

**CASE SUMMARY SHEET****CASE NUMBER: V23-10-35****DATE RECEIVED: September 15, 2023****DATE OF MEETING: October 3, 2023 and October 24, 2023****Address: 3022 East Causeway Approach****Subdivision: Magnolia Ridge, Square A Lot 73-A-2-1****Zoning District: B-1 Neighborhood Business District****Property Owner: Adam LeBlanc**

**REQUEST: V23-10-35 – Adam LeBlanc requests a variance to CLURO Section 9.2.5.5 Landscape Requirements in Districts Other than Low-Density Residential, Magnolia Ridge, Square A Lot 73-A-2-1, B-1 Neighborhood Business District, 3022 East Causeway Approach**

**CASE SUMMARY:**

The applicant owns the property at 3022 East Causeway Approach, located on the south side of East Causeway Approach, west of Magnolia Ridge Drive, and east of Massena Street. The property measures 129.55' x 300' and has a square footage of 38,867 per a survey prepared by Kelly McHugh & Associates dated 4.25.22. A permit for new commercial construction was recently issued (Permit #23-8470).

The applicant has updated the request from removing nine (9) trees to five (5) trees. The tree species under request are two (2) pines and three (3) oak trees (non-Live oak). Per a landscape plan prepared by Haddad Contractors six (6) 45-gallon Magnolia trees and fourteen (14) 45-gallon Red Maple trees are to be planted in the front greenbelt.

The following statement was provided on the application: *“Building will have zero street visibility due to the preserved trees on the front of the lot. Request to remove all preserved trees listed on landscape plan to allow visibility from East Causeway Approach”.*

**CLURO SECTIONS:****9.2.5.5. Landscape Requirements in Districts Other than Low-Density Residential**

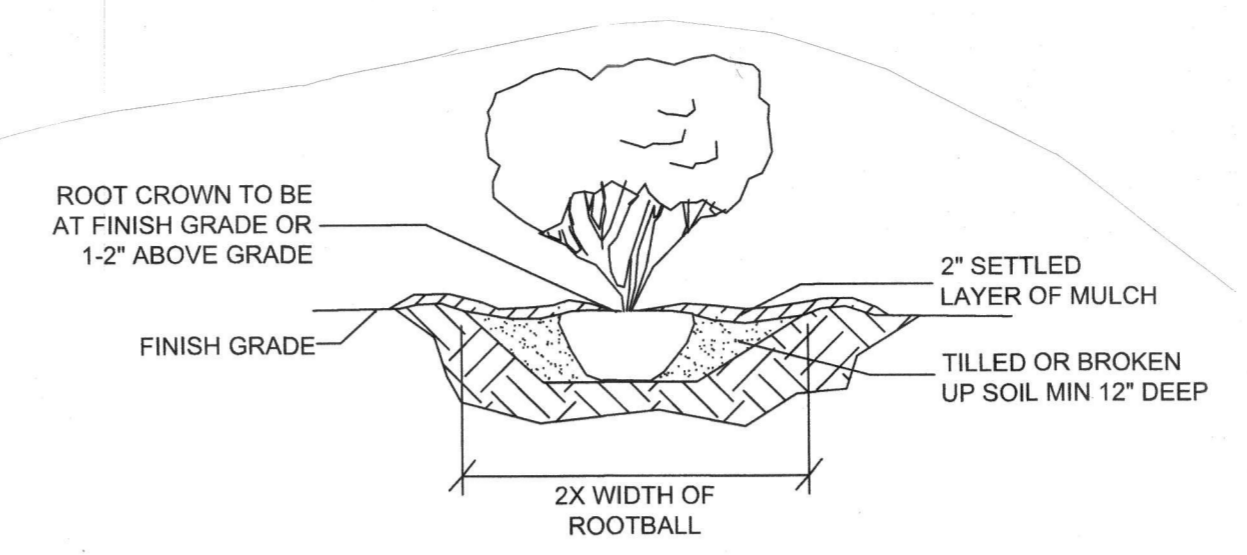
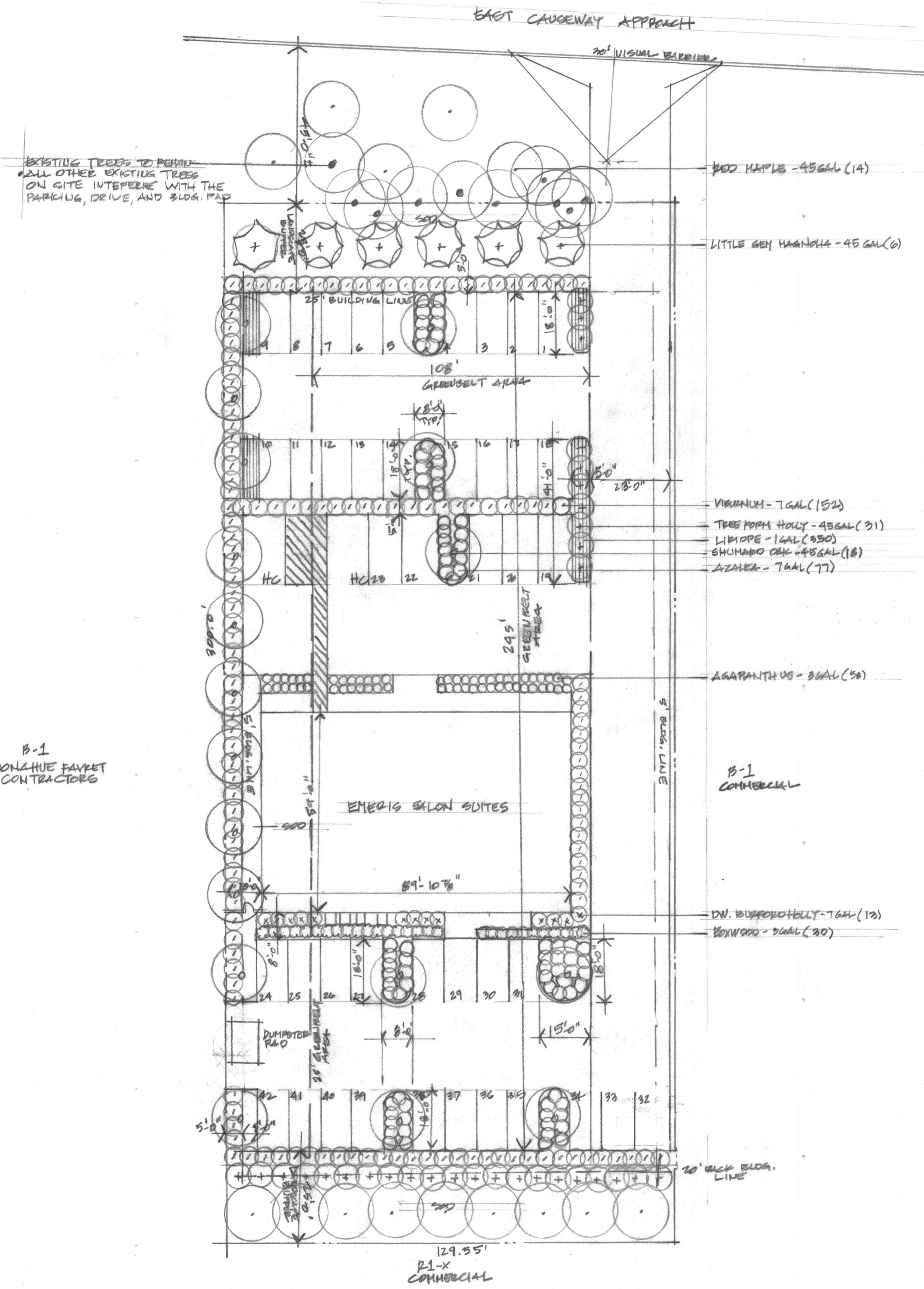
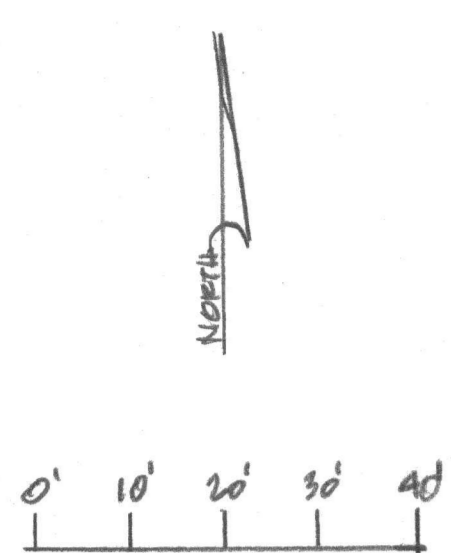
The requirements of this Article shall apply to all zoning districts other than R-1, R-1X and R-2 residential districts, with the exception of the Live Oak Protection requirements in section 9.2.5.7, which apply in all zoning districts. In all zoning districts other than R-1, R-1X and R-2, development sites shall be required to meet the minimum requirements as specified by this Article for Landscaping within the periphery landscape areas, interior planting areas and buffer areas. All required plant materials shall be installed or preserved in accordance with this Article and the landscape inspector shall inspect the required landscaping to verify adherence to code and the landscape plan approved in conjunction with the permit prior to the issuance of a Certificate of Occupancy.

e. Preservation of Trees in Greenbelts - Except in accessways as described above, all trees and shrubs shall be preserved or replaced if diseased or dead. In addition, if the number of trees six (6) inches or more dbh which are in the front periphery do not equal the required number of Class A and Class B trees (one (1) per twenty-five (25) linear feet), then Class A and Class B trees must be planted to the extent necessary to comply with the requirements of this Article. In addition to the above, the following requirements will apply:

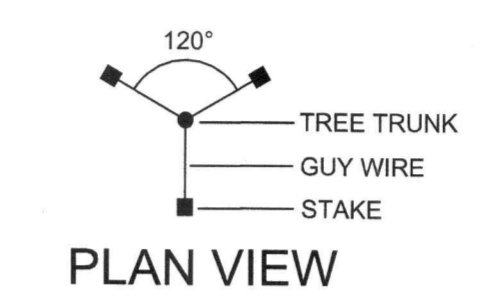
- (1) Dead trees and shrubs may be removed and shall be replaced from the list of native plants that has been approved by the Zoning Commission and is available from the City of Mandeville Department of Planning and Development.
- (2) Invasive species may be removed subject to the approval from the Landscape Inspector.



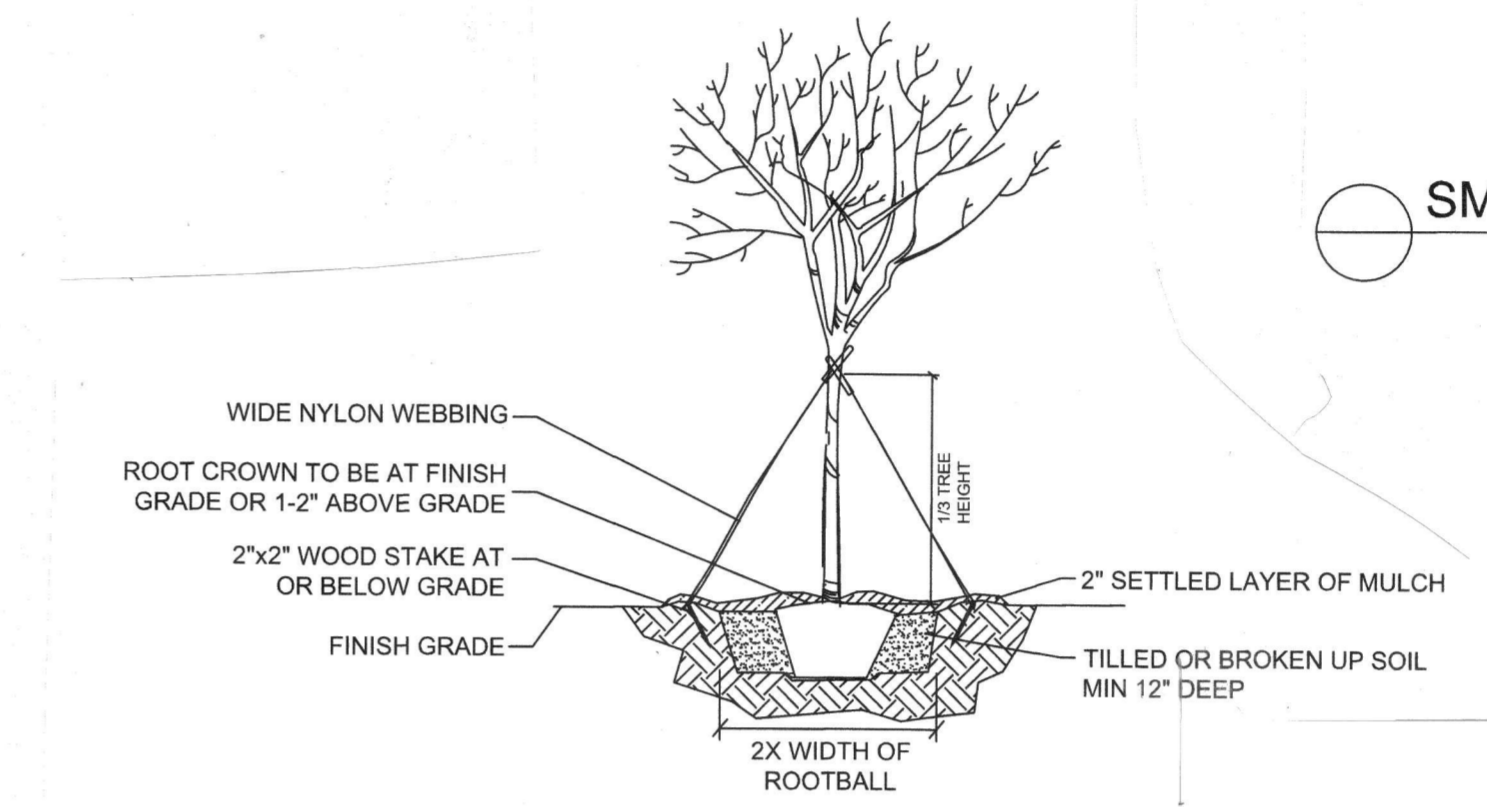




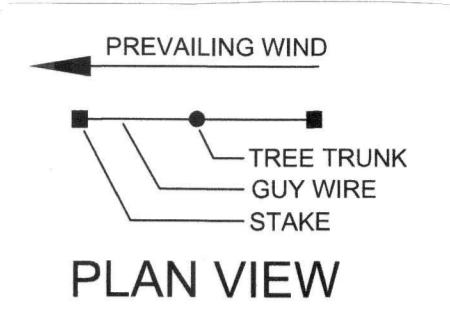
TYP. SHRUB PLANTING:  
INDIVIDUAL PLANTING HOLE  
NOT TO SCALE



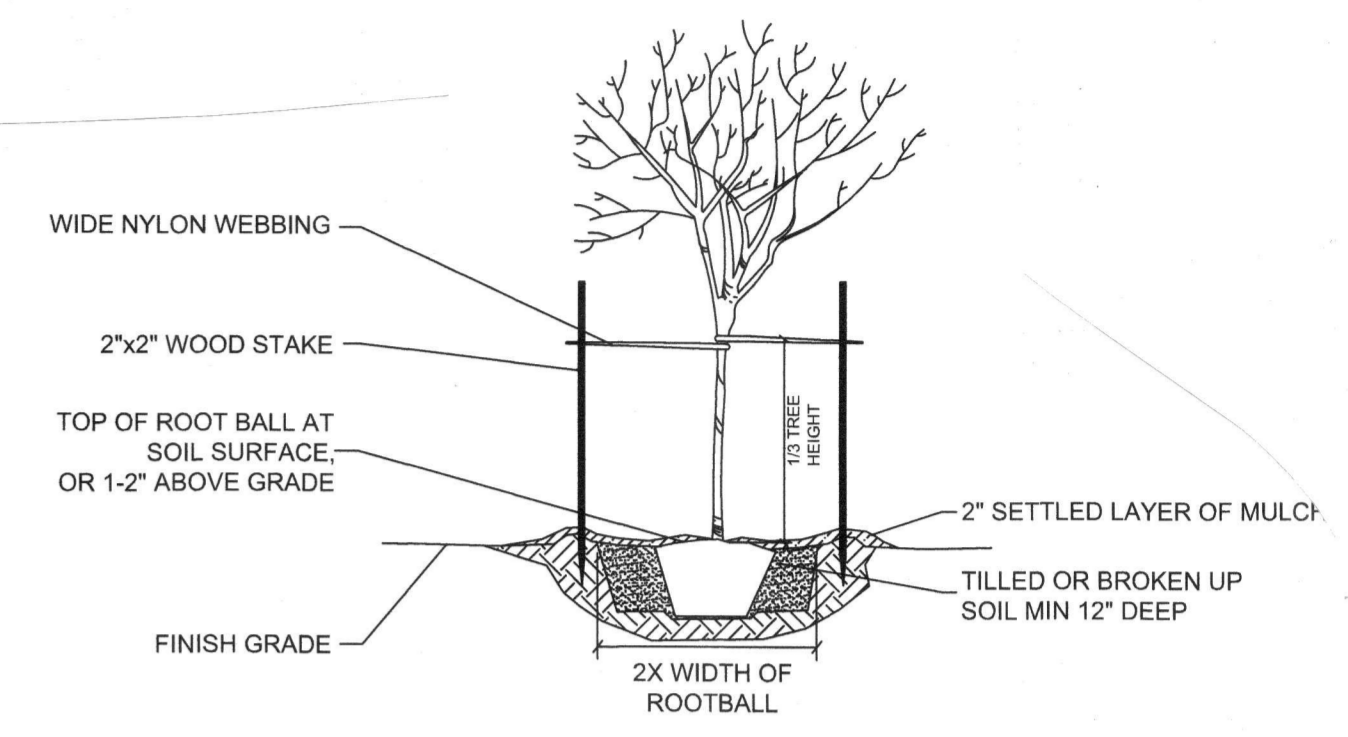
PLAN VIEW



TREE PLANTING (>2" CAL.)  
NOT TO SCALE



PLAN VIEW



SMALL TREE PLANTING (<2" CAL.)  
NOT TO SCALE

TREES				
QUANTITY	NAME	CONT.	CALIFR.	SIZE
14	CLASS A ACER RUBRUM	45 GAL	2"	10-12"
6	CLASS B MAGNOLIA GRANDIFLORA 'LITTLE GEM'	45 GAL	2"	8-8"
31	CLASS B ILEX ATTENUATA 'EAST PALATKA'	45 GAL	1.5-2"	8-8"
18	CLASS A QUERCUS SHRIMMERS'	45 GAL	2"	10-12"
69				
SHRUBS				
150	VIBURNUM OPPOSITIFOLIUM	7 GAL		
350	IBEOPI MISCARI 'BIG BLUE'	1 GAL		
77	RHOCHONDROLA ENCORE 'AUTUMN SERIES'	7 GAL		
58	AGAPANTHUS AFRICANUS 'BLUE'	3 GAL		
13	ILEX CORNUTA 'WINTERBURN NANA'	7 GAL		
35	BUNIA MICROPHYLLA 'WINTERGREEN'	3 GAL		
680				
TOTALS				
749	PLANT TOTAL			
5015	BED PREPARATION WITH HARDWOOD MULCH			SQ. FT.
2500	TOPDRESS FOR TREES			YARD
45	STAKING			EACH
2000	BERMUDA SOO/CYNODON DACTYLON			YARD

- NOTES:
- ALL TREES AND UNDERPLANT WITHIN GREENBELT AREA TO BE PRESERVED WHEN POSSIBLE. (SEE EXISTING TREE PLAN)
  - CURBS SHALL BE ON ALL PAVEMENT ISLANDS INSIDE THE INTERIOR AREA
  - TOTAL BED PREPARATION AREA IS 5015 SQ. FT.
  - TOTAL SOO AREA IS 6975 SQ. FT. SOO IS TO BE BERMUDA.

PLANTING AREA REQUIREMENTS

- GREENBELT AREA (26,460 SF) (SEE DIMENSIONS ON PLAN)**
- 23 CLASS A TREES REQUIRED
  - 23 CLASS A TREES PROVIDED
  - 240 SHRUBS PROVIDED
  - FENCE REQUIRED AND PROVIDED
  - 2116.8 SF OF LANDSCAPING REQUIRED OR 8%
  - 2880 SF OF LANDSCAPING PROVIDED OR 10.5%
- SITE REQUIREMENTS**
- 38,740 SF OF SITE - 1 CLASS A TREE PER 5000 SF
  - 8 CLASS A TREES REQUIRED
  - 8 CLASS A TREES PROVIDED
  - 17 CLASS B TREES PROVIDED
- STREET FRONTAGE - 129.55 LF**
- 3 CLASS A TREES REQUIRED
  - 10 CLASS B TREES PROVIDED
- PARKING LOT (46 PARKING SPACES)**
- 1 CLASS A TREE PER 10 SPACES
  - 5 CLASS A REQUIRED
  - 8 CLASS A PROVIDED
  - 10 CLASS B PROVIDED
- VEHICULAR USE AREA (SEE DIMENSIONS ON PLAN)**
- 6505 SF PROVIDED
  - 17 CLASS A TREES PROVIDED
  - 31 CLASS B TREES PROVIDED
  - 240 SHRUBS PROVIDED
- TOTAL**
- 39 CLASS A TREES REQUIRED
  - 32 CLASS A TREES PROVIDED
  - 42 CLASS B TREES PROVIDED



LANDSCAPE DESIGN PLAN

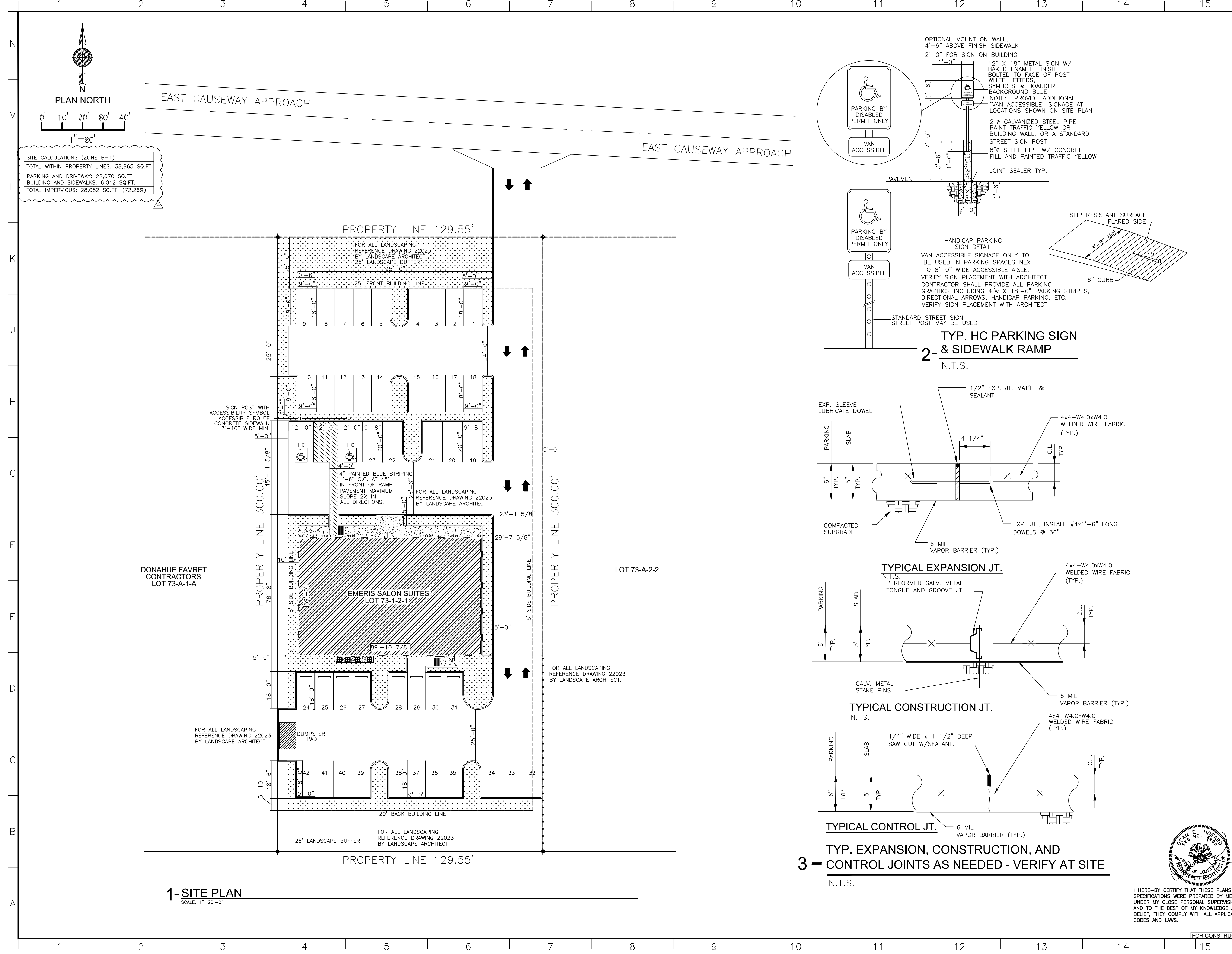
SCALE: 1/8" = 1'-0" APPROVED BY: \_\_\_\_\_ DRAWN BY: TEA

DATE: 6-2023 REVISED: TEA

EMERIS SALON SUITES 2024 EAST CAUSEWAY APPROACH

HARRIS CONTRACTORS DRAWING NUMBER: 21023





**1-SITE PLAN**  
SCALE: 1"=20'-0"

**SITE CALCULATIONS (ZONE B-1)**

TOTAL WITHIN PROPERTY LINES:	38,865 SQ.FT.
PARKING AND DRIVEWAY:	22,070 SQ.FT.
BUILDING AND SIDEWALKS:	6,012 SQ.FT.
TOTAL IMPERVIOUS:	28,082 SQ.FT. (72.26%)

**GENERAL NOTES:**  
WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID ERRORS, THE CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SPECIFICATIONS, SIZE DIMENSIONS AND ELEVATION OF ALL MATERIAL. THE CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR VERIFICATION OF PROPERTY LINE, RESTRICTIONS AND ANY LOCAL CODE AND GUIDE LINES FOR CONSTRUCTION. ANY CHANGE TO THESE PLAN SHALL BE AGREED UPON BY THE OWNER AND THE CONTRACTORS.  
ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, THE INTERNATIONAL BUILDING CODE, THE INTERNATIONAL PLUMBING CODE, THE INTERNATIONAL MECHANICAL CODE, THE STATE FIRE MARSHAL CODE AND ALL OTHER INSPECTION DEPARTMENTS HAVING JURISDICTION AND FROM WHOM PROPER CERTIFICATES OF APPROVAL SHALL BE FURNISHED.

**GENERAL REQUIREMENTS:**  
VERIFY ALL DIMENSIONS IN THE FIELD BEFORE ORDERING ANY MATERIAL OR STARTING ANY WORK. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FOUNDATION LAYOUT WITH BUILDING FOUNDATION DRAWINGS.  
ANCHOR BOLT SIZE, LAYOUT AND PATTERN TO BE PER LOCAL CODES.  
PROVIDE LEVEL LANDINGS OUTSIDE EXTERIOR DOORS THAT ARE WITHIN 1/2" OF THE INTERIOR FINISH FLOOR ELEVATION.  
VERIFY ALL OPENING SIZE AND LOCATIONS.  
DO NOT SCALE DRAWINGS VERIFY ALL DIMENSIONS AT SITE. VERIFY ALL CODES.  
VERIFY SITE CONDITION AND LOCATION.  
VERIFY ALL UTILITIES AT SITE.

**EROSION CONTROL NOTES:**

- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.

**SYMBOL LEGEND**

	WATER VALVE
	WATER METER
	SEWER MANHOLE
	DRAIN MANHOLE
	CURB INLET
	LIGHT STANDARD
	ELEVATIONS
	GRADE/ELEVATION REFERENCE
	DRAWING REVISION TAG NUMBER

**Dean Hotard & Associates, Inc.**  
Post Office Box 702 Port Allen, LA 70767  
Phone (225) 343-7591 Fax (225) 343-5101

**Construction Drafting**  
ARCHITECTURAL DRAWING SOLUTIONS  
**CONSTRUCTION DRAFTING, LLC**  
2136 ELISSALDE ST.  
BATON ROUGE, LA 70808  
ANDREW J. GAUTHIER  
(225) 571-0586

NO.	DATE	REVISIONS	BY
0	1/17/2023	ISSUE FOR CONSTRUCTION	AG
1	3/30/2023	LANDSCAPE REVISIONS	AG
4	6/28/2023	CHANGES PER CITY OF MANDEVILLE	AG

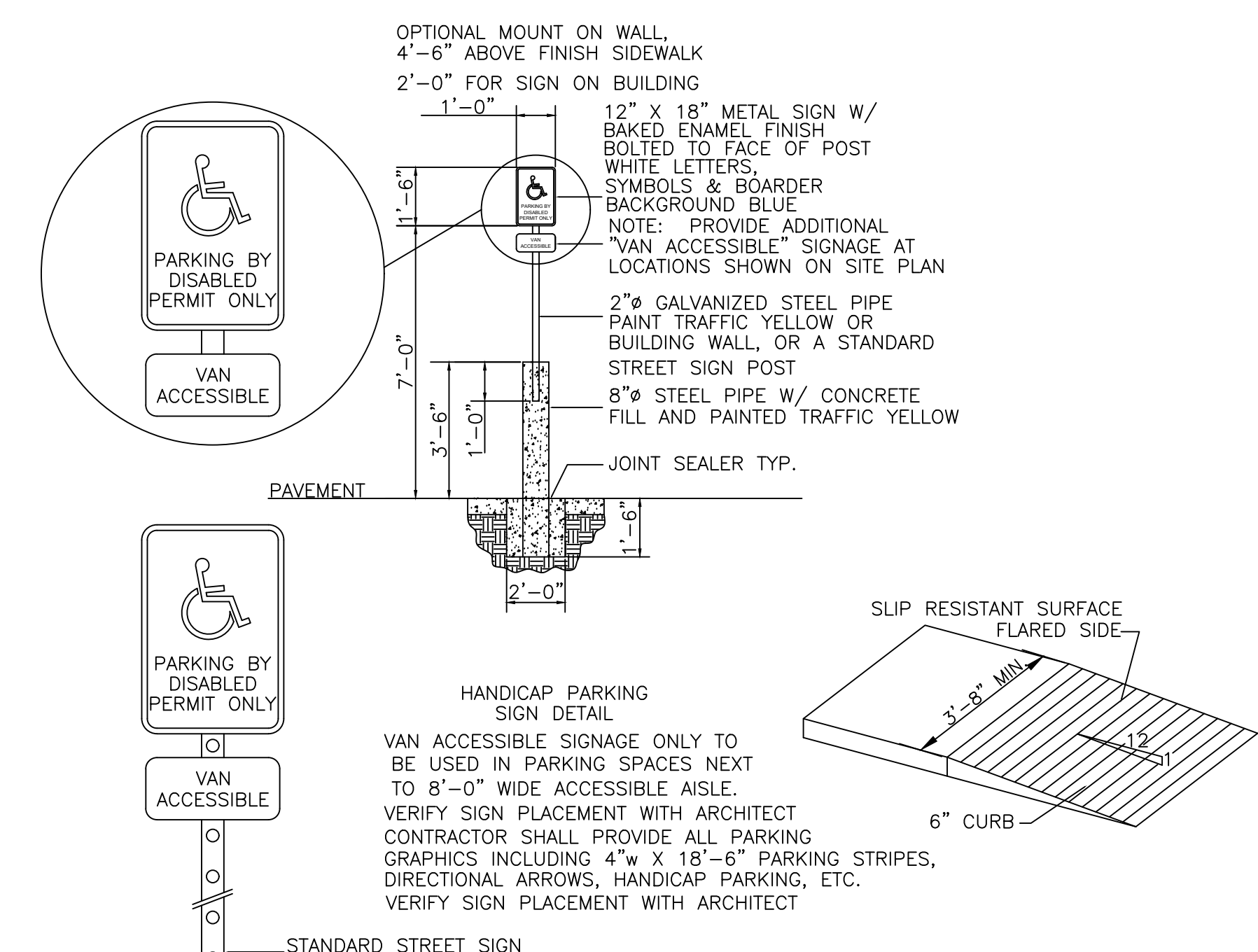
**OWNER/CONTRACTOR:**  
**HADDAD CONTRACTORS**  
37283 SWAMP RD.  
PRAIRIEVILLE, LA 70769  
(225) 673-5380  
PHILIP HADDAD

**OWNER:**  
**AJ & MAKAEEL LEBLANC**  
10460 MATHERNE PLACE DR.  
DENHAM SPRINGS, LA. 70726  
(225) 445-2035  
(225) 955-4290  
LIVINGSTON PARISH

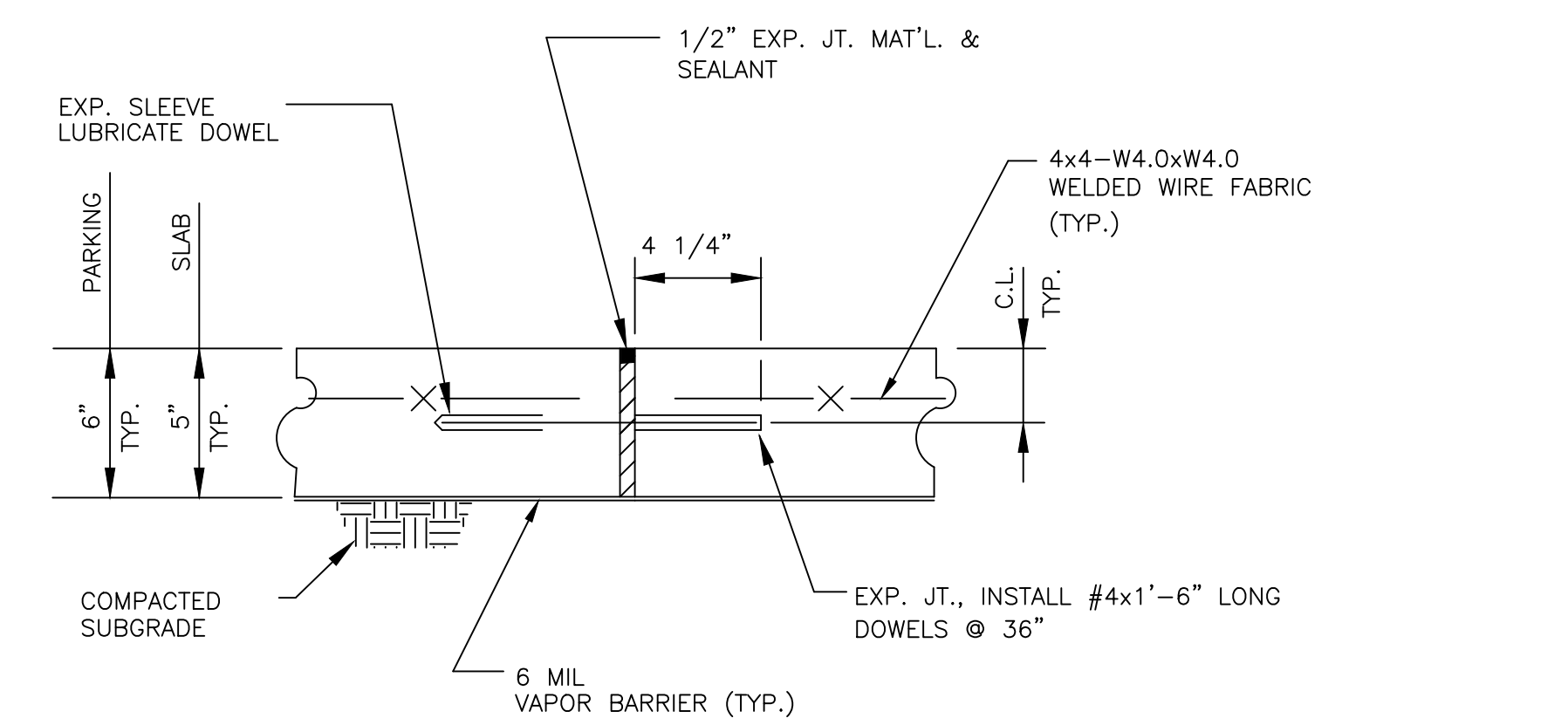
**PROJECT:**  
**EMERIS SALON SUITES**  
3022 E. CAUSEWAY APPROACH  
MANDEVILLE, LA 70448  
ST. TAMMANY PARISH

**SHEET:**  
**ARCHITECTURAL SITE PLAN**

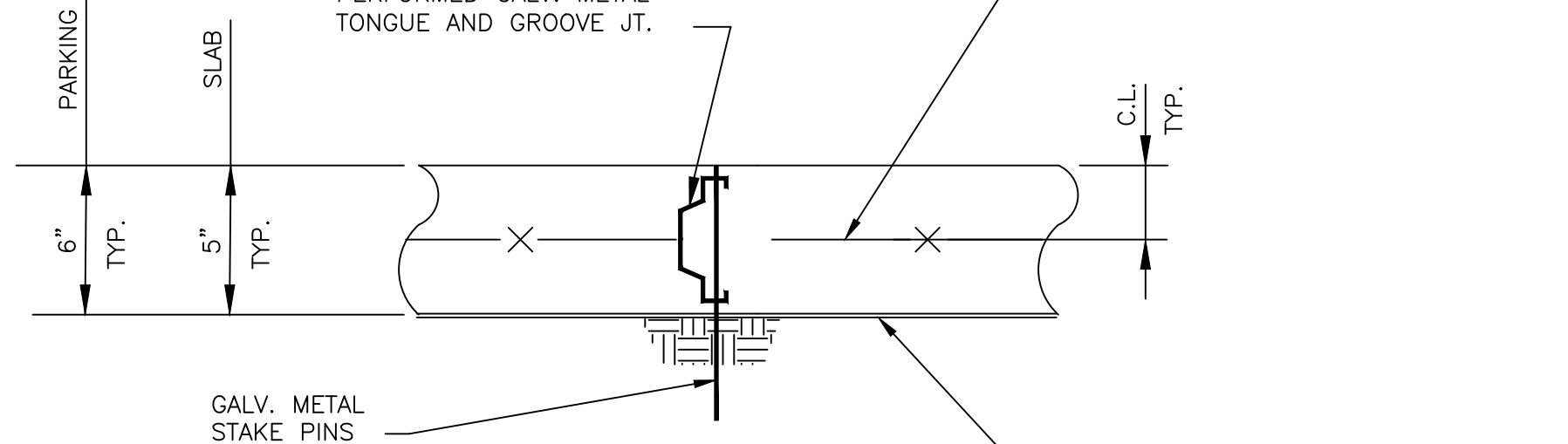
DRAWN BY:	AG	PROJECT NO.:	A135-S2022
REVIEWED BY:	PH	FILE NO.:	D-A135-S2022
DATE:	1/17/2023	CHECK BY:	AL
SCALE:	1"=20'	CHECK BY:	ML
DRAWING NO.:	C1.1	REV.:	2



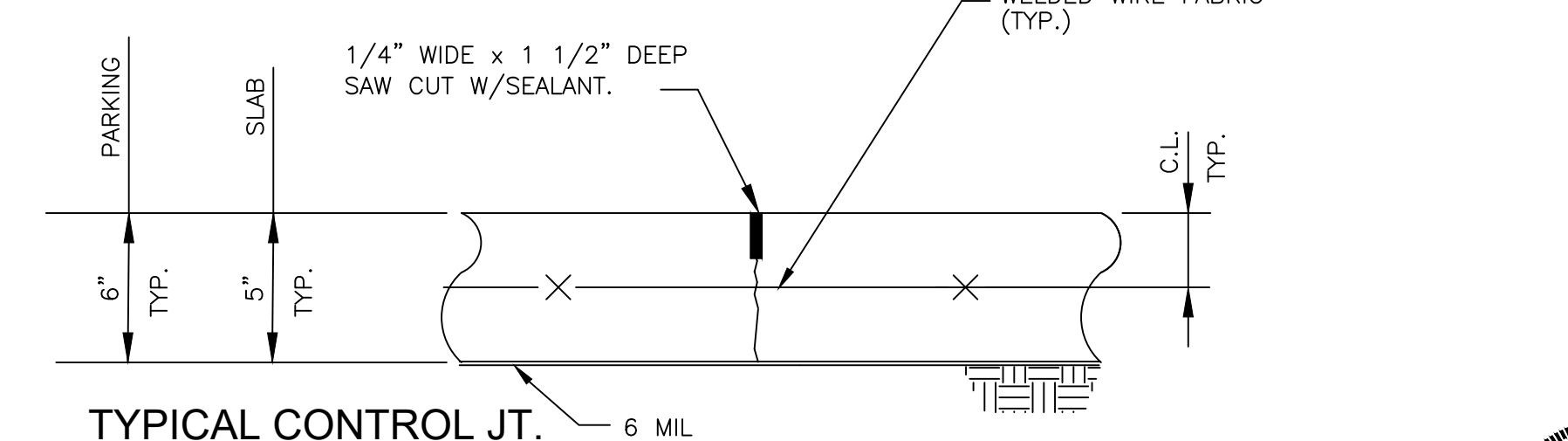
**TYP. HC PARKING SIGN & SIDEWALK RAMP**  
N.T.S.



**TYPICAL EXPANSION JT.**  
N.T.S.

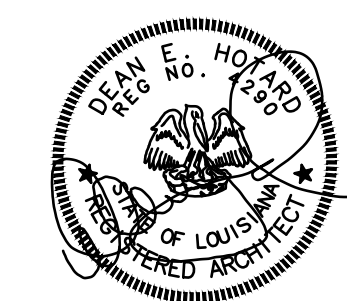


**TYPICAL CONSTRUCTION JT.**  
N.T.S.



**TYP. EXPANSION, CONSTRUCTION, AND CONTROL JOINTS AS NEEDED - VERIFY AT SITE**  
N.T.S.

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL APPLICABLE CODES AND LAWS.



FOR CONSTRUCTION



APPROVAL:

CITY ENGINEER OR PUBLIC WORKS DIRECTOR

PLANNING DIRECTOR

CHAIRMAN OF THE PLANNING COMMISSION

MAYOR OF THE CITY OF MANDEVILLE

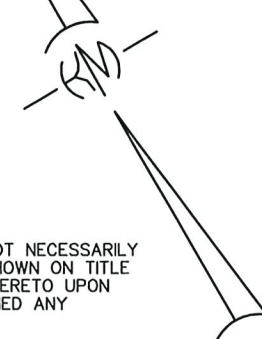
CLERK OF COURT

6135C 07-20-2022  
MAP FILE NO. DATE FILED

Monique T Bringol, Deputy Clerk

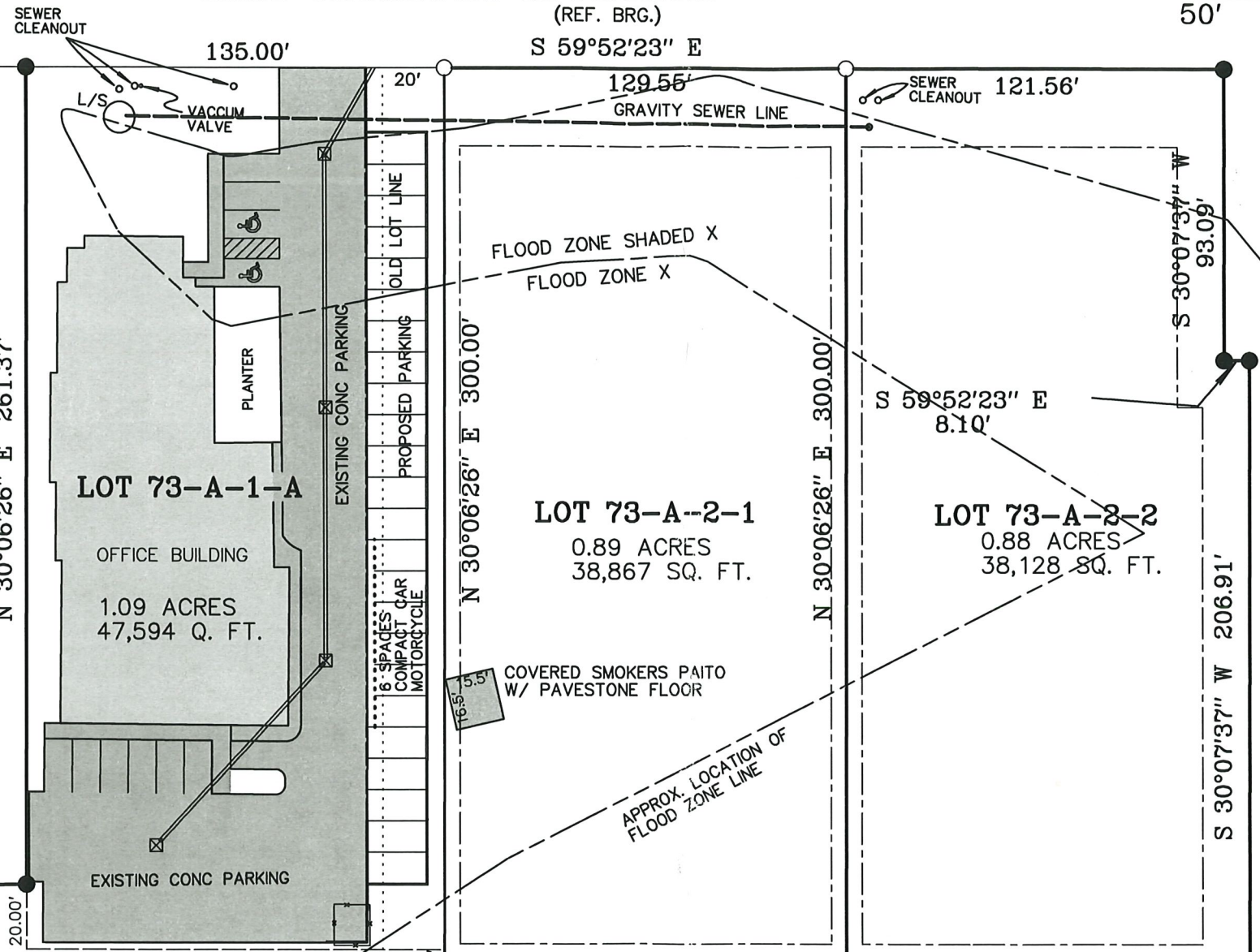
# EAST CAUSEWAY APPROACH

(REF. BRG.)



MASSENA ST.

MAGNOLIA RIDGE BLVD.



NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY SEARCH OR ABSTRACT.

**KELLY J. McHUGH**  
REG. NO. 4443  
6/15/22

CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

SEWER: OWNER OF LOT 73 A-1-A MUST MAINTAIN POWER AND MAINTENANCE FOR LIFT STATION. ALL 3 LOTS ARE RESPONSIBLE FOR MAINTENANCE OF SEWLER LINES AND SERVITUDES.

WATER: TIE INTO 8" MAIN ON MAGNOLIA RIDGE DR.

REFERENCE: 1) A RE-SUBDIVISION PLAT BY THIS FIRM, FILED FOR RECORD 07-30-2001. MAP FILE NO. 1953' 2) A PLAT BY THIS FIRM DATED 01-25-18, JOB NO. 18-016

RESUBDIVISION OF:  
LOTS 73-A-1 & 73-A-2 INTO LOTS  
73-A-1-A, 73-A-2-1, & 73-A-2-2  
MAGNOLIA RIDGE SUBD. PH- 1-B  
CITY OF MANDEVILLE,  
ST. TAMMANY PARISH. LA.

PREPARED FOR:  
**M.J.J.B., LLC &  
EAST CAUSEWAY DEVELOPMENT  
GROUP, LLC**

**KELLY J. McHUGH & ASSOC., INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 50' DATE: 04-25-22  
DRAWN: MDM JOB NO.: 18-016  
REVISED:

N 30°00'00" E 35.93'

S 60°41'11" E 190.37'

NOTE: "PRIVATE SERVITUDE OF PASSAGE ON LOT 73-A-1, IN FAVOR OF LOT 73-A-2"  
PRIVATE SERV. OF PASSAGE

N 59°52'23" W 325.28'

S 59°58'06" E 135.00'

129.55'

129.56'

MAGNOLIA RIDGE BLOCK A

N 59°52'23" W

LOT 1

17

LOT 18

LOT 19

LOT 20

LOT 21

-- LEGEND --

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET

THIS PROPERTY IS LOCATED IN FLOOD ZONE X & SHADED X ; F.I.R.M. PANEL NO. 2202020427D; REV.05-16-2012

NOTE: OWNER OR CONTRACTOR IS RESPONSIBLE FOR VERIFYING BUILDING SETBACKS BEFORE CONSTRUCTION BEGINS. NO SETBACKS OR SERVITUDES SHOWN HEREON.

B-1 YARD SETBACKS SHOWN FOR LOTS 73-A-2-1 & 73-A-2-2

- FRONT 25'
- REAR 20'
- SIDE 5'
- SIDE ST. 15'



**CASE SUMMARY SHEET****CASE NUMBER: V23-10-36****DATE RECEIVED: September 20, 2023****DATE OF MEETING: October 24, 2023 and November 14, 2023****Address: 233 Marigny****Subdivision: Old Town of Mandeville, Square 8 Lots 15 & 16****Zoning District: R-1 Single Family Residential District****Property Owner: John Cerniglia****REQUEST: V23-10-36 – John Cerniglia requests a variance to CLURO Section 5.2.3.2. Drainage Overlay District and Fill Sub-Area A, Old Town of Mandeville, Square 8 Lots 15 & 16, R-1 Single Family Residential District, 233 Marigny Avenue****CASE SUMMARY:**

The applicant owns the property at 233 Marigny, located on the east side of Marigny Ave., south of Jefferson St., and north of Claiborne St. The property measures 127'x202' and has a square footage of 25,654 per a survey prepared by Land Surveying LLC dated 5.18.2020. A permit for new residential construction has been issued and the residence is currently under construction (Permit #21-6807).

The applicant submitted a residential new construction permit with suspended pool attached to the foundation. The City requires a separate permit for the construction of residential and pool structures. The applicant was issued a stop work order when it came to the City's attention the pool was being constructed under the assumption that it was reviewed as part of the primary residence. At this time the City required the applicant to submit a permit for the construction of the pool. The documentation submitted led the department of public works to deny the permit due to a violation of the fill regulations.

This type of construction is unusual as pools are not typically suspended and a part of the foundation of the primary structure.

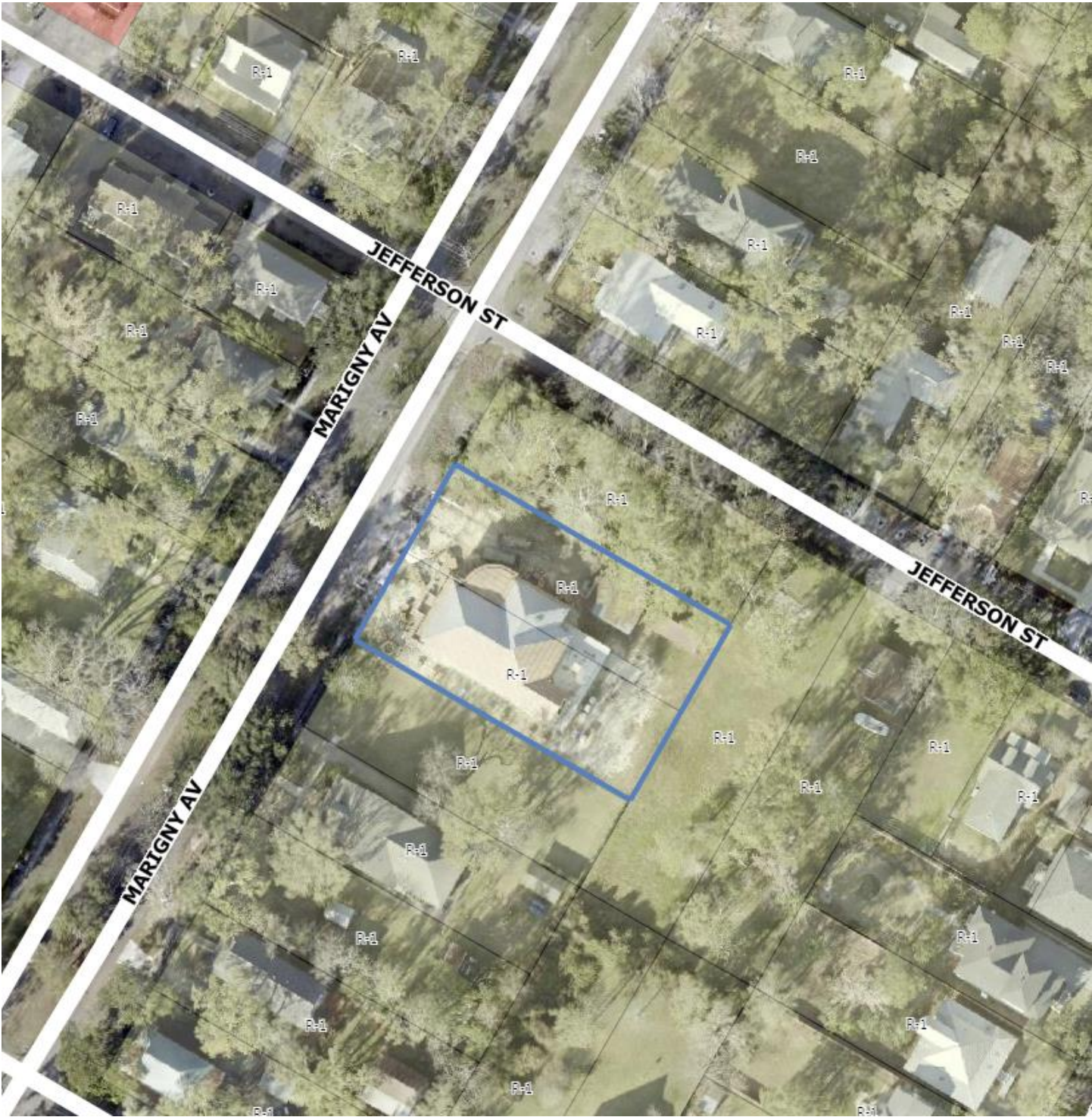
A site visit was conducted by the Building Official, Planning Dir., Planner II and Public Works. A determination was made that the applicant would need to apply for a variance to the fill regulations. The decision was reached as the exterior walls of the pool are part of the foundation of the residence and was then back filled with Geof foam that supports the pool.

**CLURO SECTIONS:****5.2.3.2. Drainage Overlay District and Fill Sub-Area A**

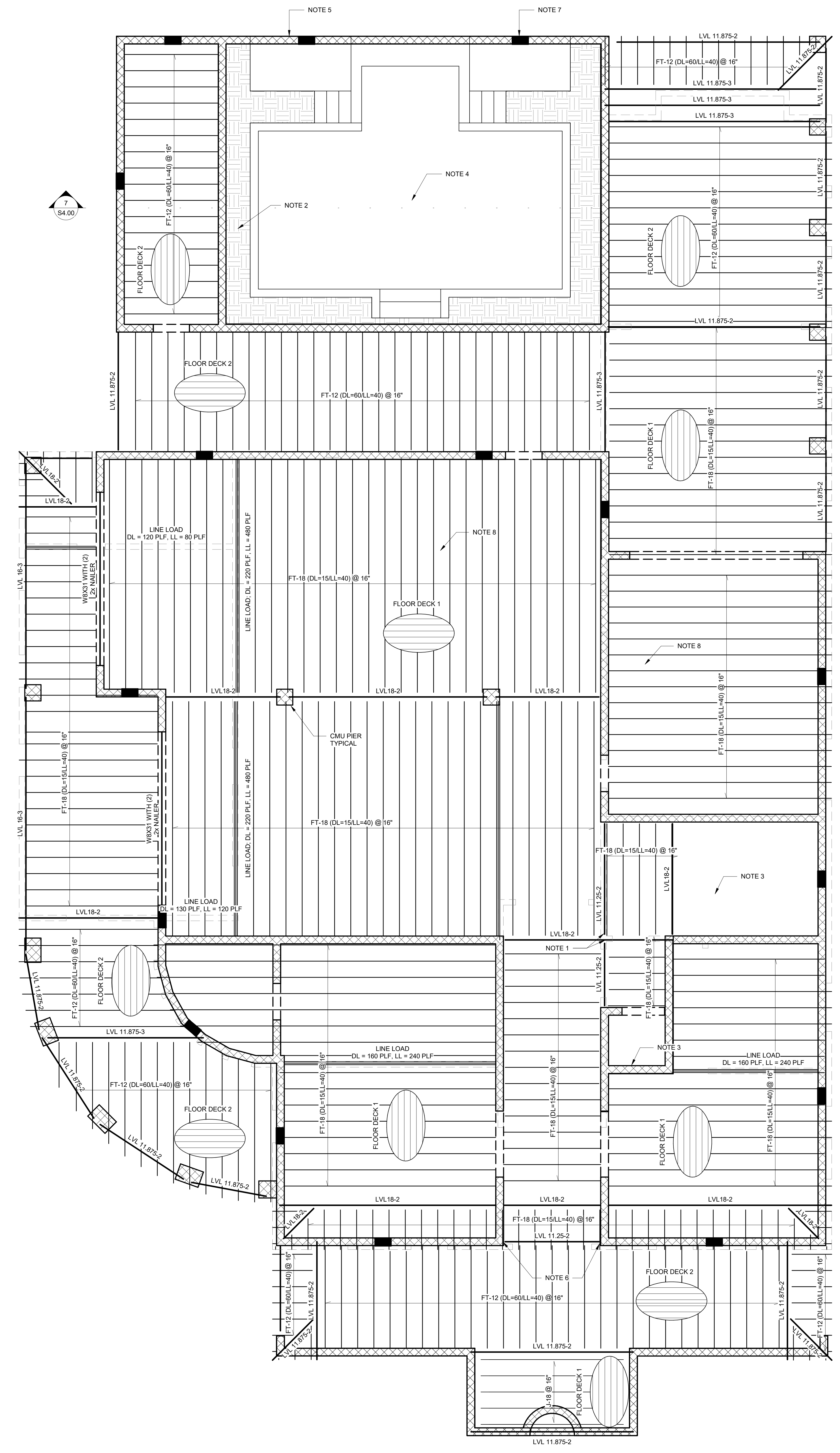
The following standards shall apply to all development falling within the mapped boundaries of the drainage overlay district as established in section 7.6.1 of this CLURO and fill sub-area A, which includes the areas located between Monroe Street, Bayou Castain, Lakeshore Drive and Galvez Street. Where the DO district overlaps with other areas described in this section 5.2.3, the provisions of the DO district shall apply.

1. Grading and Fill. No change in elevation from natural grades shall be allowed except follows:
  - a. Up to six (6) inches of fill may be placed under the perimeter of the soffit or roof line of structures to achieve positive drainage from under the structure.
  - b. Existing sites may be graded, or surface or subsurface conveyances may be established to meet the City's requirement to convey water to the City's stormwater management system.
  - c. Grading changes shall not have an adverse impact on adjacent properties in accordance with State law.
  - d. Fill shall not be allowed within the dripline of existing trees required to remain or any vegetative protection area.
3. Driveways.
  - a. Driveways shall be built at existing grade except that driveways may be elevated no more than six (6) inches if necessary to access a garage or parking areas beneath the building and to help convey water to the City's stormwater conveyance system.









**FRAMING NOTES:**  
 VERIFY ALL BEARING ELEVATIONS AND DIMENSIONS WITH THE ARCHITECTURAL PLANS.  
 ALL LUMBER SHALL MEET OR EXCEED STRESS VALUES OF SOUTHERN YELLOW PINE #2. REFER TO GENERAL NOTES FOR APPROVED TIMBER GRADE AND DESIGN VALUES.  
 COORDINATE LOCATIONS OF MECHANICAL OPENINGS, PLUMBING SLEEVES, AND PENETRATIONS WITH ARCHITECT AND MEP CONTRACTOR.  
 ALL LOAD BEARING WALLS TO BE 2x6 STUDS AT 16" O.C. U.N.O.  
 ALL JOISTS ARE SPACED AT 16" O.C. U.N.O.  
 ALL LUMBER EXPOSED TO WEATHER SHALL BE NATURALLY DURABLE OR PRESSURE TREATED.  
 ALL ANCHORS, HOLD-DOWNS, STRAPS AND HANGERS SHALL BE GALVANIZED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
 ALL HEADERS TO BE (2) 2x8s U.N.O.  
 PROVIDE SOLID 2x BLOCKING BETWEEN ALL JOISTS AND BEAMS AT BEARING POINTS. PROVIDE BLOCKING AT MID SPAN FOR ALL SPANS EXCEEDING 16'.

**CMU WALL LEGEND**  
 INDICATES CMU WALL - 8" THICK WITH #5 @ 32" O.C. UNLESS NOTED OTHERWISE PER INDICATORS SHOWN.  
 INDICATES SPACING OF GROUTED AND REINFORCED CELLS  
 INDICATES REINFORCING BAR SIZE  
 INDICATES WALL WIDTH  
**CMU WALL NOTES**  
 GROUT AND REINFORCE ALL CELLS AT OPENINGS PER DETAILS.  
 FILL ALL REINFORCED CELLS WITH 3,000 PSI CONCRETE OR GROUT AND CENTER VERTICAL REINFORCEMENT IN WALL.  
 PROVIDE CONTINUOUS 8" DEEP BOND BEAM REINFORCED WITH (1) #5 BAR AT TOPS OF ALL WALLS.

**FLOOR DECK 1**

PANEL TYPE	2332' APA RATED T&G (240 SPAN RATING)
EDGE FASTENING	104 @ 6" O.C.
FIELD FASTENING	104 @ 12"

**FLOOR DECK 2**

PANEL TYPE	2332' APA RATED T&G (2716 SPAN RATING)
EDGE FASTENING	104 @ 6" O.C.
FIELD FASTENING	104 @ 12"
TOPPING	MAXIMUM 4" THICK 4,000 PSI LWC TOPPING
REINFORCEMENT	6X6X6 WWM

**NOTE:** GLUE DECK PANELS TO ALL SUPPORTS WITH CONSTRUCTION ADHESIVE CONFORMING TO APA PERFORMANCE SPEC. AF&G-1 OR ASTM D3698.  
**NOTE:** GLUE ALL TONGUE AND GROOVE JOINTS BY SPREADING GLUE IN GROOVE. AVOID SQUEEZE OUT BY APPLYING A 1/8 LINE IN GROOVE.  
**NOTE:** COMPLETE ALL NAILING OF EACH PANEL BEFORE GLUE SETS OR SKINS OVER.  
**NOTE:** SAW-CUT CONTROL JOINTS IN TOPPING SLAB AT A MAXIMUM SPACING OF 6'-0" ON CENTER. CUT JOINTS TO 1" DEPTH MIN.

**NOTE 1:** SIMPSON HHUS410 BEAM HANGER.

**NOTE 2:** BACKFILL CMU WALL ENCLOSURE FOR SWIMMING POOL WITH GEOPOLYMER EPS 22 FOAM. INSTALL AS REQUIRED FOR SWIMMING POOL FORMING. TOPPING SLAB TO BE 4,000 PSI LIGHT-WEIGHT CONCRETE REINFORCED WITH 6X6X6 WWM. SAW-CUT CONTROL JOINTS IN TOPPING SLAB AT A MAXIMUM 8'-0" X 8'-0" GRID TO A 1/4 OF THE SLAB THICKNESS.

**NOTE 3:** FLOOR OPENING FOR STAIRS/ELEVATOR.

**NOTE 4:** POOL DESIGNED BY OTHERS. PROVIDE MINIMUM 8" THICK WALLS AND FLOORS WITH 1/2" BOND BEAMS. ALL GUNITE TO BE REINFORCED WITH #4 BARS @ 8" O.C. E.W. CENTERED IN SHELL. ALL GUNITE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI. MAXIMUM 5'-0" STATIC WATER DEPTH.

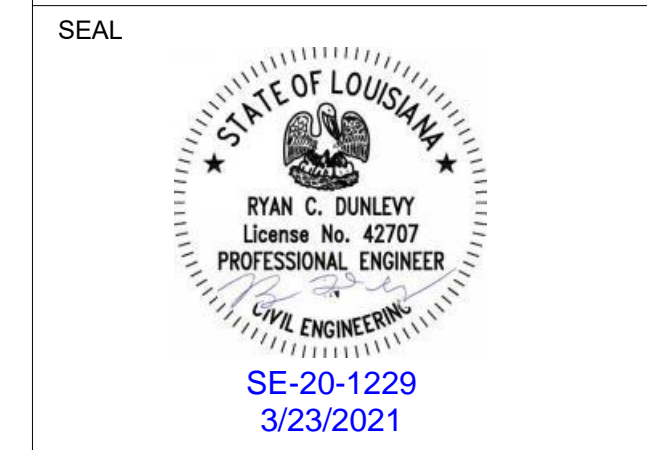
**NOTE 5:** RECESS TOP OF CMU WALL AS REQUIRED FOR SWIMMING POOL OVERLAP.

**NOTE 6:** SIMPSON HUC412 WITH 22-208 FASTENERS INTO CMU WALL.

**NOTE 7:** SMART VENT 1540-520 FLOOD VENT AS REQUIRED BY FEMA DESIGN CRITERIA TYPICAL 18 PLACES AS SHOWN. LOCATE AT SECOND COURSE FROM BOTTOM OF WALL.

**NOTE 8:** PROVIDE MINIMUM 5/8" TYPE X GYPSUM BOARD ON THE GARAGE CEILING AS REQUIRED BY THE INTERNATIONAL RESIDENTIAL CODE.

No.	Description	Date
2	Revision 2	3.23.2021



CERNIGLIA RESIDENCE

FIRST LEVEL FRAMING PLAN

Project number SE-20-1229  
 Date 12.18.2020  
 Drawn by RD  
 Checked by RD

S2.00

1 FIRST LEVEL FRAMING PLAN  
1/4" = 1'-0"

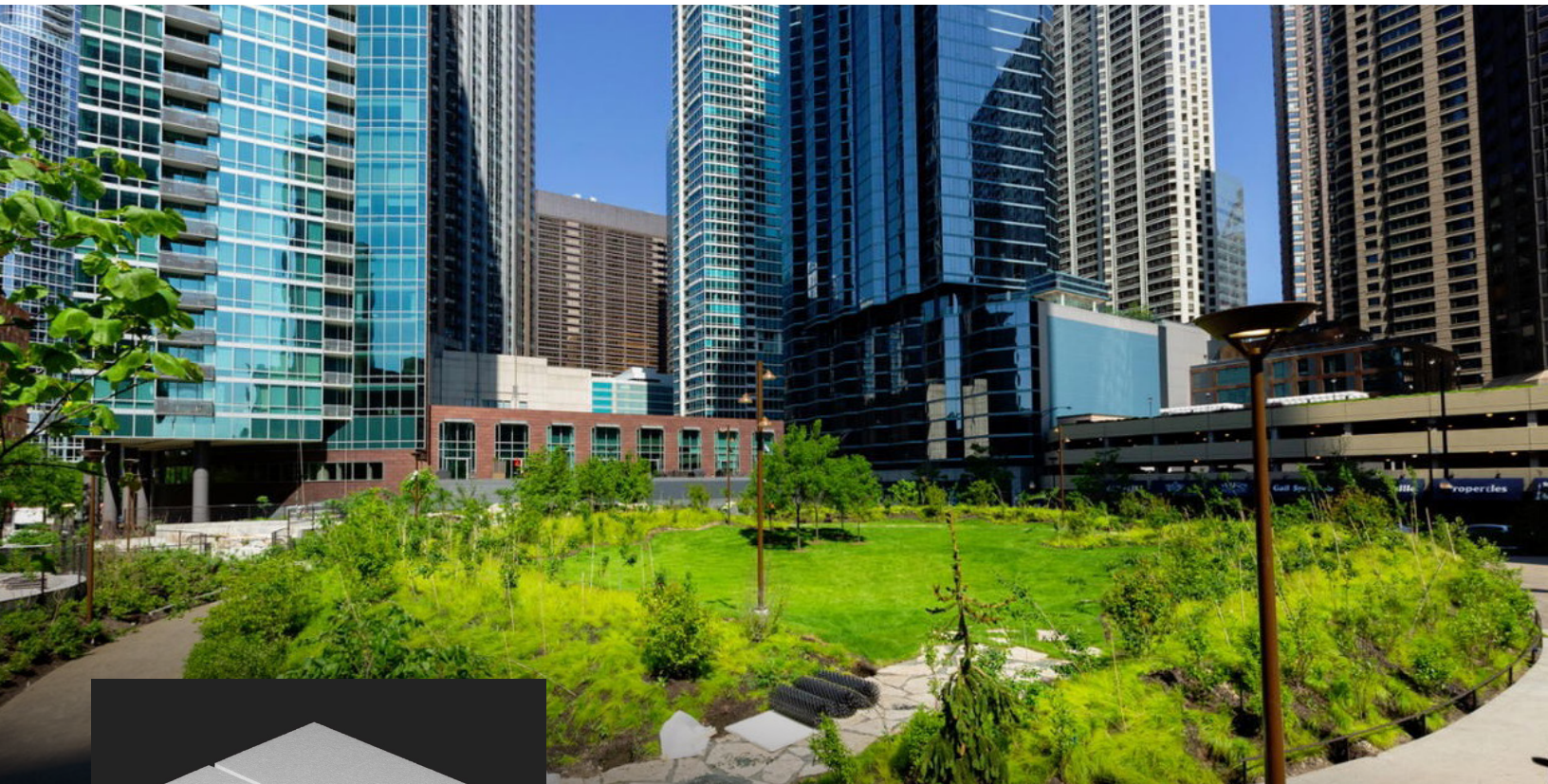




BUILDING SOLUTIONS  
BROCHURE

# GEOFOAM LIGHTWEIGHT FILL

TRANSPORTATION | COMMERCIAL CONSTRUCTION | LANDSCAPE APPLICATIONS



Atlas Geofoam

Atlas Geofoam is a lightweight engineered fill that is designed to deliver the highest level of stability for transportation, commercial construction, and landscaping applications. Due to its physical strength and predictable dimensional properties, you can feel confident that you have full control over your geotechnical projects. Manufactured under an industry leading quality control program, Atlas Geofoam meets or exceeds ASTM D6817 standards, providing an HFC free, recyclable, and cost-effective solution for all your lightweight fill needs. Think beyond the block with Atlas Geofoam.



**DIMENSIONALLY  
STABLE**



**SPEED & EASE  
OF USE**



**LIGHTWEIGHT  
FILL**



**VALUE  
ENGINEERING**



**LIMITED 10 YEAR  
WARRANTY**



# PHYSICAL PROPERTIES

See *Geofoam Lightweight Fill Tech Data Sheet* for a full listing of the physical properties.

PRODUCT NAME	ASTM D6817 TYPE	DENSITY (LB/FT <sup>3</sup> )	COMPRESSIVE RESISTANCE AT 1% STRAIN	
Atlas Geofoam 12	EPS 12	0.70	2.2 PSI	317 PSF
Atlas Geofoam 15	EPS 15	0.90	3.6 PSI	518 PSF
Atlas Geofoam 19	EPS 19	1.15	5.8 PSI	835 PSF
Atlas Geofoam 22	EPS 22	1.35	7.3 PSI	1,051 PSF
Atlas Geofoam 29	EPS 29	1.80	10.9 PSI	1,570 PSF
Atlas Geofoam 39	EPS 39	2.40	15.0 PSI	2,160 PSF
Atlas Geofoam 46	EPS 46	2.85	18.6 PSI	2,678 PSF



## BENEFITS

- Atlas Geofoam is engineered to deliver the highest level dimensional stability, providing predictable material behavior.
- Utilizing an interlocking stack of Atlas Geofoam blocks allows you to quickly fill large areas without compaction, making the installation quick and easy.
- Atlas Geofoam weighs approximately 1/100th the weight of soil, significantly reducing the stress on underlying or adjoining soils and structures.
- Various in-house services makes Atlas Geofoam an easy choice: volume estimates, value engineering, shop drawings, and accredited laboratory validation of physical properties.
- Atlas Geofoam is backed by a limited 10 year warranty for compressive resistance. See separate Atlas Geofoam warranty for terms and conditions.

## APPLICATIONS

- Bridge Abutments
- Retaining Structures
- Soil Stabilization
- Built-up Slabs
- Berms, Embankments & Land Forming
- Floor Elevation Changes
- Plaza Decks
- Weight Reduction Over Utilities

FOR MORE INFORMATION AND PRODUCTS VISIT [ATLASMOLDEDPRODUCTS.COM](http://ATLASMOLDEDPRODUCTS.COM)

**GREATER COVERAGE  
GREATER AVAILABILITY**



Atlas Molded Products, a Division of Atlas Roofing Corporation









Reference: A Survey Plat of Square 8, Town of Mandeville, by E. J. Champagne & Earl Engineering, Dated Feb. 1950, Drawing No. 388

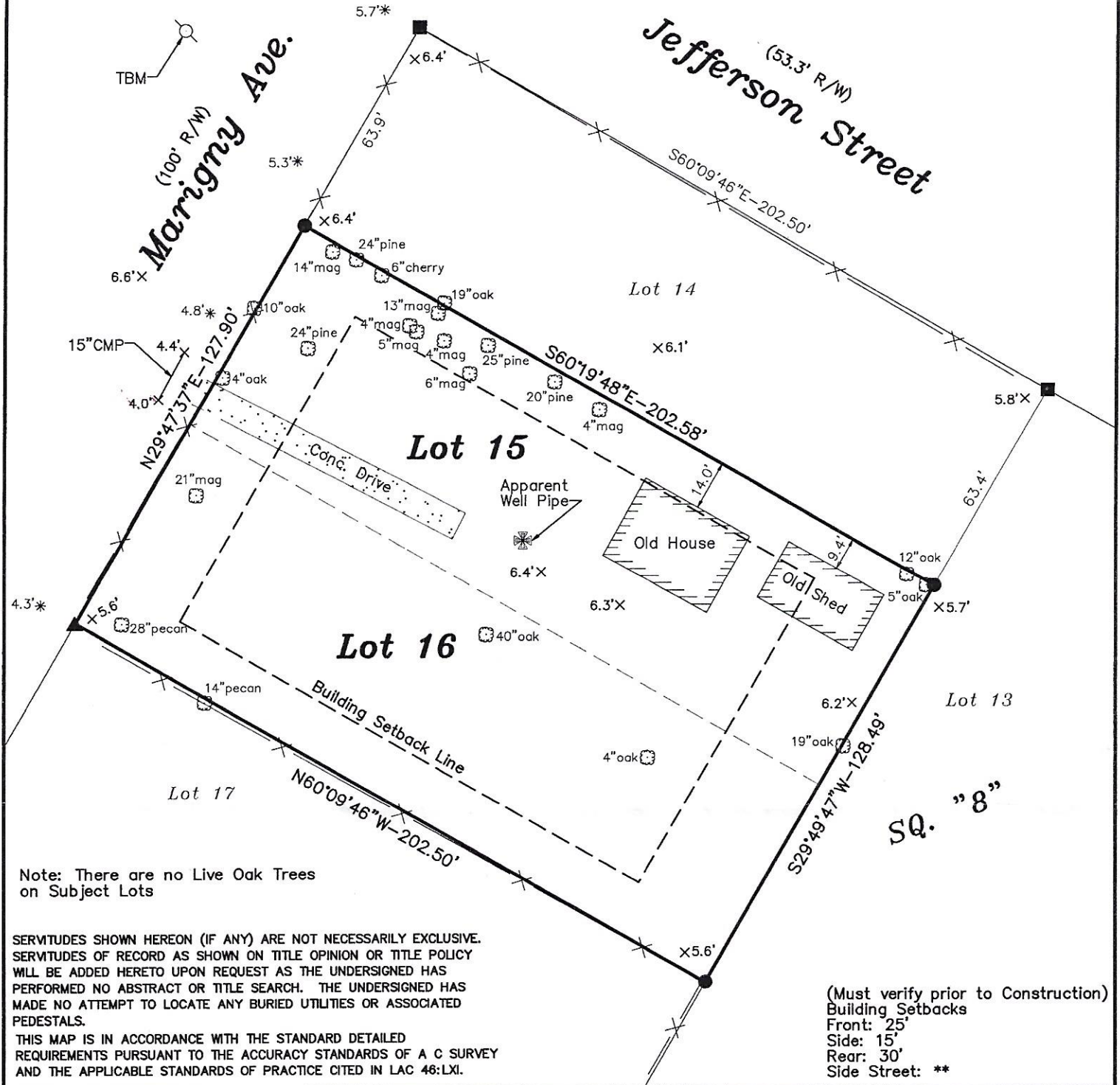
TBM Set Nail in Power Pole, #2005, Elev.=8.5', TBM is for reference only and does not represent the actual elevation to build to (Elevation refers to NAVD 88, Geoid 18)

Bearings were derived by Magnetic Compass

This property is located in Flood Zone AE, per Fema Map No. 220202 0427 D, Dated 5-16-2012, Base Flood Elevation is 10.0' (The City of Mandeville requires 2.0' of Freeboard above the Base Flood Elevation, Must verify with the City of Mandeville prior to any construction)

LEGEND:

- = Fnd. 1/2" Iron Rod
- = Fnd. 1 1/4" Iron Pipe
- ▲ = Set Mag Nail in Conc.
- = Tree
- x = Elevation
- \* = Elevation (Center Ditch)
- x— = Fence



Note: There are no Live Oak Trees on Subject Lots

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

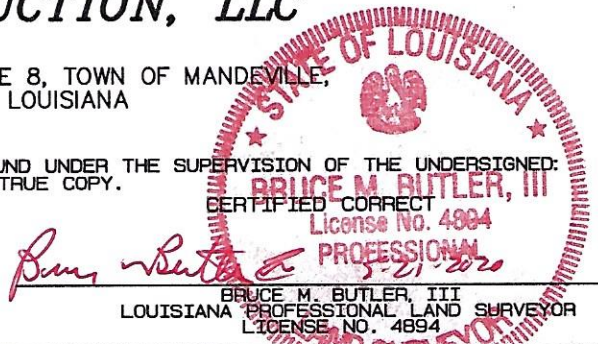
(Must verify prior to Construction)  
 Building Setbacks  
 Front: 25'  
 Side: 15'  
 Rear: 30'  
 Side Street: \*\*

MAP PREPARED FOR **COUNTRYWIDE CONSTRUCTION, LLC**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN LOTS 15 & 16, SQUARE 8, TOWN OF MANDEVILLE, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED: SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

**LAND SURVEYING LLC**  
 518 N. Columbia Street, Covington, LA 70433  
 (985) 892-6277 office (985) 898-0355 fax  
 landsurveyingllc@gmail.com email



SCALE: 1" = 40'

DATE: 5-18-2020

NUMBER: 19384B



**CASE SUMMARY SHEET**

**CASE NUMBER: Z23-10-04**

**DATE RECEIVED: September 15, 2023**

**DATE OF MEETING: October 3, 2023 and October 24, 2023**

**Address: Square 59 Portion of Lot 1, All of Lots 2 & 3**

**Subdivision: Old Town of Mandeville, Square 59 Portion of Lot 1, All of Lots 2 & 3**

**Zoning District: R-1 Single Family Residential District**

**Property Owner: St. Tammany Parish School Board**

**REQUEST: Z23-10-04 – St. Tammany Parish School Board requests the rezoning of two lots and a portion of a third lot designated R-1 Single Family Residential District to I Institutional District, Old Town of Mandeville, Square 59 Portion of Lot 1, All of Lots 2 & 3, R-1 Single Family Residential District, Square 59 Portion of Lot 1, All of Lots 2 & 3**

**CASE SUMMARY:**

The applicant owns the property being a portion of Lot 1 and all of Lots 2 and 3 in Square 59, located on the north side of Livingston Street, east of Foy Street, west of Clausel Street, and south of Villere Street. The property is irregular in shape, measuring 187.5' along Livingston St., 255' along the Clausel St. side, 125' along the north property line, then south for 135', west for 62.5', and south for 120' and has a square footage of 39,375 per a survey prepared by Randall Brown & Associates dated 2.17.23. The property is currently unimproved.

The applicant is requesting to rezone the property to Institutional to construct additional school parking for Woodlake Elementary School across the street. The parking requirements for Public and Private Primary and Educational Facilities are 2 per classroom plus 1 per faculty including administrative staff member, or the required kindergarten, elementary, parking spaces for any auditorium or middle & junior high schools gymnasium facility on the site, whichever is greater. A site plan showing the number of spaces has not been submitted. The site will be required to follow all parking and landscaping provisions regulated within the CLURO.

**CLURO SECTIONS:**

**7.5.1.1. Purpose of the R-1 District**

The R-1 Single-Family Residential Zoning District shall be for the purpose of providing low-density residential neighborhoods where single families occupy single-family detached dwelling units on individual lots in a healthy, safe and peaceful environment in combination with accompanying accessory uses and community oriented recreation and service facilities while being protected from the adverse impacts of incompatible land uses which belong in non-residential areas.

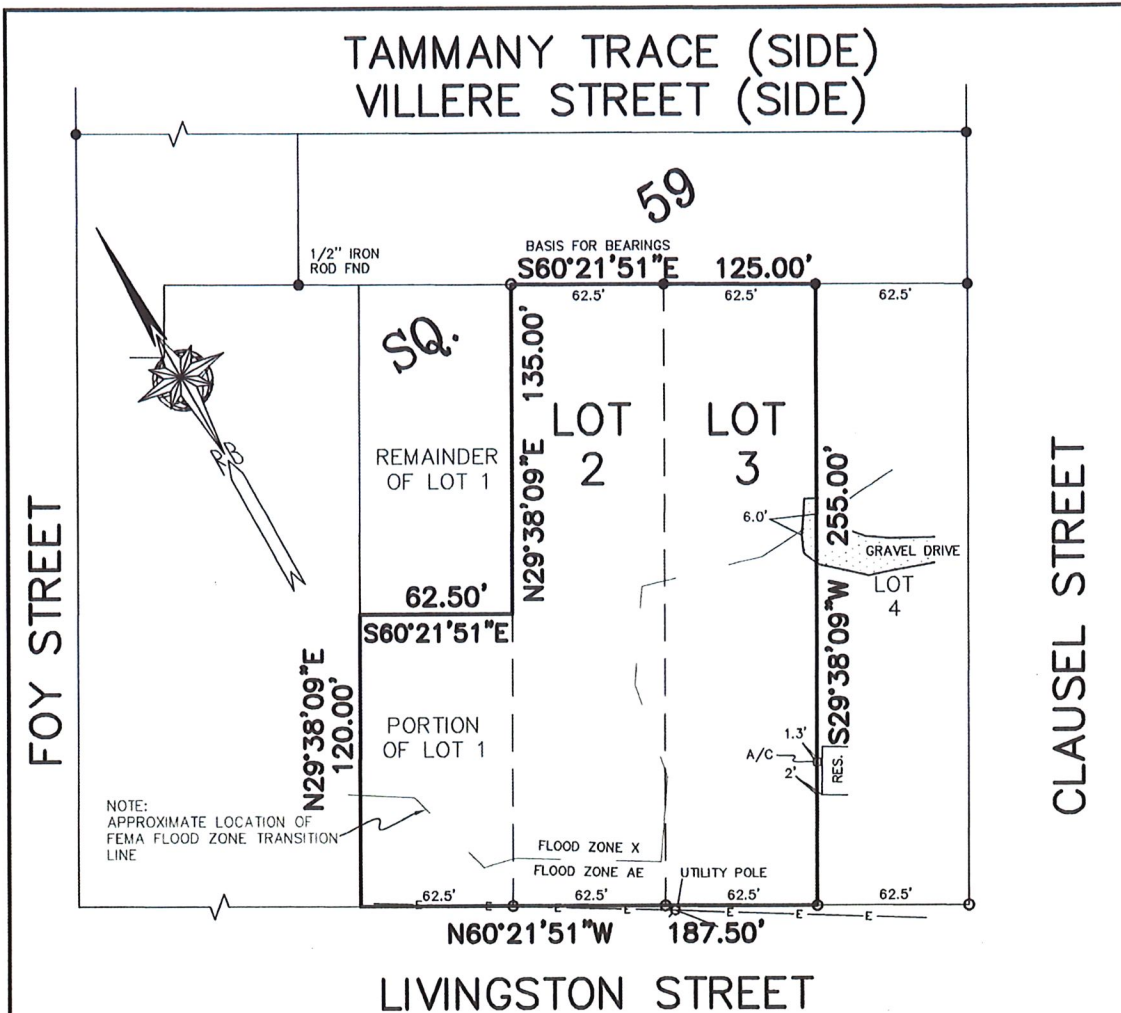
**7.5.6.1. Purpose of the Institutional District**

The purpose of the institutional district shall be to accommodate uses of a civic, religious, educational, institutional or public nature in areas that provide maximum accessibility for the public to utilize the facilities provided in the institutional district.









REFERENCE 1:  
SURVEY By Thomas J. Fontcuberto, PLS  
Job No.: 453356  
Dated: 8-4-2005  
REFERENCE 2:  
SURVEY By Land Surveying INC.  
Dated: 5-8-2009

- DENOTES 1/2" IRON ROD SET UNLESS OTHERWISE NOTED
- DENOTES 1/2" IRON PIPE FND UNLESS OTHERWISE NOTED

Note: I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS located in a special flood hazard area, it is located in Flood Zone AE & X.

FIRM Panel# 2202020431D Rev. 5-16-2012

NOTE:  
BEARINGS SHOWN HEREON ARE REFERENCED TO LOUISIANA STATE PLANE COORDINATES. LA SOUTH ZONE 1702.

NOTE:  
OWNER OR BUILDER RESPONSIBLE FOR OBTAINING SETBACKS BEFORE DESIGN OR CONSTRUCTION BEGINS.

Survey of  
**LOTS 2, 3 & A PORTION OF LOT 1 \* SQUARE 59**  
**TOWN OF MANDEVILLE \* CITY OF MANDEVILLE**  
**ST. TAMMANY PARISH, LOUISIANA**  
**FOR: ST. TAMMANY PARISH SCHOOL BOARD**

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, SUBSURFACE UTILITIES, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

*Advance*

Randall W. Brown, P.L.S.  
Professional Land Surveyor  
LA Registration No. 04586

**Randall W. Brown & Associates, Inc.**  
Professional Land Surveyors  
228 W. Causeway Approach, Mandeville, LA 70448  
(985) 624-5368 FAX (985) 624-5309  
info@brownssurveys.com

Date: FEBRUARY 17, 2023  
Survey No. 23042  
Project No. (CRS) A23042.TXT  
Scale: 1" = 60' ±  
Drawn By: RJB  
Revised:

D:\Survey\Shared\235\A\FE\23042.dwg Copyright 2023 - Randall W. Brown & Associates, Inc.