down Restaurant (Suite A)**

**CASE SUMMARY:**

The property is located at 2020 Woodrow St., on the south side of Woodrow St., north of Livingston St., west of Girod St., and east of Lafitte St. The property measures 96.45' x 105.79' containing 10,203 square feet per a survey prepared by John Bonneau & Associates, Inc. and dated 10.06.1995. The lot is currently improved with a commercial building. The existing building is split into two suites. Suite A is currently occupied by a sit-down restaurant, Suite B is vacant. The applicant is requesting to locate a dog spa in Suite B. The use requires special use approval in the Town Center District.

**6.4.7. Animal Sales and Services (Limited)**

*Retail sales, veterinary services, outdoor kennels, grooming, and boarding when totally within a building, of dogs, cats, birds, fish, and similar small animals customarily used as household pets. Typical uses include pet stores, small animal clinics, dog bathing and clipping salons, and pet grooming shops but excluding outdoor kennels and uses for livestock and large animals.*

The applicant states that this will be a luxury DIY dog spa. There will not be any kennels or boarding at this location. A floor plan has been submitted showing that there will be 6 existing offices that will be converted into spa rooms. There will be a total of 1,690 sq. ft. for the proposed use. The Town Center District follows the B-3 Site Development Criteria.

**Landscape:**

Variances for landscaping were approved with case SUP19-05-02.

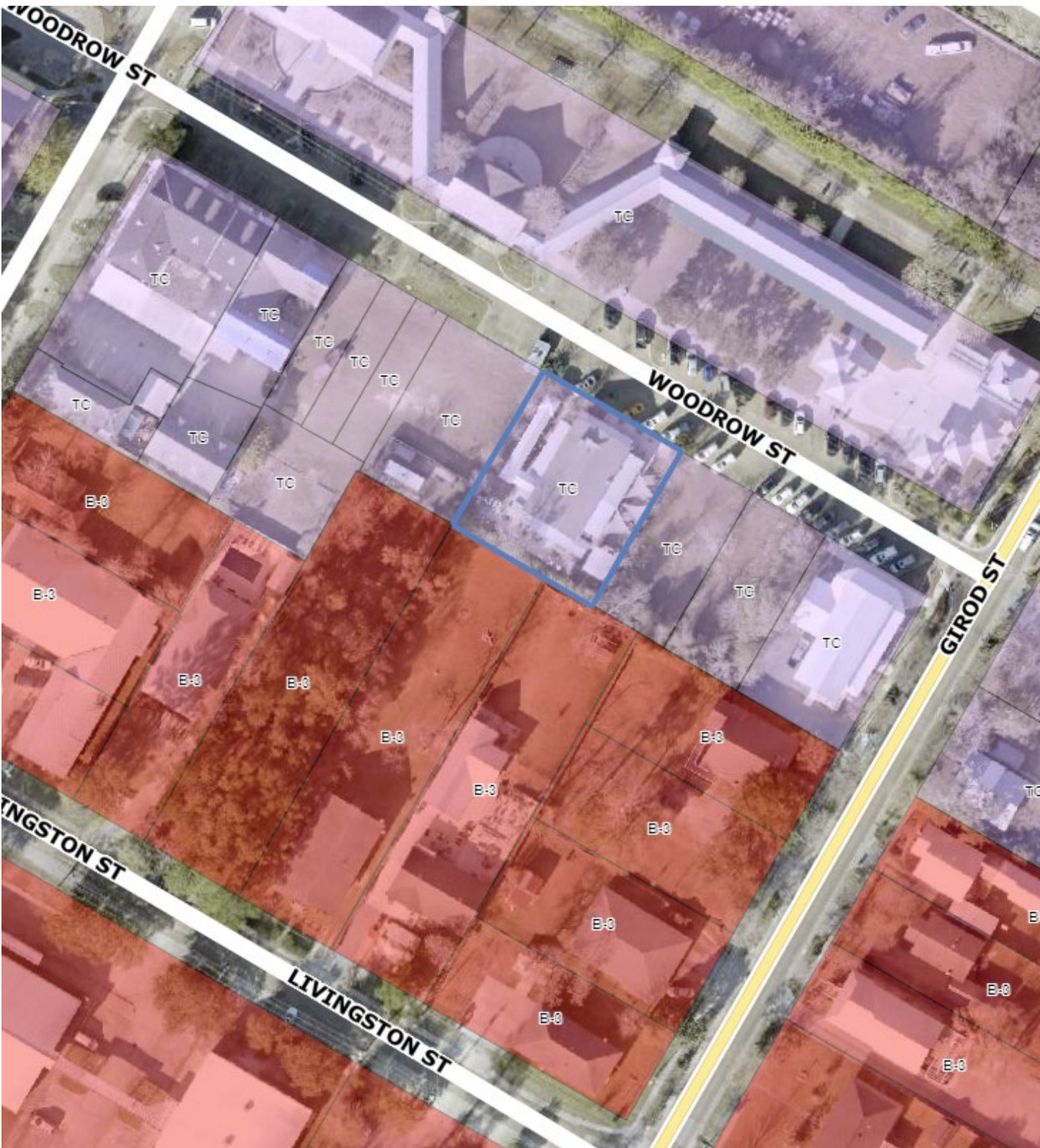
**Parking:**

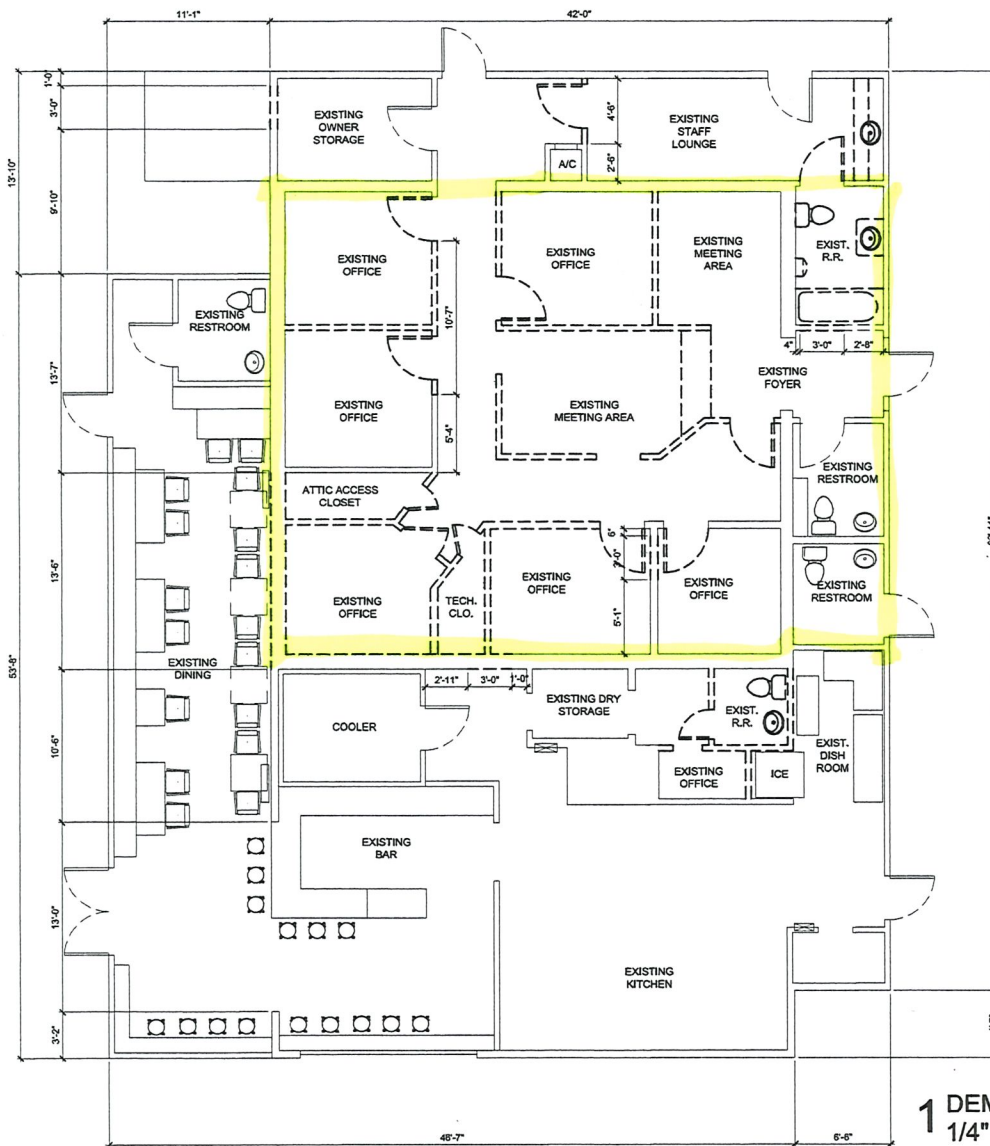
The Commission approved an exception to parking for the entire building, shown as 3,502 sqft, with the approval of case SUP19-05-02. An exception for an additional parking space required for outdoor dining was approved with SUP19-07-03.

Animal Sales & Services (Limited) requires 1 parking space per 200 sqft of gross floor area. However, parking requirements in the Town Center District require the calculation for Shopping Center – Neighborhood be used for all commercial uses. Shopping Center – Neighborhood requires 4 spaces per 1,000 sqft of gross floor area.

**CLURO SECTIONS:****6.4.7. Animal Sales and Services (Limited)**

*Retail sales, veterinary services, outdoor kennels, grooming, and boarding when totally within a building, of dogs, cats, birds, fish, and similar small animals customarily used as household pets. Typical uses include pet stores, small animal clinics, dog bathing and clipping salons, and pet grooming shops but excluding outdoor kennels and uses for livestock and large animals.*



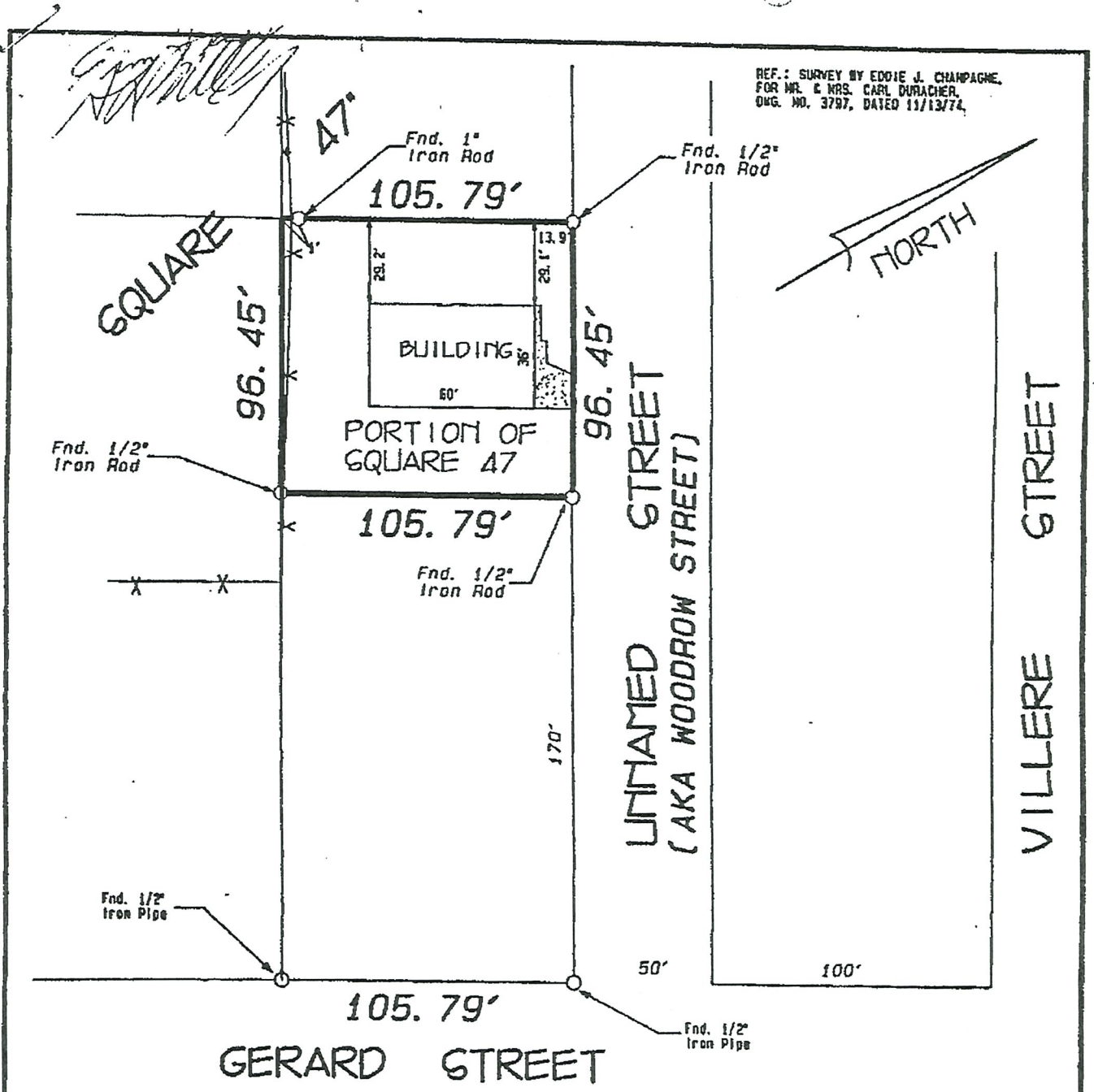


**1 DEMOLITION PLAN**  
 1/4" = 1'-0"









NOTE: Setback lines shall be verified by owner or contractor prior to any construction, as an abstract has not been performed by the undersigned.

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "A-10" with a Base Flood Elevation of 12' in accordance with Community Panel No. 220202 0002 C ; Revised: APRIL 4, 1983

File No. WTST95-1019

Note: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "C" SURVEY.

**SURVEY MAP OF**  
**A PORTION OF SQUARE 47, TOWN OF MANDEVILLE**  
 in  
**CITY OF MANDEVILLE**  
 St. Tammany Parish, Louisiana  
 for

**PARISH DEVELOPMENT, LLC and**  
**FIRST NATIONAL BANK OF COMMERCE**

Survey No. 95975

Date: OCTOBER 6, 1995

Drawn by: JEB

Revised:

Scale: 1" = 50'

This Survey is Certified True and Correct By

**JOHN E. BONNEAU & ASSOCIATES, INC.**

Professional Land Surveyors • Planners and Consultants

1011 N. CAUSEWAY BLVD. - SUITE 34 • MANDEVILLE, LA. 70471 (504) 626-0808

SLIDELL (504) 643-2508 • MANDEVILLE (504) 626-3546 • N. O. (504) 456-2042

FAX NO. (504) 626-0057

John E. Bonneau  
 Professional Land Surveyor  
 Registration No. 4423

**CASE SUMMARY SHEET****CASE NUMBER: V23-11-37****DATE RECEIVED: September 18, 2023****DATE OF MEETING: November 14, 2023 and December 12, 2023****Address: 245 Marigny****Subdivision: Old Town of Mandeville, Square 8 Lot 14****Zoning District: R-1 Single Family Residential District****Property Owner: Jim and Marison Tucker**

**REQUEST: V23-11-37 – Jim and Marisol Tucker request a variance to CLURO Section 5.2.3.2. Drainage Overlay District and Fill Sub-Area A, Old Town of Mandeville, Square 8 Lot 14, R-1 Single Family Residential District, 245 Marigny Avenue**

**CASE SUMMARY:**

The applicant owns the property at 245 Marigny, located on the corner of Marigny Avenue and Jefferson Street. The property measures 63.95' x 202.42' and has a square footage of 12,948 per a survey prepared by John G. Cummings & Associates dated 7.17.23. The lot is currently undeveloped.

The applicant is requesting to elevate the slab to a height of 7' from the existing grade of 6' shown at the center of the build site. A drainage plan prepared by Arrow Engineering & Consulting has been submitted by the applicant. The plan indicates that the property would drain along the east and west sides into an existing culvert located along Jefferson St.

Public works has reviewed the submitted drainage plan and had the following comments. The maximum height allowed by CLURO Sec 5.2.3.2 for the ground level slab would be 6.52. The additional height is minimal and would not have impacts on neighboring properties. The proposed drainage plan would be acceptable if the height variance is granted.

The following statement was provided on the application: *"We are requesting a six inch (6") variance over the standard six inches above ground level on the height of our slab. Thus moving from ground level at six feet to a finish floor height of seven feet. This parcel is the lower portion, or originally what was part of the larger parcel now associated with the next door neighbor. Their finished slab floor is at seven feet. The center of the street is at 6'8".*

The property to the south has a finished top of slab at 6.65', with a beginning grade elevation of 6.4'.

At the November 14<sup>th</sup> meeting the applicant stated that they thought the finished floor elevation of the property to the south was at 7' which is why they requested to be at a height of 7' but stated that he was fine with adjusting the request to be at the same height as the neighboring structure. The as-built for the neighboring property was submitted showing the highest point of the foundation to be at 6.7'. This information was sent to the applicant who agreed to revising the request to be at 6.7' rather than 7'.

The applicant updated their request for a variance to CLURO section 5.2.3.2 to add additional fill to bring the height of the slab to an elevation of 6.7ft MSL.

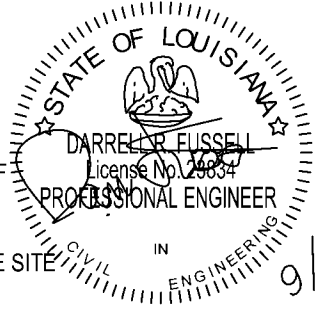
**CLURO SECTIONS:****5.2.3.2. Drainage Overlay District and Fill Sub-Area A**

The following standards shall apply to all development falling within the mapped boundaries of the drainage overlay district as established in section 7.6.1 of this CLURO and fill sub-area A, which includes the areas located between Monroe Street, Bayou Castain, Lakeshore Drive and Galvez Street. Where the DO district overlaps with other areas described in this section 5.2.3, the provisions of the DO district shall apply.

1. Grading and Fill. No change in elevation from natural grades shall be allowed except follows:
  - a. Up to six (6) inches of fill may be placed under the perimeter of the soffit or roof line of structures to achieve positive drainage from under the structure.
  - b. Existing sites may be graded, or surface or subsurface conveyances may be established to meet the City's requirement to convey water to the City's stormwater management system.
  - c. Grading changes shall not have an adverse impact on adjacent properties in accordance with State law.
  - d. Fill shall not be allowed within the dripline of existing trees required to remain or any vegetative protection area.
3. Driveways.
  - a. Driveways shall be built at existing grade except that driveways may be elevated no more than six (6) inches if necessary to access a garage or parking areas beneath the building and to help convey water to the City's stormwater conveyance system.



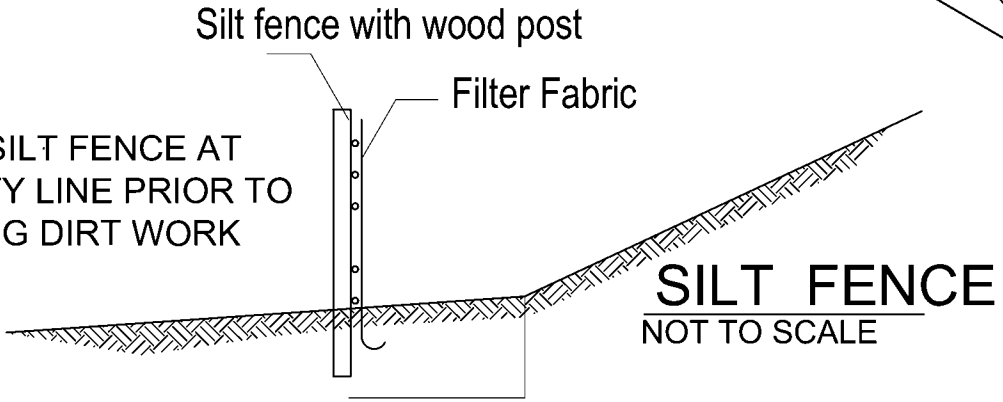
# SOIL EROSION AND SEDIMENT CONTROL NOTES



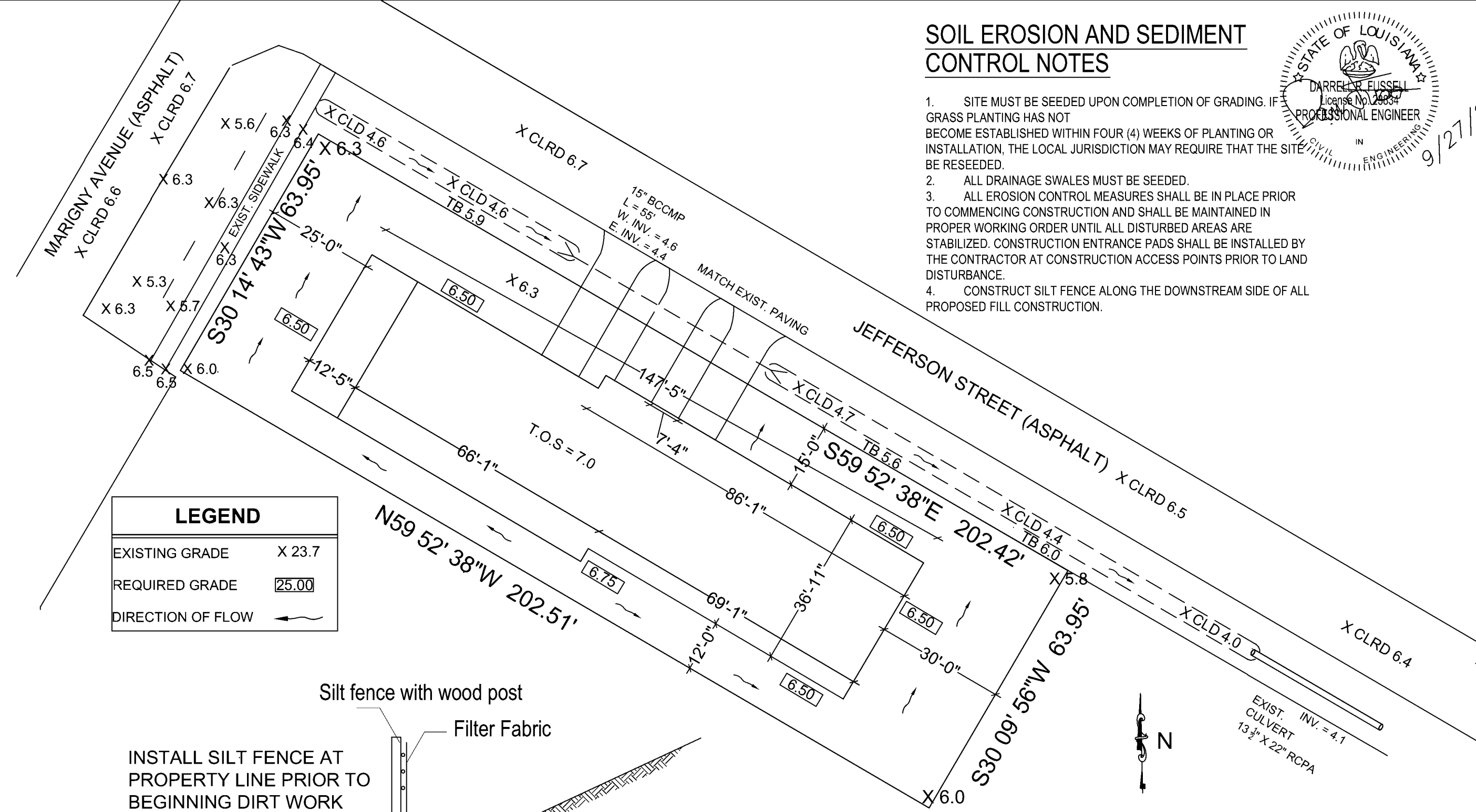
1. SITE MUST BE SEEDED UPON COMPLETION OF GRADING. IF GRASS PLANTING HAS NOT BECOME ESTABLISHED WITHIN FOUR (4) WEEKS OF PLANTING OR INSTALLATION, THE LOCAL JURISDICTION MAY REQUIRE THAT THE SITE BE RESEEDED.
2. ALL DRAINAGE SWALES MUST BE SEEDED.
3. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE.
4. CONSTRUCT SILT FENCE ALONG THE DOWNSTREAM SIDE OF ALL PROPOSED FILL CONSTRUCTION.

LEGEND	
EXISTING GRADE	X 23.7
REQUIRED GRADE	25.00
DIRECTION OF FLOW	←

INSTALL SILT FENCE AT PROPERTY LINE PRIOR TO BEGINNING DIRT WORK



**DRAINAGE PLAN**  
SCALE: 1" = 30'-0"



COMPLETION OF ORIGINAL DRAWINGS  
DATE: 9-27-23  
DRAWN BY: DRF

TUCKER RESIDENCE  
245 MARIGNY STREET  
MANDEVILLE, LA

ARROW ENGINEERING & CONSULTING  
Darrell Fussell, P.E.  
PO BOX 881  
Madisonville, LA 70447  
Phone: (985) 237-3908

## Alex Weiner

---

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**Sent:** Monday, October 30, 2023 1:25 PM  
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**Cc:** Cara Bartholomew  
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Thanks,

Alex Weiner, CFM  
Planning Secretary  
Department of Planning & Development  
City of Mandeville  
3101 E. Causeway Approach  
Mandeville, LA 70448  
(985) 624-3132

## Alex Weiner

---

**From:** Jim Tucker <jimtucker2015@gmail.com>  
**Sent:** Wednesday, November 15, 2023 4:55 PM  
**To:** Radford Dickson  
**Cc:** Cara Bartholomew; Alex Weiner  
**Subject:** Re: 245 Marigny fill variance

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Yes, that would be fine. Thanks for letting me know.

Jim Tucker

On Wed, Nov 15, 2023 at 2:25 PM Radford Dickson <[rdickson@cityofmandeville.com](mailto:rdickson@cityofmandeville.com)> wrote:

Good afternoon Mr. Tucker,

We have received the As Built from 233 Marigny and I have attached it. It appears that the highest point on the foundation is 6.7'. Please let us know if you approve changing your application to 6.7' rather than 7'.

Respectfully,

*Rad Dickson*

Planner

City of Mandeville

3101 East Causeway Approach

Mandeville, LA 70448

[CLURO](#)

985.626.3144

**TOPOGRAPHIC/TREE SURVEY**

ELEVATION DATUM = NAVD 1988  
 BASE FLOOD ELEVATION = 10.0'  
 CITY OF MANDEVILLE REQUIRES AN ADDITIONAL  
 2.0' FREEBOARD MAKING THE REQUIRED FINISHED  
 FLOOR HEIGHT 12.0'

REFERENCE BEARING:  
 Iron Pipe A to Iron Pipe B  
 S59°52'38"E (Compass)



- LEGEND**
- ⊙ = 2" IRON PIPE FOUND
  - ⊘ = 1" IRON PIPE FOUND
  - ⊚ = 1/2" IRON ROD FOUND
  - ⊛ = 1/2" IRON ROD SET
  - NG = NATURAL GROUND
  - INV = INVERT
  - EOA = EDGE OF ASPHALT
  - CLRD = CENTERLINE OF ROAD
  - EOA/TB = EDGE OF ASPHALT/TOP BANK OF DITCH
  - TB = TOP BANK OF DITCH
  - CLD = CENTERLINE OF DITCH
  - CLS = CENTERLINE OF SWALE

**MARIGNY AVENUE (ASPHALT)**  
 (106.6' R.O.W.)

**JEFFERSON STREET (ASPHALT)**

**SQUARE 8**

**LAMARQUE STREET**

**CLAIBORNE STREET (SIDE)**

**LOT 14**  
 12,948 SQ. FT.

TEMPORARY BENCHMARK  
 MAG NAIL FOUND  
 ELEVATION = 6.33

**NOTES:**

1. This property is located in Flood Zone AE, per F.E.M.A. Map No. 2202020427D, dated May 16, 2012.

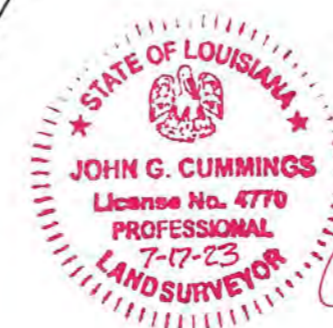
2. Building Setback Lines must be determined by City of Mandeville Planning Department.

**REFERENCE SURVEYS:**

1. Survey for William Maylie by E.J. Champagne, Surveyor, dated February 1950.
2. Survey for Ann Maylie Bruce by James H. Couturie, Surveyor, dated April 19, 2003.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVIDUES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVIDUES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.



*John G. Cummings*  
 JOHN G. CUMMINGS, P.L.S.

<b>John G. Cummings &amp; Associates</b>			
PROFESSIONAL LAND SURVEYORS			
603 N. JEFFERSON AVENUE COVINGTON, LA 70433 (985) 892-1549			
PLAT PREPARED FOR: <b>James W. Tucker</b>			
SHOWING A SURVEY OF: <b>LOT 14, SQUARE 8, CITY OF MANDEVILLE, ST. TAMMANY PARISH, LOUISIANA.</b>			
DATE:	SCALE:	JOB NO.	REVISED:
7-17-2023	1" = 20'	23132-TTS	



**CASE SUMMARY SHEET**

**CASE NUMBER: V23-11-38**

**DATE RECEIVED: September 28, 2023**

**DATE OF MEETING: November 14, 2023 and December 12, 2023**

**Address: 4520 Hwy 22**

**Subdivision: Hwy 22 Gateway, Section 54 Lot B**

**Zoning District: B-2 Highway Business District**

**Property Owner: Scott Ballard**

**REQUEST: V23-11-38 – Scott Ballard request a variance to CLURO Section 10.8.2.6. Land Uses located in B-1, B-2, B-4, O/R, PM-1, PM-2, M-1, and M-2 Districts, Hwy 22 Gateway, Section 54 Lot B, B-2 Highway Business District, 4520 Hwy 22**

**CASE SUMMARY:**

The applicant owns the property at 4520 Hwy 22, located on the south side of Hwy 22, north of W Causeway Approach, and west of Moores Road. The property is irregularly shaped, measuring 211.25’ along Hwy 22, 267’ along the west property line, then east for 139.66’, south for 239.35’, then 25’ along W Causeway Approach and then 557.76’ along the east property line, containing approximately 71,000 square feet. The site is currently improved with a commercial business, PJs Coffee.

The applicant is requesting to locate an additional monument sign on the West Causeway Approach entrance to the business. The monument sign will be double sided, measuring 16.84 sq. ft. on each side for a total square footage of 33.68. The sign will be located on an existing base and will be 6’ in height. The regulations allow for 1 monument sign per lot.

The existing monument sign is located 12’ from the property line. Current sign regulations require a setback of 15’ from the closest abutting right of way. The base of the sign is non-conforming and shown on the survey from 1996. When the prior business closed the sign face was removed, but the base was left alone.

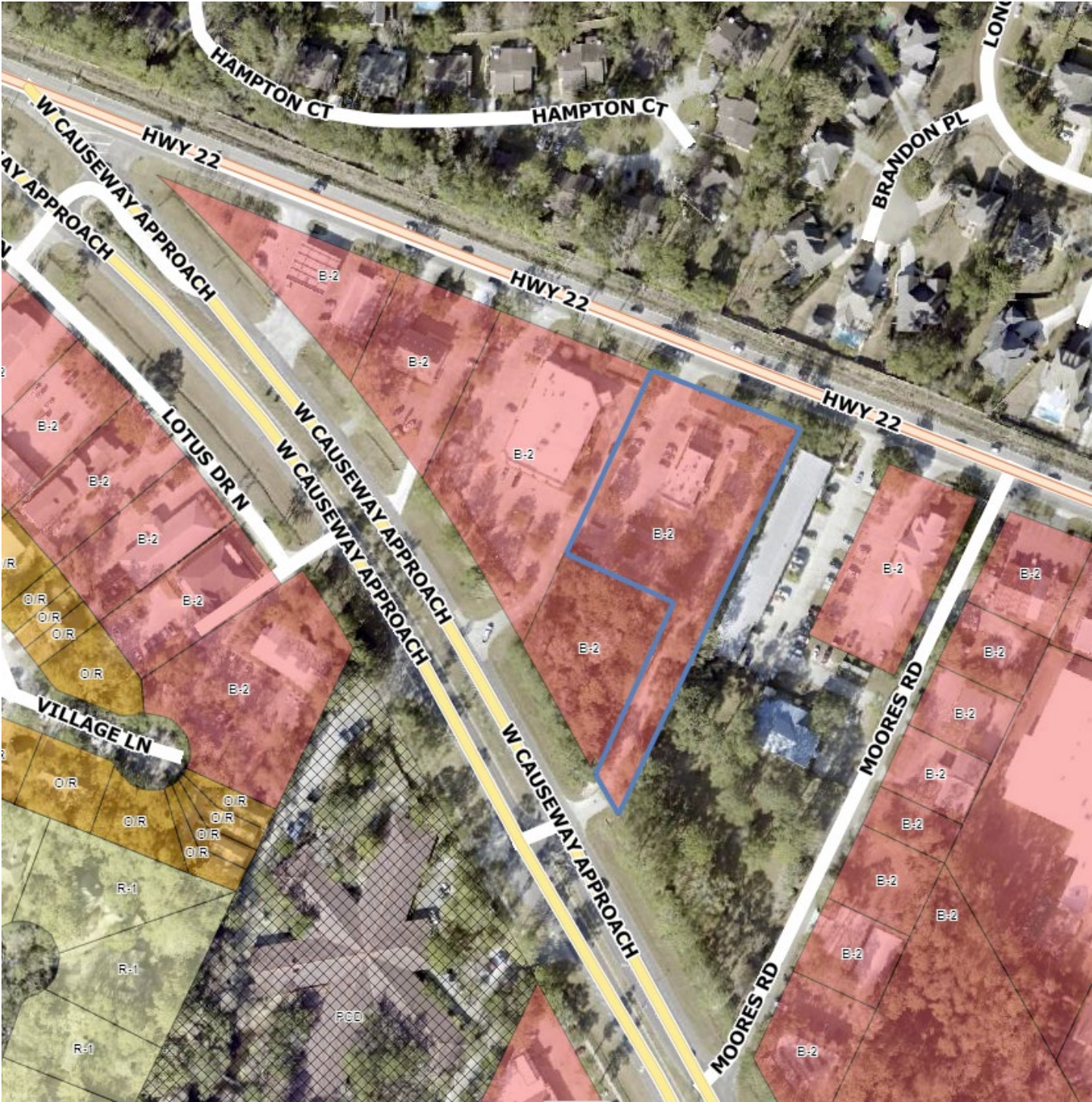
There is an existing double sided monument sign on the Hwy 22 side of the business measuring 36.49 sqft on each side.

**CLURO SECTIONS:**

**10.8.2.6. Land Uses located in B-1, B-2, B-4, O/R, PM-1, PM-2, M-1, and M-2 Districts.**

Permitted Signs Allowed by District and Use: Land Uses located in B-1, B-2, B-4, O/R, PM-1, PM-2, M-1, and M-2 Districts.		
Land Use	Attached (wall or blade) Signs, Canopy (or awning) Signs, and Hanging Signs	Monument Signs or Free-Standing Signs with Wooden Posts
All land uses not occupying complex sites	<p>One (1) wall, canopy, hanging, or blade sign is permitted per street façade, subject to all the following:</p> <ul style="list-style-type: none"> <li>• Maximum area for a wall or blade sign is one (1) square foot per linear foot of building façade.</li> <li>• If a building façade has a linear footage of thirty-five (35) feet or less, the wall or blade sign may have a maximum area of 35 feet.</li> <li>• The blade sign must have a minimum clearance height of eight (8) feet above the ground.</li> <li>• If a building façade has a linear footage exceeding one-hundred-twenty (120) feet, the maximum area of the wall or blade sign is one-hundred-twenty (120) square feet.</li> <li>• Maximum sign area for a canopy sign is twelve (12) square feet.</li> <li>• Maximum sign area for a hanging sign is six (6) square feet. The hanging sign must have a minimum clearance height of eight (8) feet above the ground.</li> </ul>	<p>One (1) monument or free-standing sign is allowed per lot, subject to all the following:</p> <ul style="list-style-type: none"> <li>• The maximum sign area allowed is one hundred (100) square feet.</li> <li>• The maximum height is seven (7) feet from grade with a maximum height of two (2) feet for the base of the sign.</li> <li>• The Zoning Commission may approve an exception allowing a height increase if natural grade is four (4) or more feet below the crown of the abutting street.</li> <li>• The minimum setback is fifteen (15) feet from the closest abutting right-of-way and 100 feet from the nearest residential property line.</li> <li>• Sign may be externally or internally illuminated but may not cause any uplift or glare</li> <li>• If a free-standing sign is used, two-posts measuring four inches by four inches or larger must be used. Posts must be composed of wood and must be incorporated as a visual design element of the sign.</li> </ul>

- Sign may be externally or internally illuminated but may not cause any uplight or glare.



SIGNAGE SPECIFICATIONS  
for  
PJ's Coffee of New Orleans

*Mandeville, LA (BK Conversion)*

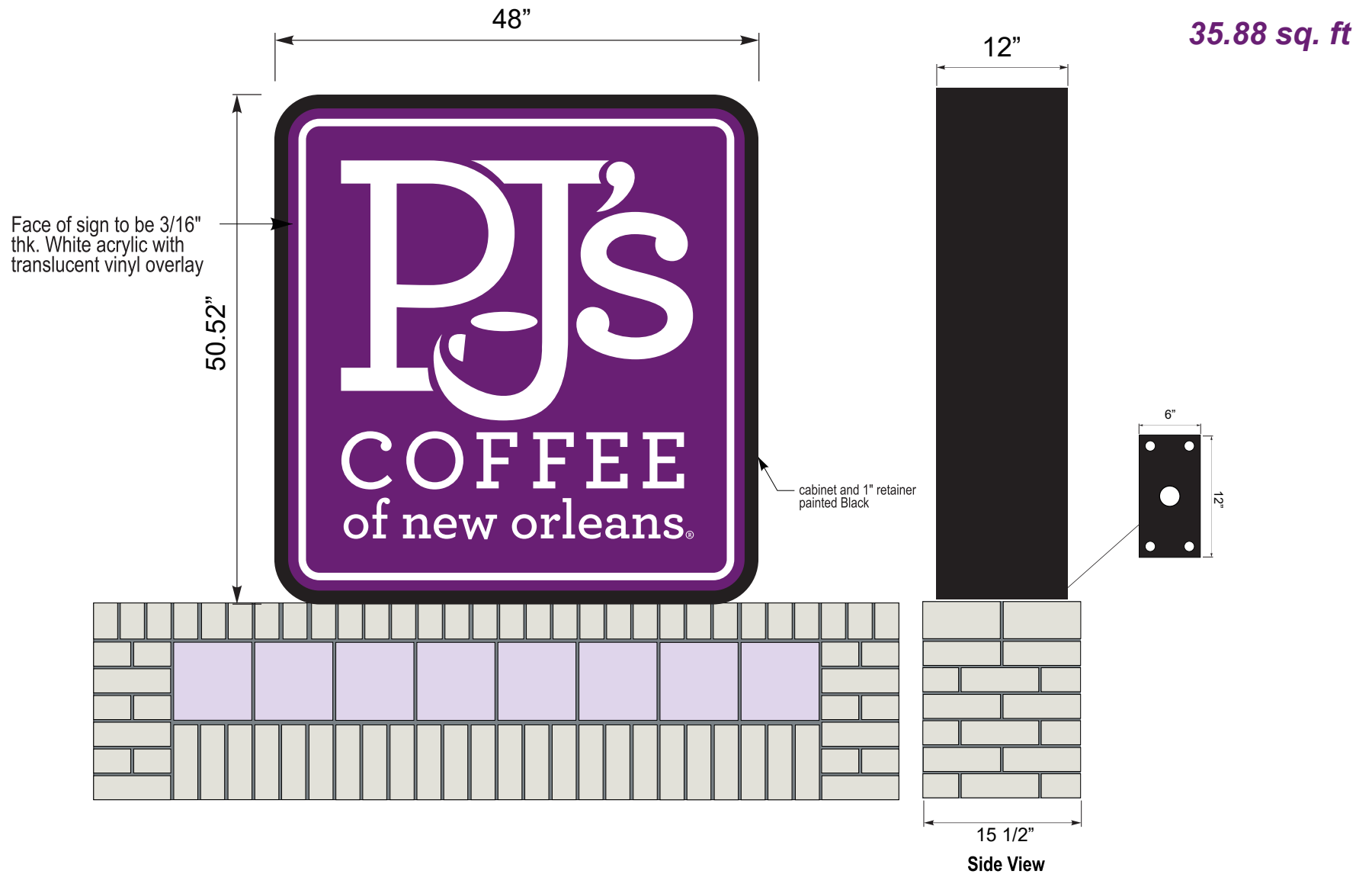


PJ's COFFEE  
of new orleans

**AAA SIGNS**

[www.aaasigns.com](http://www.aaasigns.com)

109 Burgess Drive • Broussard, LA 70518  
PHONE 800.880.5686 337.233.5686 FAX: 337.261.2533



**Color Specifications**



**Specifications**

50.52" x 48" x 10" deep, internally illuminated, D/F, sign cabinet with White acrylic faces  
 Cabinet and 1" retainers to be painted Black  
 Faces to be White acrylic  
 Graphics to be translucent Purple vinyl overlay

**Electrical connection by others**

NOTE: ALL UL LABELS TO BE PLACED OUT OF EYE SIGHT



**Illuminated Directional**



NOTE: ONLY ITEMS MARKED IN ARE IN THIS CONTRACT. REFER TO DETAIL SHEETS

DETAILS

- #1 6" CONCRETE CURB
- #2 EXPANDED CONCRETE CURB (ALT.)
- #3 8" CONCRETE CURB
- #4 STANDARD CURB NOSING
- #5 6" BARBER CURB
- #6 4" CURB TRANSITION
- #7 PRECAST CONCRETE WHEELSTOP
- #8 PAVER TILE WALK DETAIL
- #9 BRICK WALK DETAIL
- #10 ALT. WALK DET. (EXP. AGGR.)
- #11 CONC. RAMP - EXTERNAL
- #12 CONC. RAMP - INTERNAL
- #13 HANDICAP PARKING STALL
- #14 EXPANSION JOINT
- #15 BRICK TRASH ENCLOSURE
- #16 18" WALK LIGHTS
- #17 PAINTED TRAFFIC ARROWS
- #18 RETAINING WALL (TYPE A)
- #19 RETAINING WALL (TYPE B)
- #20 RETAINING WALL (TYPE C)
- #21 TYP. GUARD POST
- #22 CATCH BASIN
- #23 CATCH BASIN (ALT.)
- #24 TRENCH DRAIN (CAST IN PLACE)
- #25 TRENCH DRAIN (PREFORMED)
- #26 MANHOLE (PRECAST)
- #27 SOAKAGE PIT
- #28 SOAKAGE PIT (ALT.)
- #29 ROOF DRAIN BUBBLER
- #30 ROOF DRAIN FLUME
- #31 DECORATIVE MASONRY WALL
- #32 HANDRAIL DETAIL
- #33 TRASH ENCLOSURE DRAIN
- #34 PLANTER DETAIL
- #35 SEPTIC TANK
- #36 COMB. SEPTIC-DOSING TANK
- #37 TYPICAL GREASE INTERCEPTOR
- #38 INTERIOR GREASE TRAP
- #39 SANITARY CLEAN-OUT
- #40 DRAINFIELD DETAIL
- #41 DRAINFIELD DETAIL (ALT.)
- #42 DETECTOR LOOP (1 OF 2)
- #43 DETECTOR LOOP (2 OF 2)
- #44 GUARD POST AT D/T WINDOW

SIGNS

- #A LOGO SIGN ILLUMINATED
- #B CURB LOGO SIGN
- #C CLEARANCE SIGN
- #D SPACER STAND AND ORDER STATION
- #E WOOD SIGN CABINET
- #F LOGO SIGN
- #G THANK YOU SIGN
- #H METAL SIGN CABINET
- #I LOGO SIGN
- #J DRIVE-THRU SIGN
- #K DIRECTIONAL ARROW
- #L THANK YOU SIGN
- #M RIGHT TURN ONLY SIGN
- #N MOVEMENT SIGN
- #O STOP SIGN
- #P DO NOT ENTER SIGN

NOTES

- #1 ROOF DRAIN LEADERS THRU CURB
- #2 1" - 1 1/2" PVC INDICATOR VALVE AND BOX
- #3 WATER SERVICE (SIZE ON SHEET PP-1)
- #4 WATER METER
- #5 FIRE SPRINKLER SERVICE
- #6 FIRE SPRINKLER METER
- #7 SANITARY SERVICE
- #8 GAS SERVICE
- #9 GAS METER
- #10 4" WIDE PAINTED STRIPES (TYP.)
- #11 4" WIDE PAINTED STRIPES 1.5" O.C. @ 45 DEG.
- #12 8" WIDE PAINTED STRIPE
- #13 NOT USED
- #14 NOT USED
- #15 NOT USED
- #16 NOT USED
- #17 TO BE CONSTRUCTED AS PER LOCAL CODES
- #18 REPLACE/RESTORE CURB TO MATCH EXISTING
- #19 NEW PAVING TO BE COMPATIBLE WITH EXISTING
- #20 EXISTING TO BE REMOVED AND/OR RELOCATED EXISTING TO REMAIN
- #21 WATER CONNECTION TO TRASH ENCLOSURE-SEE NOTE B, SHEET C-1
- #22 EXISTING TO BE REMOVED AND/OR RELOCATED EXISTING TO REMAIN
- #23 EDGE OF PAVEMENT (NO CURB)
- #24 STANDARD TRAFFIC STOP SIGN WITH 18" STOP BAR
- #25 4" PVC SLEEVE BENEATH PAVEMENT
- #26 TRANSFORMER PAD
- #27 NOT USED
- #28 CENTERLINE OF DRIVE-THRU WINDOW
- #29 CONCRETE DRIVE-THRU LANE
- #30 REDWOOD STOCKADE FENCE
- #31 LANDSCAPE BUREAU
- #32 CONTRACTOR TO CONNECT TO EXIST. UTILITIES
- #33 NOT USED
- #34 PROPANE TANK (ABOVE GROUND)
- #35 PROPANE TANK (UNDERGROUND)
- #36 REMOVE AND REPLACE EXISTING SIDEWALK

PAVEMENT MARKING NOTES

LOT MARKING REQUIREMENTS WILL VARY DEPENDING UPON LOCAL CITY CODES AND REGIONAL PREFERENCES. WHEN NEGOTIATING LOT STRIPING CONTRACTS, MAKE SURE TO INCLUDE THE IDENTIFICATION OF TYPICAL CUSTOMER TRIP/FALL AND VEHICLE TRAFFIC HAZARDS. YELLOW IS THE MOST COMMON COLOR FOR LOT STRIPING AND HAZARD IDENTIFICATION, BUT WHITE PAINT ALSO WORKS WELL. THE FOLLOWING INFORMATION IS OFFERED AS A BASIC GUIDELINE:

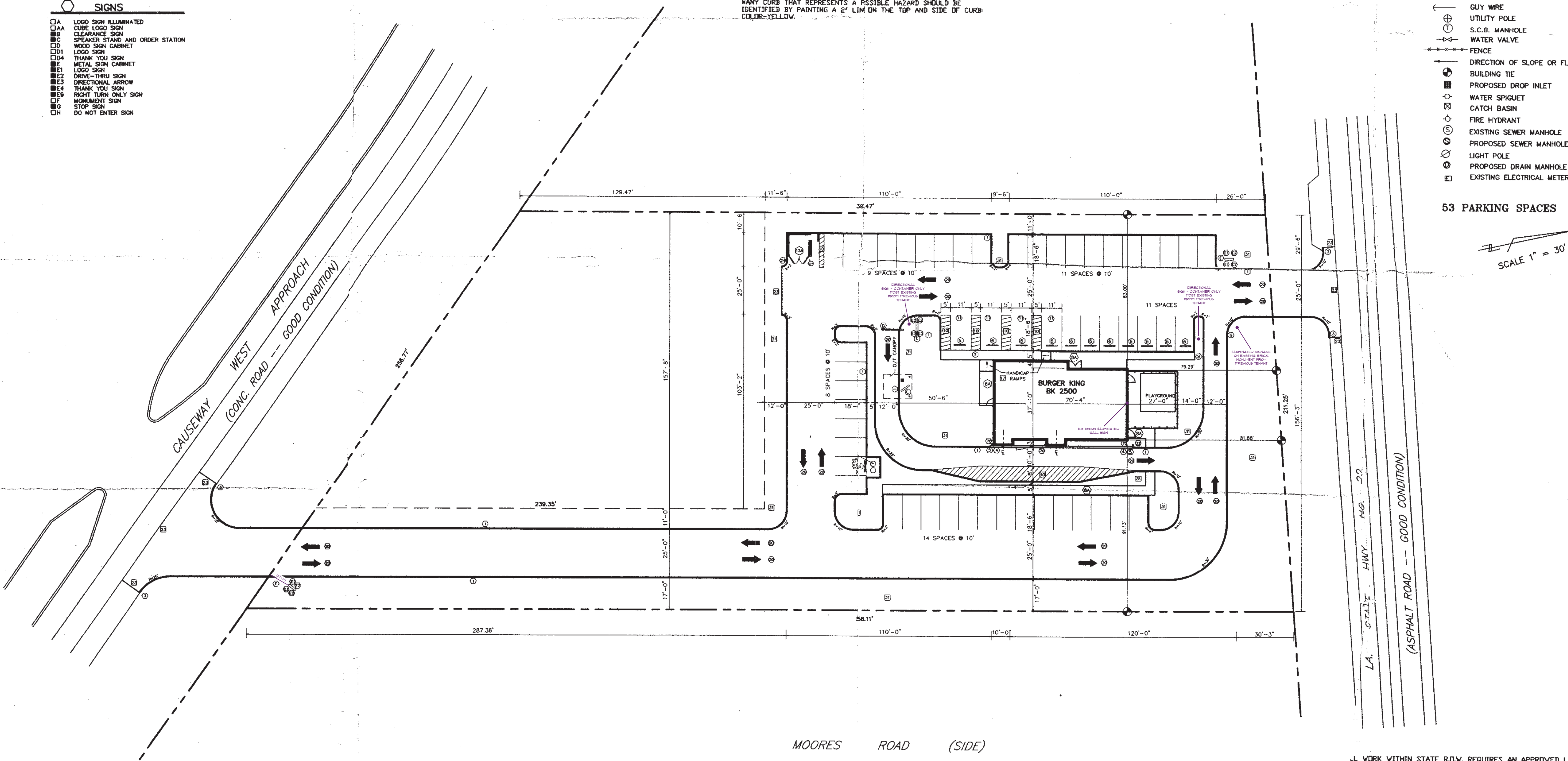
1. PARKING STOPS LOCATED NEXT TO THE BUILDING OR LOCATED IN THE MIDDLE OF THE PARKING LOT SHOULD BE PAINTED ON TOP. COLOR-YELLOW.
2. A 2" LINE SHOULD BE PAINTED ON THE TOP AND SIDE EDGE OF ALL SIDEWALKS THAT ARE IN FRONT OF A BUILDING ENTRANCE. TEN FEET WILL BE USED AS THE STANDARD LENGTH. COLOR-YELLOW.
3. IF THE SITE CONDITIONS WARRANT ANY STEPS SHOULD BE IDENTIFIED WITH A 2" LINE PAINTED ON THE TOP AND FRONT EDGE OF EACH STEP. COLOR-YELLOW.
4. ALL POLES, POSTS AND THEIR SUPPORTS OR GUIDE WIRES THAT MAY BE EXPOSED TO VEHICLE TRAFFIC SHOULD BE PAINTED AT LEAST 60" IN HEIGHT FROM THE BASE. COLOR-YELLOW.
5. DIRECTION TRAFFIC FLOW ARROWS PAINTED ON THE LOT SHOULD IDENTIFY THE ROUTE OF TRAVEL INTO AND OUT OF PARKING LOT FROM ALL PUBLIC OR PRIVATE ACCESS PADS. COLOR-YELLOW.
6. OUTLINE THE OUTSIDE OF THE PICK-UP WINDOW (PUW) TRAFFIC LANE WITH A 4" SOLID STRIPE. COLOR-YELLOW.
7. ALL CURBS THAT EXTEND FROM THE PARKING LOT ENTRANCE TO ANY PUBLIC OR PRIVATE ROADWAY SHOULD BE PAINTED. COLOR-YELLOW.
8. STENCIL "DRIVE-THRU" LANE BEHIND DIRECTIONAL ARROW. COLOR-WHITE.
9. HANDICAP PARKING (SEE ATTACHED). COLOR-BLUE. #HANDICAP RAMP: WHEEL CHAIR SYMBOL ONLY. OUTLINE OF RAMP IDENTIFIED WITH 2" LINE. COLOR-BLUE.
10. MISCELLANEOUS: #PARKING STRIPES SHOULD BE DONE IN WHITE UNLESS NOT PERMITTED BY LOCAL CODES. #ANY CURB THAT REPRESENTS A POSSIBLE HAZARD SHOULD BE IDENTIFIED BY PAINTING A 2" LINE ON THE TOP AND SIDE OF CURB. COLOR-YELLOW.

LEGEND

- EXISTING CURB
- PROPOSED CURB
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- EXISTING SPOT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED PAVEMENT ELEVATION
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER LINE
- EXISTING ELECTRIC LINE (O.H. OR U.G.)
- PROPOSED ELECTRIC LINE (O.H. OR U.G.)
- EXISTING TELEPHONE LINE (O.H. OR U.G.)
- EXISTING SEWER CLEAN OUT
- EXISTING DRAIN CLEAN OUT
- TELEPHONE PEDISTAL
- OVERHEAD UTILITY LINE
- GUY WIRE
- UTILITY POLE
- S.C.B. MANHOLE
- WATER VALVE
- FENCE
- DIRECTION OF SLOPE OR FLOW
- BUILDING TIE
- PROPOSED DROP INLET
- WATER SPIGNET
- CATCH BASIN
- FIRE HYDRANT
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE
- LIGHT POLE
- PROPOSED DRAIN MANHOLE
- EXISTING ELECTRICAL METER

53 PARKING SPACES

SCALE 1" = 30'



NO.	DATE	DESCRIPTION
1	5/19/96	MODIFIED REAR PARKING

BURGER KING RESTAURANT,  
MANDEVILLE, LOUISIANA

SITE PLAN WITH  
GEOMETRICS

Sydran Services, Inc.  
**Burger King**

RICHARD C. LAMBERT  
CONSULTING ENGINEERS  
ONE GALLERIA BLVD., SUITE 1718  
METairie, LA. 70001

BURGER KING  
LA. HIGHWAY NO. 22 AND CAUSEWAY WEST APPROACH

ALL WORK WITHIN STATE R.O.V. REQUIRES AN APPROVED L.D.T.D. ERMIT AND SHALL CONFORM TO THE SAME.

FOR ALL INFORMATION ON EXISTING FEATURES, SERVITUDES, PROPERTY LINES, UTILITIES AND ECT. SEE SURVEY.

LOCATION OF UNDERGROUND UTILITIES, EXISTING OR PROPOSED, ARE APPROXIMATE OR SCHEMATIC. LOCATION OF EXISTING UTILITIES MUST BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION.

THESE PLANS ARE VALID FOR 18 MONTHS AFTER DATE OF SIGNATURE. IF CONSTRUCTION HAS NOT STARTED WITHIN THIS PERIOD, IT WILL BE NECESSARY FOR THE PLANS TO BE REISSUED BY THE ENGINEER.

FORM RCL 95-99  
REV 9-8-96

G1

**CASE SUMMARY SHEET**

**CASE NUMBER: V23-11-39**

**DATE RECEIVED: October 17, 2023**

**DATE OF MEETING: November 14, 2023 and December 12, 2023**

**Address: 1225 Montgomery**

**Subdivision: Old Town of Mandeville, Square 82 Lot 19-A**

**Zoning District: R-1 Single Family Residential**

**Property Owner: Michael and Grace McIntosh**

**REQUEST: V23-11-39 – Michael McIntosh requests a variance to CLURO Section 8.1.1.4. Allowed Setbacks Encroachments, Old Town of Mandeville, Square 82 Lot 19-A, R-1 Single Family Residential District, 1225 Montgomery Street**

**CASE SUMMARY:**

The applicant owns the property at 1225 Montgomery St., located on the north side of Montgomery St., east of Albert St., west of Colbert St., and south of Florida St. The property measures 86.87' x 145.42' and has a square footage of 12,632.23 per a survey prepared by RJ Fuselier & Associates, LLC dated 11.09.22. Construction was recently completed for a single-family residence.

The applicant is requesting an exception to encroach into the east side yard setback to locate a generator and A/C condenser. The lot has a frontage of 86.87' requiring side yard setbacks of 15 feet. Two decks have been constructed for the location of the mechanical equipment in the southeast side setback. One deck encroaches 7' into the setback, and the other encroaches 2.5'. The 7' encroachment would leave a remaining setback of 11.2' feet. The side yard is adjacent to the driveway for the flag lot to the east of the property.

	Existing	Proposed	Change	Deficiency
<b>East Side Setback</b>	15.2'	8.2'	7'	-6.8'
<b>West Side Setback</b>	15'	15'	0'	Compliant

A letter was submitted from the applicant explaining the reasons for the request.

At the November 14<sup>th</sup> meeting the Commission requested the following additional information: The height and dimensions of the equipment decks, the distance that the equipment is from the house, and pictures of the rear of the house, and the side that the equipment is located showing the location of any windows.

The applicant has submitted a letter and updated sketch of the property showing that both equipment decks are 43" above grade. The equipment deck located outside of the laundry room and master bathroom measures 15' x 7' and the equipment deck located outside the garage measures 30" x 51". The generator is located 2'-4" from the exterior wall of the house, and the A/C condenser is located 2' from the house.

**CLURO SECTIONS:**

**8.1.1.4. Allowed Setbacks Encroachments**

Every part of a required setback shall be open to the sky and unobstructed by accessory structures except:

- 4. **Mechanical Equipment.** Except as authorized for the elevation of existing structures, or where there is existing mechanical equipment located within the side setback, heating, ventilation, air conditioning, generator, or pool equipment shall not encroach into any required front or side setback.

**7.5.1.3. R-1 Site Development Regulations**

Each development site in the R-1 Single-Family Residential Zoning District shall be subject to the following site development regulations in addition to any regulations applicable under the provisions of Article 8. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5

1. Minimum lot area	10,800 Square feet (except for legal non-conforming lots as provided)
2. Minimum building area (Square feet per unit)	1,200 Square feet
3. Minimum lot width	90'
4. Minimum lot depth	120'
5. Minimum Yard Setback Requirements	
a. Front yard	25'
b. Interior side yard*	
i. Frontage up to 50'	8' each side
ii. Frontage between 51' – 60'	10' each side
iii. Frontage between 61' – 75'	12' each side
iv. Frontage between 76' – 80'	13' each side
v. Frontage between 81' – 90'	15' each side
vi. Frontage between 91' – 100'	16' each side

vii. Frontage between 101' – 110'	18' each side
viii. Frontage between 111' +'	20' each side
c. Street side yard	15'
d. Rear yard	30'
6. Maximum Height of Structures	35'
7. Maximum Impervious Site Coverage	45%

\*The side yard setbacks of the site may be shifted into the opposite yard up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.





City Council of Mandeville:

The practical difficulties applicable to this variance request were (and are) primarily budgetary and secondarily architectural. Practically this meant keeping the under beam square footage to a minimum and within a compact footprint.

The resulting floor plan required utilizing 56' of allowable building width to fit, side by side, a 2 car garage, entry, living rm, and bedroom.

As the attached survey/site plan illustrates, the living area and garage conform to the setback requirements. The variance is requested to allow placement, as is, for the whole house generator and A/C condenser along the easterly exterior wall of the house.

Distance to neighboring homes was the primary consideration for placing these units. The two neighboring homes to the east and west of 1225 Montgomery St. are 1211 and 1237 Montgomery St., respectively. The neighboring lot to the north is undeveloped. 1211 Montgomery St is 70' from 1225 Montgomery St and 1237 is 30' from 1225 Montgomery St.

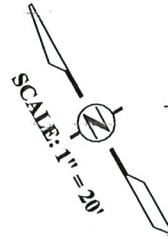
The east side yard location offered the most distance between residences and therefore the best noise buffer.

A rear yard location would increase noise exposure to both neighbors and future neighbors to the north.

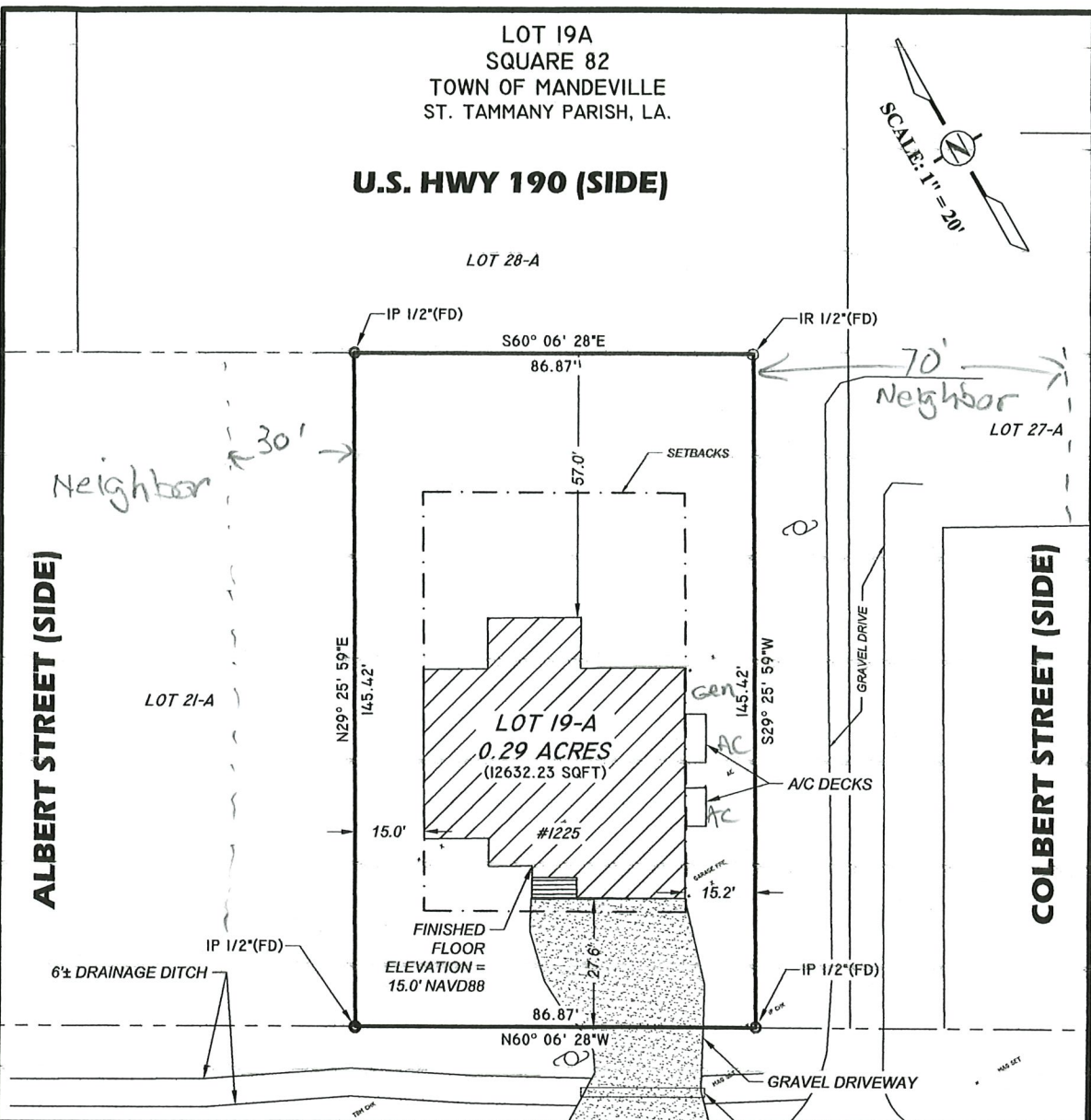
*Michael McCutosh*

LOT 19A  
 SQUARE 82  
 TOWN OF MANDEVILLE  
 ST. TAMMANY PARISH, LA.

**U.S. HWY 190 (SIDE)**



LOT 28-A



**MONTGOMERY STREET**

**BEARING BASIS/REFERENCE PLAT:**

BEARINGS BASED ON GRID NORTH AS PER THE LOUISIANA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE (1702). COORDINATES IN US SURVEY FEET. REFERENCE: RESUBDIVISION OF LOTS 19, 20, 21, 22, AND 23 SQUARE 82 BY RANDALL W. BROWN, DATED SEPTEMBER 22, 2003.

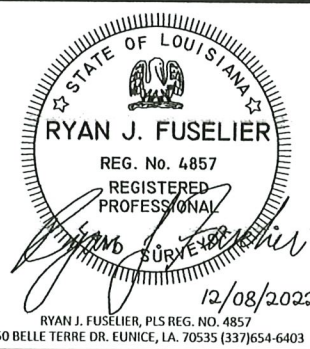
**FLOOD ZONE CLASSIFICATION:**

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, FIRM PANEL ID: 2202020431D HAVING AN EFFECTIVE DATE OF 9/30/2016 THIS PROPERTY IS LOCATED IN AN "X" FLOOD ZONE. "X" BASE FLOOD ELEVATION (BFE) IS N/A.

CENTERLINE OF STREET ELEVATION IS 10.60' NAVD88.

**CERTIFICATION:**

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AS STIPULATED IN LAC TITLE 46, PART LXI, CHAPTER 29" BASED ON THE CURRENT SURVEY CLASSIFICATION "C - BOUNDARY SURVEYS OF RESIDENTIAL OR SUBURBAN AREAS" AND NO ENCROACHMENTS EXIST OTHER THAN WHAT IS SHOWN.



**Map of Survey Made For  
 Michael McIntosh**

Being a certain portion of ground situated in Square 82 of the Town of Mandeville, more specifically described as Lots 19-A and bounded by Montgomery Street, Albert Street, Colbert Street, and U.S. HWY 190, St. Tammany Parish, Louisiana

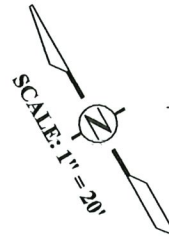


**FUSELIER**  
 SURVEYING + MAPPING  
 RJ FUSELIER & ASSOCIATES LLC  
 FIRM REG. #: LA (VF 790), TX (10194363)

PROJ. No.	22N012			
DATE:	11/9/2022	7/15/22		
SHEET:	01	DATE	REVISION DESCRIPTION	BY
DETAILED:	BPJ	8/04/23	FINAL SURVEY - IMPROVEMENTS	CDR

LOT 19A  
 SQUARE 82  
 TOWN OF MANDEVILLE  
 ST. TAMMANY PARISH, LA.

**U.S. HWY 190 (SIDE)**



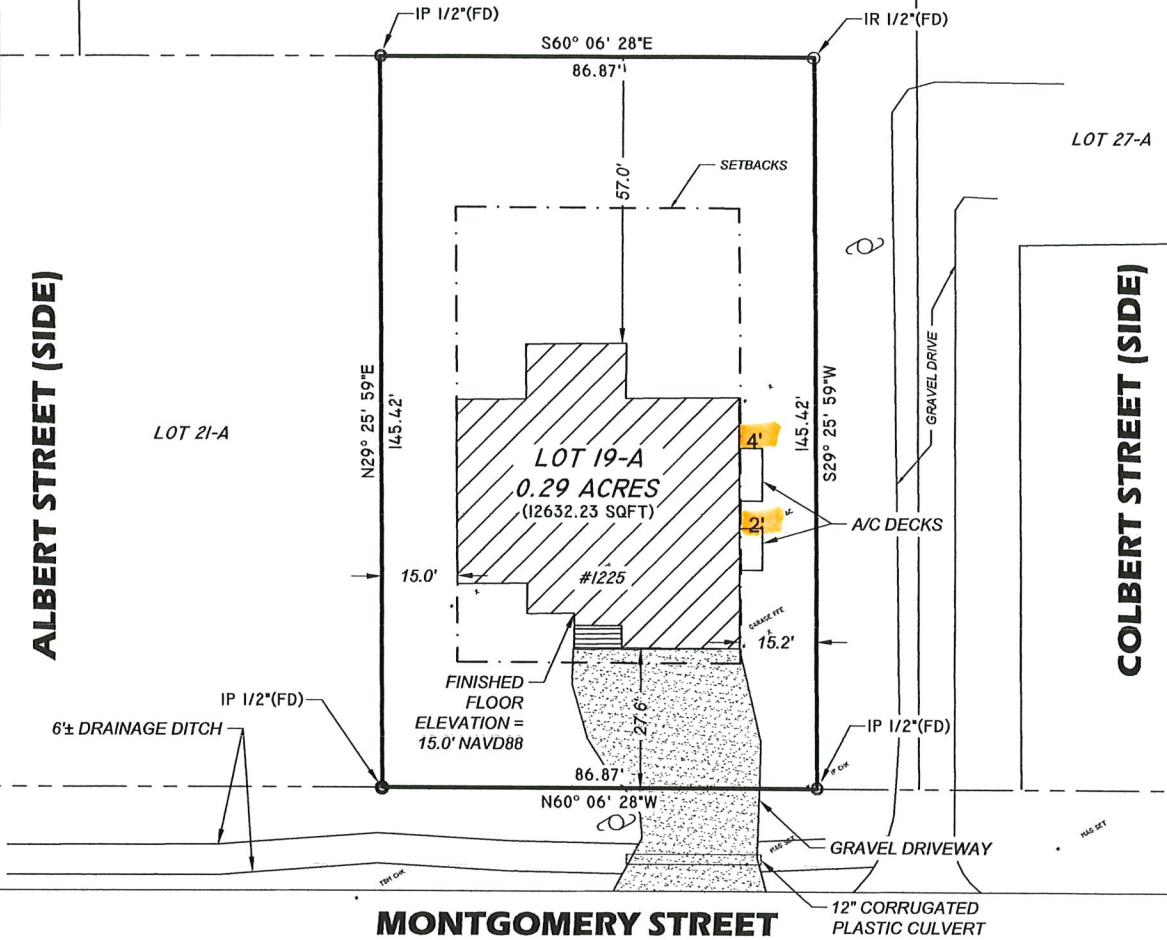
LOT 28-A

LOT 27-A

**ALBERT STREET (SIDE)**

**COLBERT STREET (SIDE)**

LOT 21-A



**MONTGOMERY STREET**

**BEARING BASIS/REFERENCE PLAT:**

BEARINGS BASED ON GRID NORTH AS PER THE LOUISIANA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE (1702). COORDINATES IN US SURVEY FEET. REFERENCE: RESUBDIVISION OF LOTS 19, 20, 21, 22, AND 23 SQUARE 82 BY RANDALL W. BROWN, DATED SEPTEMBER 22, 2003.

**FLOOD ZONE CLASSIFICATION:**

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, FIRM PANEL ID: 220202043 ID HAVING AN EFFECTIVE DATE OF 9/30/2016 THIS PROPERTY IS LOCATED IN AN "X" FLOOD ZONE. "X" BASE FLOOD ELEVATION (BFE) IS N/A.

CENTERLINE OF STREET ELEVATION IS 10.60' NAVD88.

**CERTIFICATION:**

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AS STIPULATED IN LAC TITLE 46, PART LXI, CHAPTER 29" BASED ON THE CURRENT SURVEY CLASSIFICATION "C - BOUNDARY SURVEYS OF RESIDENTIAL OR SUBURBAN AREAS" AND NO ENCROACHMENTS EXIST OTHER THAN WHAT IS SHOWN.

**Map of Survey Made For  
 Michael McIntosh**

Being a certain portion of ground situated in Square 82 of the Town of Mandeville, more specifically described as Lots 19-A and bounded by Montgomery Street, Albert Street, Colbert Street, and U.S. HWY 190, St. Tammany Parish, Louisiana



12/08/2022  
 RYAN J. FUSELIER, PLS REG. NO. 4857  
 150 BELLE TERRE DR. EUNICE, LA. 70535 (337)654-6403



PROJ. No.	22N012			
DETAILED:	BPJ	8/04/23	FINAL SURVEY - IMPROVEMENTS	CDR
DATE:	11/9/2022	7/15/22		
SHEET:	01	DATE	REVISION DESCRIPTION	BY

To:

Alex Weiner,CFM  
Planning Secretary  
Department of Planning & Development  
City of Mandeville  
3101 E. Causeway Approach  
Mandeville, LA 70448

Re: Variance request for Generator and A/C condensers in setback at 1225 Montgomery St,  
Mandeville, LA 70448

Owners: Michael and Grace McIntosh



Laundry room window upper left, master bath window upper right. The electrician placed the generator at a distance greater than the minimum required by code.



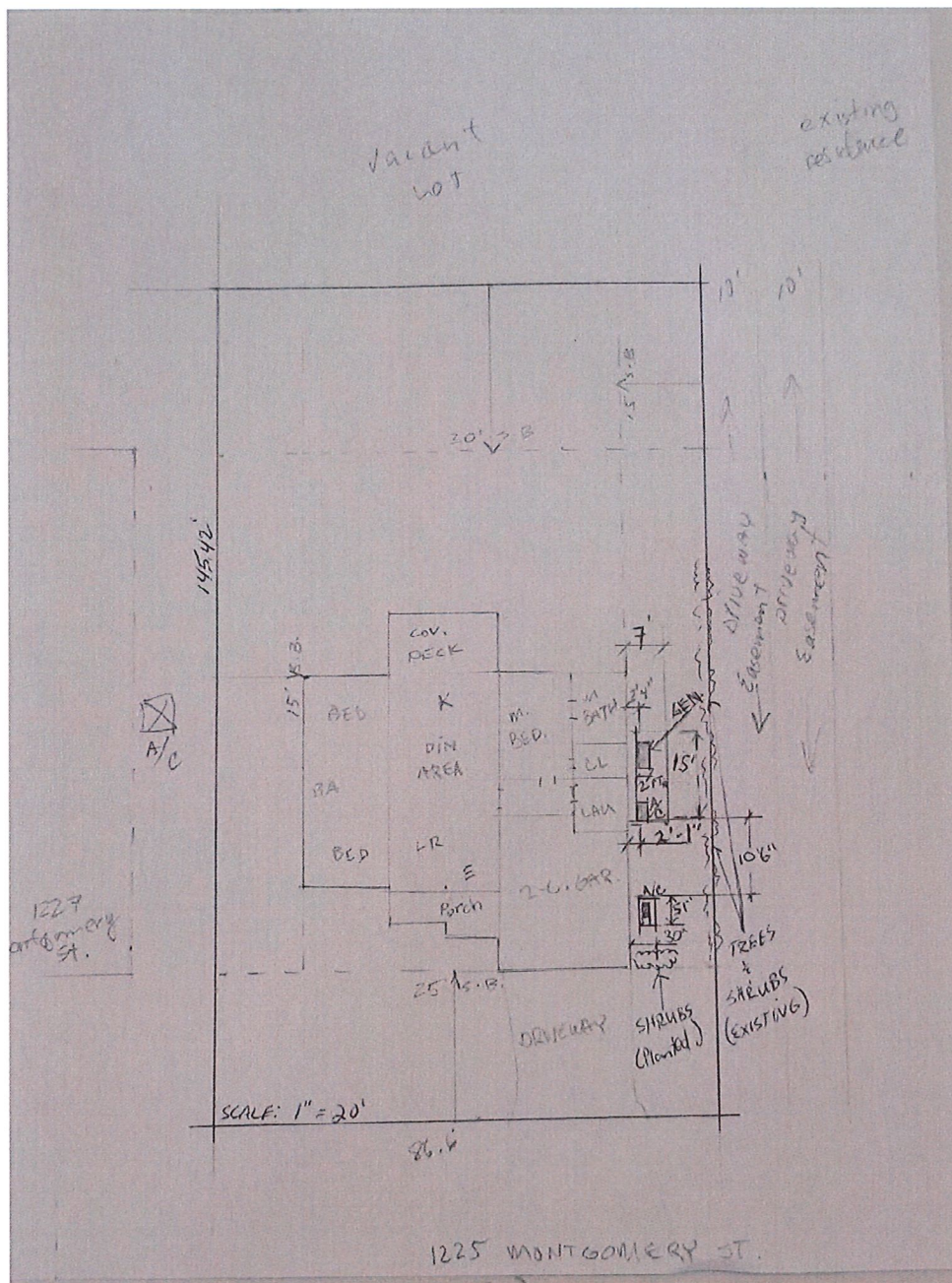
Pictures of the rear of the house. From left to right are 1) a master bedroom window, 2) kitchen window and exterior door, 3) a covered deck, and 4) at the far right is another bedroom window.

Height and dimensions of the equipment decks are as follows: A/C condenser and Generator on deck measuring 43" above grade to top of deck/bottom of equipment and overall 15' long x 7' from house to furthest edge.

There is a small platform adjacent the east exterior wall of the garage measuring 30" x 51" and is also 43" above grade.

Distance that the equipment is from the house: The Generator is 2'4" and the A/C condenser is 2' from the east exterior wall of the house.

Sketch of house footprint and location of Generator and A/C condenser.



Very Truly Yours,  
Michael McIntosh



**CASE SUMMARY SHEET****CASE NUMBER: V23-12-41****DATE RECEIVED: November 17, 2023****DATE OF MEETING: December 12, 2023 and January 9, 2024****Address: W Causeway Approach****Subdivision: Hwy 22 Gateway, Section 54 Lot C****Zoning District: B-2 Highway Business District****Property Owner: Scott Ballard**

**REQUEST: V23-12-41 – Mike Saucier requests a variance to CLURO Section 9.2.5.7. Live Oak Protection Requirements and Section 9.2.5.5. Landscape Requirements in Districts Other than Low-Density Residential, Hwy 22 Gateway, Section 54 Lot C, B-2 Highway Business District, W Causeway Approach**

**CASE SUMMARY:**

The property at W Causeway is located on the north side of W Causeway Approach, west of Moores Road, and south of Hwy 22. The property is irregular in shape, measuring 158' along the northern property line, 127' along the western property line, 237' along the east property line, and 193' along W. Causeway Approach; containing a square footage of 25,300. The property is currently unimproved.

The applicant is requesting to remove two live oaks from the property for the construction of a new Citizens National Bank. One live oak measures 18" in diameter and the other measures 24" in diameter. There are a total of five live oaks on the property, two measuring 24", one measuring 18", one measuring 16", and one measuring 12" in diameter. The remaining three live oaks will be preserved on site.

A report of the live oaks was prepared by Bill Reich, ASLA, and submitted by the applicant. The report states that the 18" Live Oak observed is not a specimen tree but is an understory tree that has been shaded out and full shape and growth habit have been stunted due to its location as such. Removal of adjacent trees during construction would limit its survivability. 24" Live Oak has also been growing in an understory environment and has growth mostly on one side towards the road.

The applicant is requesting to underbrush in the W Causeway greenbelt area. There are 23 trees identified in the W Causeway greenbelt, including three live oaks. No trees are being removed.

**CLURO SECTIONS:****9.2.5.7. Live Oak Protection Requirements**

In all zoning districts, including the R-1, R-1X and R-2 districts, all live oak trees 6" dbh shall be protected as follows:

1. A tree removal permit shall be obtained from the Building Inspector prior to cutting, clearing or removing any live oak tree.
2. The applicant wishing to remove a live oak tree must state in writing that such activity will enhance the health, safety and welfare of the public, or otherwise benefit the public interest and the applicant must offer evidence to that effect. The Building Inspector is empowered to issue or deny the permit based on the application and the evidence. Prior to the issuance of a tree removal permit the applicant must submit a plan or written statement offering evidence of compliance with the tree replacement provisions of this Article.
3. It shall be unlawful for any person to place soil in such a way that would cause live oaks to become diseased or die. If filling with soil is necessary to properly drain the land, all efforts should be made to protect the area within the drip line of a live oak from the impact of such activity. Should all efforts fail and a tree removal permit be issued for the removal of the live oak the provisions of these regulations regarding replacement of trees shall be required to be met.
4. A tree removal permit will be required to prune the primary and secondary branches of any live oak tree 12" dbh or greater. Such pruning shall be required to be recommended in writing and supervised by a licensed arborist or a state forester.

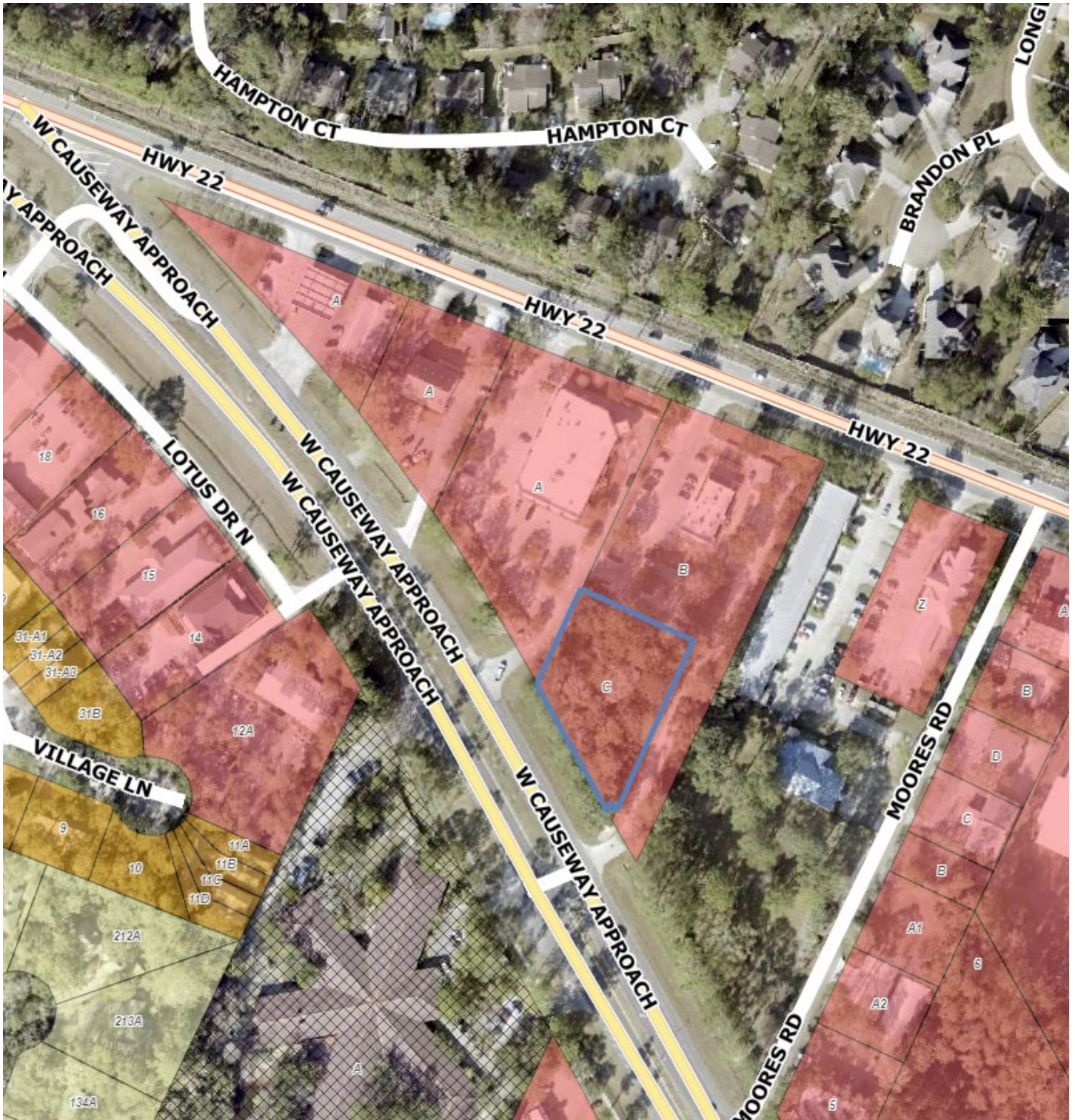
**9.2.5.5. Landscape Requirements in Districts Other than Low-Density Residential**

The requirements of this Article shall apply to all zoning districts other than R-1, R-1X and R-2 residential districts, with the exception of the Live Oak Protection requirements in section 9.2.5.7, which apply in all zoning districts. In all zoning districts other than R-1, R-1X and R-2, development sites shall be required to meet the minimum requirements as specified by this Article for Landscaping within the periphery landscape areas, interior planting areas and buffer areas. All required plant materials shall be installed or preserved in accordance with this Article and the landscape inspector shall inspect the required landscaping to verify adherence to code and the landscape plan approved in conjunction with the permit prior to the issuance of a Certificate of Occupancy.

- e. Preservation of Trees in Greenbelts - Except in accessways as described above, all trees and shrubs shall be preserved or replaced if diseased or dead. In addition, if the number of trees six (6) inches or more dbh which are in the front periphery do not equal the required number of Class A and Class B trees (one (1) per twenty-five (25) linear feet), then Class A and Class B trees must be planted to the extent necessary to comply with the requirements of this Article. In addition to the above, the following requirements will apply:



- (1) Dead trees and shrubs may be removed and shall be replaced from the list of native plants that has been approved by the Zoning Commission and is available from the City of Mandeville Department of Planning and Development.
- (2) Invasive species may be removed subject to the approval from the Landscape Inspector.



## Field Report – Live Oaks- Evaluation

Date Issued	12/05/2023
Project Name	Citizens Bank- Mandeville
Project Number	NA
Attendees	Bill Reich (Reich) and Matt Saucier
Subject	Existing Live Oak Observation
Site Visit Date	11/28/2023

### OBSERVATIONS / COMMENTS

- 1- 18" Live Oak observed is not a specimen tree but is an understory tree that has been shaded out and full shape and growth habit have been stunted due to its location as such. Removal of adjacent trees during construction would limit its survivability.
- 2- 24" Live Oak has also been growing in an understory environment and has growth mostly on one side towards the road. Possible pervious pavers may help soften the impact of development on that side.



1-18" Live Oak



2-24" Live Oak

**PREPARED BY:** Bill Reich, ASLA, CLARB

**END OF REPORT**



RCL ARCHITECTURE, L.L.C.  
 900 W. Causeway Approach  
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 New Orleans, LA 70113  
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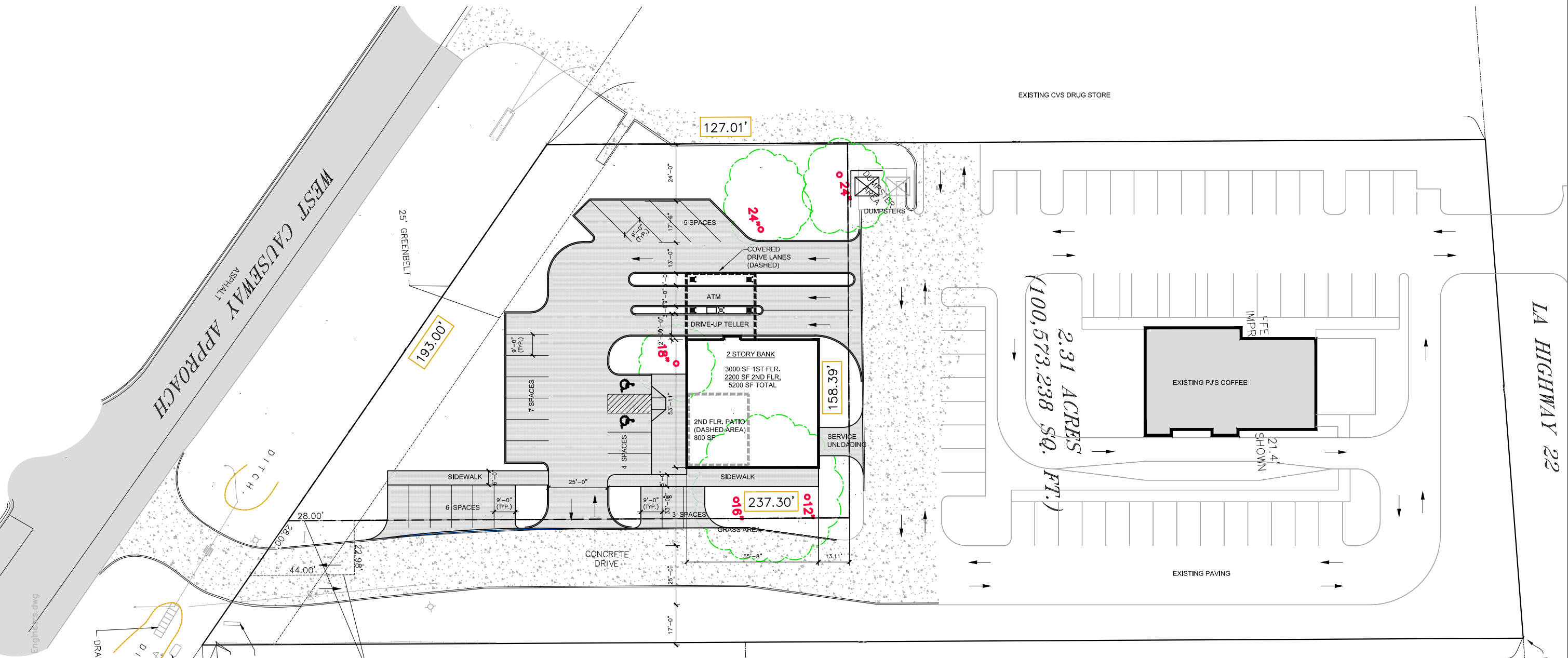
RCLA  
 Project Number: 22317  
 Date Issued: 11/16/2023  
 Drawn By: LBW  
 Checked By: XX  
 Revisions:  
 XX

**CONCEPT LAYOUT  
 PROPOSED BANK**  
 4520 HIGHWAY 22  
 MANDEVILLE, LA 70458

Preliminary  
 Design

Sheet Number:  
**PD-1**

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**1 Preliminary Design - Site Plan**  
 PD-1 SCALE: 1"=20'-0"

PARKING	
REQUIRED (1/200 SF)	26 SPACES
PROVIDED	25 SPACES

LEGEND	
	EXISTING PAVEMENT & IMPROVEMENTS (UNSHADED)
	PROPOSED DEVELOPMENT GROUND LEASE (SHADED) APPROXIMATELY 0.78 ACRES

OWNER: USA RHODES B1  
 MUN. #4510 HIGHWAY

**CONCEPTUAL PLAN  
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 FRANZ J. ZEMMER  
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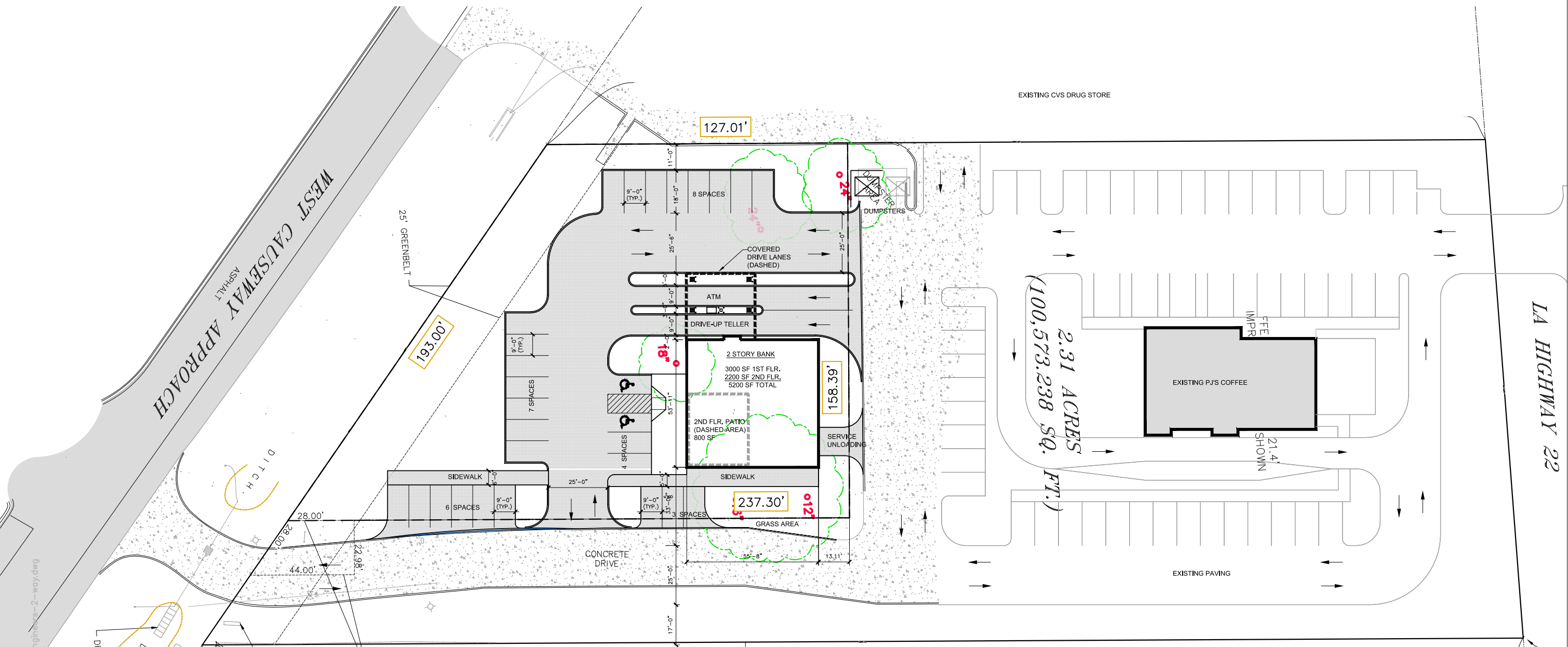
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 Revisions:  
 XX

**CONCEPT LAYOUT  
 PROPOSED BANK**  
 4520 HIGHWAY 22  
 MANDEVILLE, LA 70458

Preliminary  
 Design

Sheet Number:  
**PD-2**

Copyright 2023



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**1 Preliminary Design - Site Plan**  
 PD-1 SCALE: 1"=20'-0"

PARKING	
REQUIRED (1/200 SF)	26 SPACES
PROVIDED	28 SPACES

LEGEND	
	EXISTING PAVEMENT & IMPROVEMENTS (UNSHADED)
	PROPOSED DEVELOPMENT GROUND LEASE (SHADED) APPROXIMATELY 0.78 ACRES

OWNER: USA RHODES B1  
 MUN. #4510 HIGHW

**CONCEPTUAL PLAN  
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 FOR THE ISSUANCE OF A PERMIT

P.O.B.

NOTE:  
FILL AREA- REMAINDER OF THE CITY  
2' ALLOWED UNDER ROOFLINE  
6" FOR DRIVEWAYS ETC.

THE P.O.B. IS REPORTED TO BE S25°15'W, 1077.12'; N69°15'W, 1043.79' FROM THE SECTION CORNER COMMON TO SECTIONS 33, 37, & 54, T-7-S, R-11-E, ST. TAMMANY PARISH, LA.

LA HIGHWAY 22

1.5 ACRES  
MUN. #4540 HIGHWAY 22

2.31 ACRES  
(100,573.238 SQ. FT.)

OWNER: LISA RHODES BLANCHARD  
MUN. #4510 HIGHWAY 22

OWNER: CAPONE LIVING TRUST  
MUN. #155 MOORES ROAD

OWNER: MARLA REDMANN GARVEY  
MUN. #115 MOORES ROAD



ZONING: B-2 HIGHWAY BUSINESS DISTRICT & GO-GATEWAY OVERLAY

BUILDING SETBACKS  
FRONT - 25'  
SIDE (STREET) - 15'  
SIDE (INTERIOR) - 5'  
REAR - 5'

MAX HEIGHT - 35'  
MAX IMPERVIOUS - 75%

LEGEND

- SEWER CLEANOUT
- LIGHT POLE
- WATER VALVE
- ELECTRIC PANEL
- ELECTRIC BOX
- ELECTRIC CONDUIT
- DRAIN LINE
- WATER LINE

GENERAL NOTES

1. THE LOCATION OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY, THEY WERE NOT EXCAVATED TO BE ACCURATELY LOCATED. CALL LOUISIANA ONE CALL "DOTTIE" BEFORE DIGGING. (1-800-272-3020)
2. THE PROPERTY IS LOCATED WITHIN FLOOD ZONES "X" WITH A BASE OF N/A ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 2200000100 REVISED MAY 16, 2012.
3. SERVITUDES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE DEEDS OR TITLE POLICY WILL BE ADDED HERE TO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.
4. THIS SURVEY WAS DONE ON THE GROUND UNDER MY DIRECT SUPERVISION AND CONTROL AND FOUND NO ENCROACHMENTS ON THE SUBJECT PROPERTY EXCEPT AS SHOWN.
5. SETBACK LINES SHALL BE VERIFIED BY OWNER OR CONTRACTOR PRIOR TO ANY CONSTRUCTION, AS AN ABSTRACT HAS NOT BEEN PERFORMED BY THE UNDERSIGNED.
6. THIS SURVEY MEETS OR EXCEEDS A CLASS "C" SURVEY AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
7. REFERENCE SURVEYS:  
a) A SURVEY OF A 3.81 ACRE PLOT OF LAND, BY LAND SURVEYING INC., DATED JUNE 25, 1980, JOB #2059  
b) A SURVEY OF A 1.5 ACRE PLOT OF LAND, BY LAND SURVEYING INC., JOB #5766.
8. BASIS OF BEARINGS/ANGLES: THE REFERENCE SURVEYS.

SURVEYOR'S CERTIFICATION

I do hereby certify that the data set forth above that I or others under my direct supervision, have made a careful survey of the property and the boundaries relating to a portion of ground in Section 54, Township 7 South, Range 11 East of Tammany Parish, Louisiana.

JOHN E. BORNEAU  
Registered Professional Land Surveyor  
Louisiana Registration No. 4423

11/13/2023  
DATE

NO.	DATE
1	XX.XX.XXXX
2	
3	
4	
5	
6	
7	
8	

A SURVEY MAP OF  
**A PORTION OF A 2.31 ACRES PARCEL**  
situated in  
Section 54, Township 7 South, Range 11 East  
in the City of Mandeville, St. Tammany Parish, Louisiana  
for  
**GULF STATES CONSTRUCTION SERVICES**

DATE: 11-13-2023

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PROJECT NO.: 23-140499  
DRAWN BY: SAC  
CHECKED BY: JEB  
SCALE: 1" = 40'

**SURVEYOR INFORMATION**

Professional Land Surveyors  
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SHEET  
1 OF 1