

CASE SUMMARY SHEET**CASE NUMBER: V23-10-35****DATE RECEIVED: September 15, 2023****DATE OF MEETING: October 3, 2023 and October 24, 2023****Address: 3022 East Causeway Approach****Subdivision: Magnolia Ridge, Square A Lot 73-A-2-1****Zoning District: B-1 Neighborhood Business District****Property Owner: Adam LeBlanc**

REQUEST: V23-10-35 – Adam LeBlanc requests a variance to CLURO Section 9.2.5.5 Landscape Requirements in Districts Other than Low-Density Residential, Magnolia Ridge, Square A Lot 73-A-2-1, B-1 Neighborhood Business District, 3022 East Causeway Approach

CASE SUMMARY:

The applicant owns the property at 3022 East Causeway Approach, located on the south side of East Causeway Approach, west of Magnolia Ridge Drive, and east of Massena Street. The property measures 129.55' x 300' and has a square footage of 38,867 per a survey prepared by Kelly McHugh & Associates dated 4.25.22. A permit for new commercial construction was recently issued (Permit #23-8470).

The applicant is requesting to remove nine (9) of the trees currently listed on the landscaping plan to be preserved in the front greenbelt to allow for better visibility of the building. The trees are a mix of pine and oak trees. Per a landscape plan prepared by Haddad Contractors six (6) 45-gallon Magnolia trees and fourteen (14) 45-gallon Red Maple trees are to be planted in the front greenbelt.

The following statement was provided on the application: *“Building will have zero street visibility due to the preserved trees on the front of the lot. Request to remove all preserved trees listed on landscape plan to allow visibility from East Causeway Approach”.*

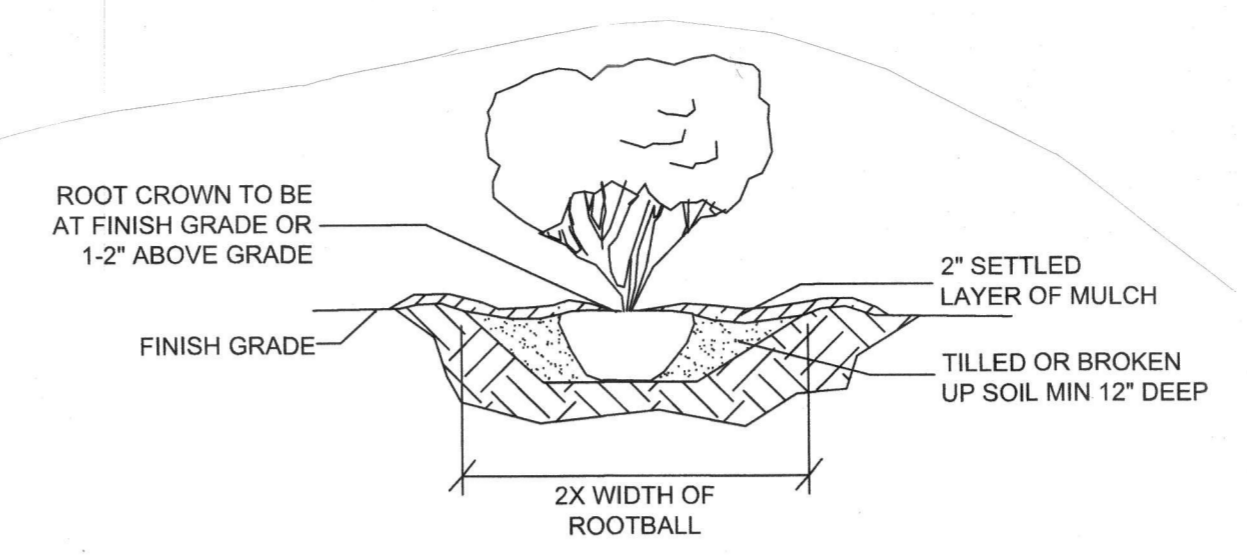
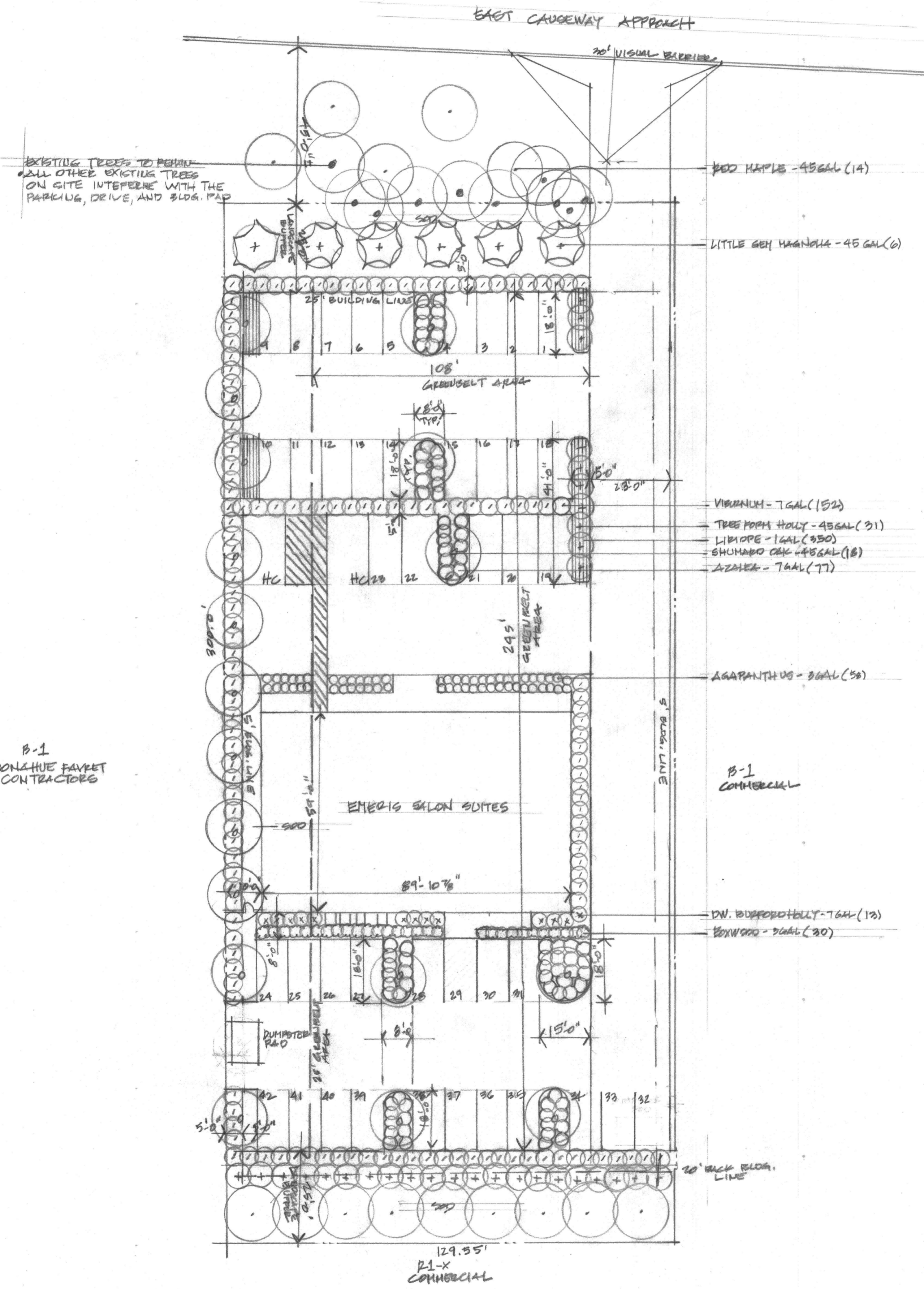
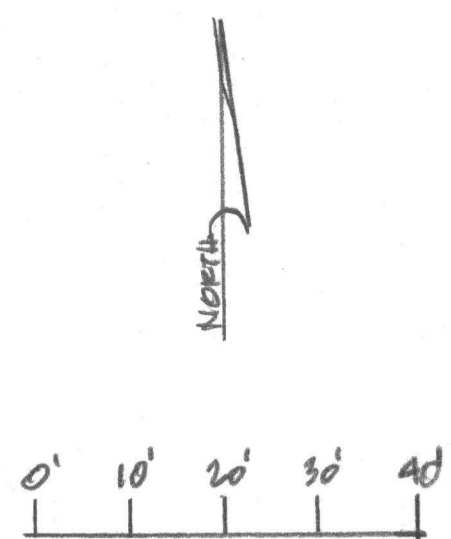
CLURO SECTIONS:**9.2.5.5. Landscape Requirements in Districts Other than Low-Density Residential**

The requirements of this Article shall apply to all zoning districts other than R-1, R-1X and R-2 residential districts, with the exception of the Live Oak Protection requirements in section 9.2.5.7, which apply in all zoning districts. In all zoning districts other than R-1, R-1X and R-2, development sites shall be required to meet the minimum requirements as specified by this Article for Landscaping within the periphery landscape areas, interior planting areas and buffer areas. All required plant materials shall be installed or preserved in accordance with this Article and the landscape inspector shall inspect the required landscaping to verify adherence to code and the landscape plan approved in conjunction with the permit prior to the issuance of a Certificate of Occupancy.

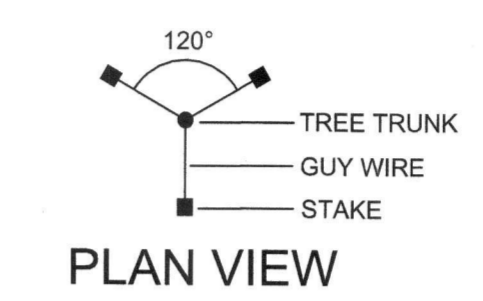
e. Preservation of Trees in Greenbelts - Except in accessways as described above, all trees and shrubs shall be preserved or replaced if diseased or dead. In addition, if the number of trees six (6) inches or more dbh which are in the front periphery do not equal the required number of Class A and Class B trees (one (1) per twenty-five (25) linear feet), then Class A and Class B trees must be planted to the extent necessary to comply with the requirements of this Article. In addition to the above, the following requirements will apply:

- (1) Dead trees and shrubs may be removed and shall be replaced from the list of native plants that has been approved by the Zoning Commission and is available from the City of Mandeville Department of Planning and Development.
- (2) Invasive species may be removed subject to the approval from the Landscape Inspector.

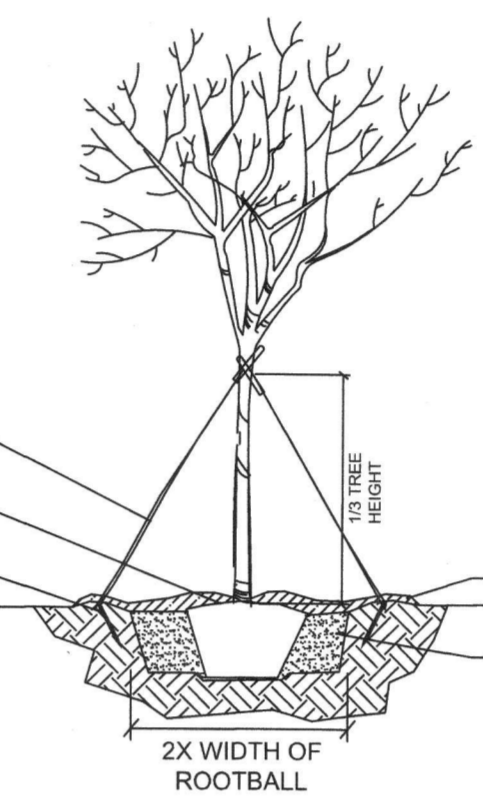




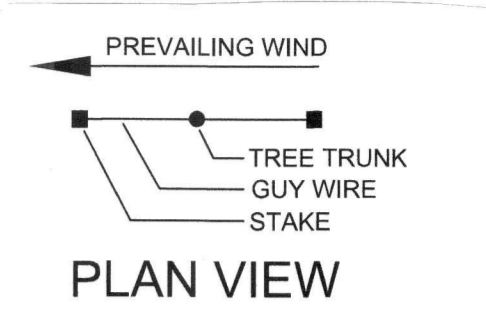
TYP. SHRUB PLANTING:
INDIVIDUAL PLANTING HOLE
NOT TO SCALE



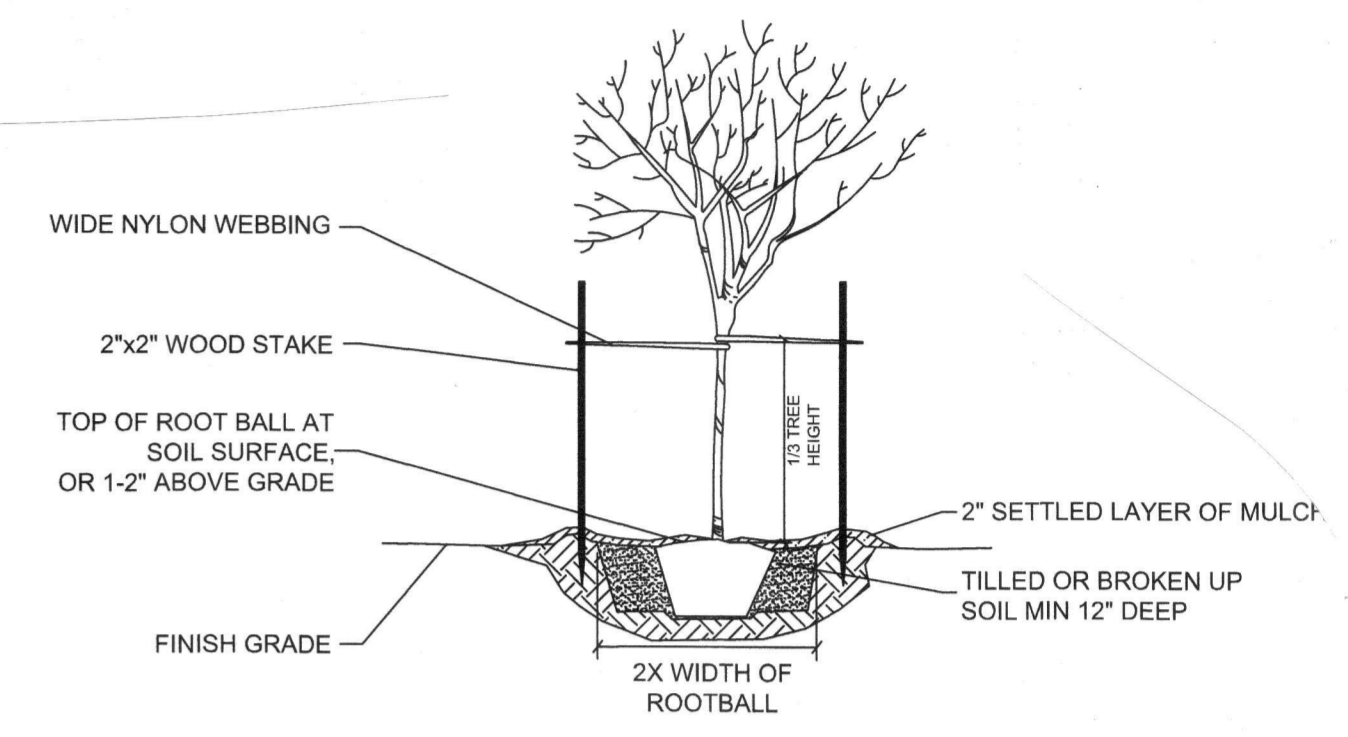
PLAN VIEW



TREE PLANTING (>2" CAL.)
NOT TO SCALE



PLAN VIEW



SMALL TREE PLANTING (<2" CAL.)
NOT TO SCALE

TREES				
QUANTITY	NAME	CONT.	CALIFR.	SIZE
14	CLASS A ACER RUBRUM	45 GAL	2"	10-12"
6	CLASS B MAGNOLIA GRANDIFLORA 'LITTLE GEM'	45 GAL	2"	8-9"
31	CLASS B ILEX ATTENUATA 'EAST PALATKA'	45 GAL	1.5-2"	8-9"
18	CLASS A QUERCUS SHRIMMERS'	45 GAL	2"	10-12"
69				
SHRUBS				
150	VIBURNUM OPPOSITIFOLIUM	7 GAL		
31	ERIPHO MISCARI 'BIG BLUE'	1 GAL		
77	RHOCHONDROLON ENCORE 'AUTUMN SERIES'	7 GAL		
58	AGAPANTHUS AFRICANUS 'BLUE'	3 GAL		
13	ILEX CORNUTA 'WINTERBERRY NANA'	7 GAL		
30	BUNIA MICROPHYLLA 'WINTERGREEN'	3 GAL		
680				
TOTALS				
749	PLANT TOTAL			
5015	BED PREPARATION WITH HARDWOOD MULCH			SQ. FT.
2500	TOPDRESS FOR TREES			YARD
49	STAKING			EACH
2000	BERMUDA SOO/CYNODON DACTYLON			YARD

- NOTES:
- ALL TREES AND UNDERPLANT WITHIN GREENBELT AREA TO BE PRESERVED WHEN POSSIBLE. (SEE EXISTING TREE PLAN)
 - CURBS SHALL BE ON ALL PAVING ISLANDS INSIDE THE INTERIOR AREA
 - TOTAL BED PREPARATION AREA IS 5015 SQ. FT.
 - TOTAL SOO AREA IS 6975 SQ. FT. SOO IS TO BE BERMUDA.

PLANTING AREA REQUIREMENTS

- GREENBELT AREA (26,460 SF) (SEE DIMENSIONS ON PLAN)**
 23 CLASS A TREES REQUIRED
 23 CLASS A TREES PROVIDED
 240 SHRUBS PROVIDED
 FENCE REQUIRED AND PROVIDED
 2116.8 SF OF LANDSCAPING REQUIRED OR 8%
 2880 SF OF LANDSCAPING PROVIDED OR 10.5%
- SITE REQUIREMENTS**
 38,740 SF OF SITE - 1 CLASS A TREE PER 5000 SF
 8 CLASS A TREES REQUIRED
 8 CLASS A TREES PROVIDED
 17 CLASS B TREES PROVIDED
- STREET FRONTAGE - 129.55 LF**
 3 CLASS A TREES REQUIRED
 10 CLASS B TREES PROVIDED
- PARKING LOT (46 PARKING SPACES)**
 1 CLASS A TREE PER 10 SPACES
 5 CLASS A REQUIRED
 8 CLASS A PROVIDED
 10 CLASS B PROVIDED
- VEHICULAR USE AREA (SEE DIMENSIONS ON PLAN)**
 6505 SF PROVIDED
 17 CLASS A TREES PROVIDED
 31 CLASS B TREES PROVIDED
 240 SHRUBS PROVIDED
- TOTAL**
 39 CLASS A TREES REQUIRED
 32 CLASS A TREES PROVIDED
 42 CLASS B TREES PROVIDED



LANDSCAPE DESIGN PLAN

SCALE: 1/8" = 1'-0" APPROVED BY: _____ DRAWN BY: TEA

DATE: 6-2023 REVISED: TEA

EMERIS SALON SUITES 2024 EAST CAUSEWAY APPROACH

EMERIS CONTRACTORS DRAWING NUMBER: 21023

APPROVAL:

CITY ENGINEER OR PUBLIC WORKS DIRECTOR

PLANNING DIRECTOR

CHAIRMAN OF THE PLANNING COMMISSION

MAYOR OF THE CITY OF MANDEVILLE

CLERK OF COURT

6135C 07-20-2022
MAP FILE NO. DATE FILED

Monique T Bringol, Deputy Clerk

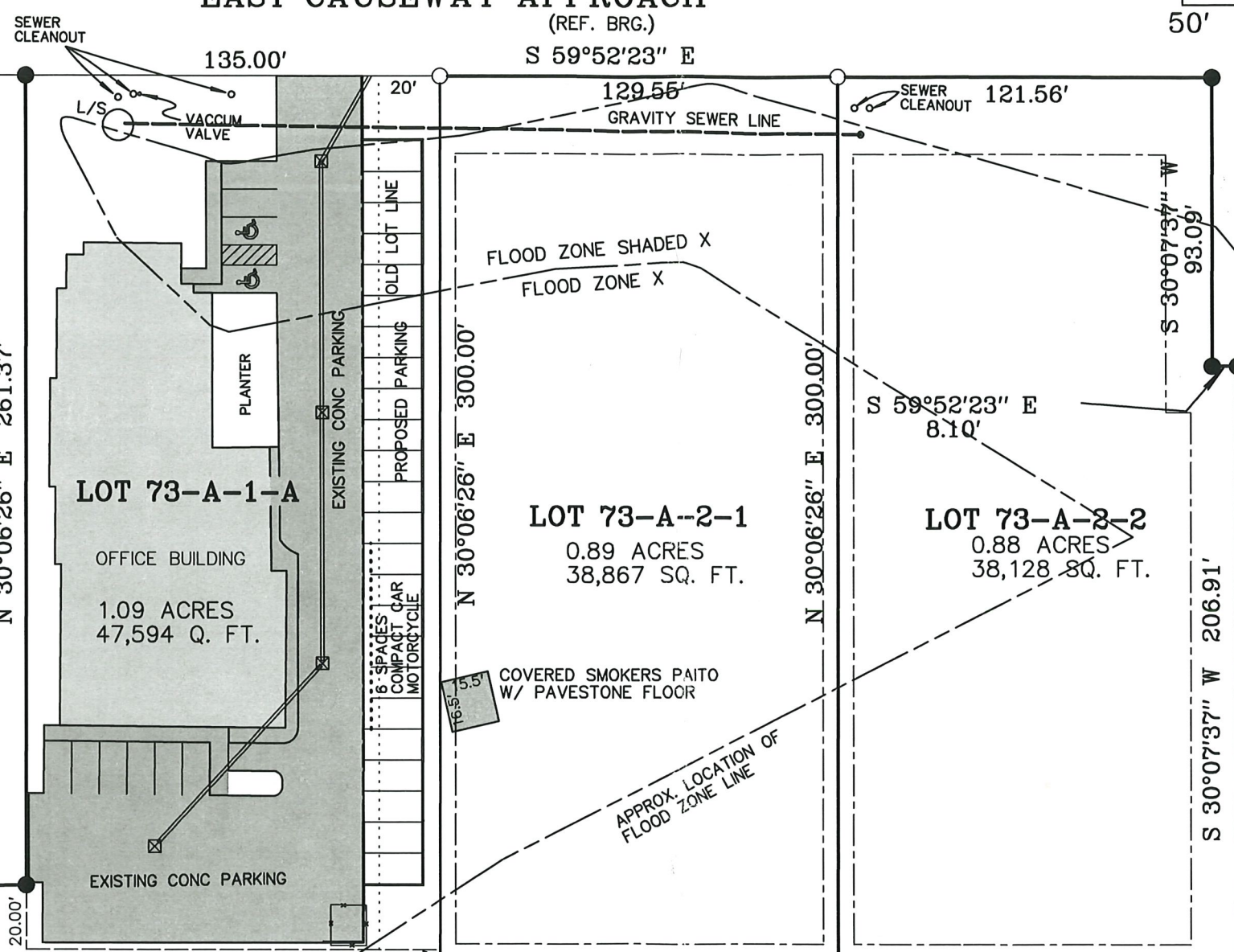
EAST CAUSEWAY APPROACH

(REF. BRG.)



MASSENA ST.

MAGNOLIA RIDGE BLVD.



NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY SEARCH OR ABSTRACT.

KELLY J. McHUGH
REG. NO. 4443
6/15/22

CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

SEWER:
OWNER OF LOT 73 A-1-A MUST MAINTAIN POWER AND MAINTENANCE FOR LIFT STATION. ALL 3 LOTS ARE RESPONSIBLE FOR MAINTENANCE OF SEWLER LINES AND SERVITUDES.

WATER:
TIE INTO 8" MAIN ON MAGNOLIA RIDGE DR.

REFERENCE: 1) A RE-SUBDIVISION PLAT BY THIS FIRM, FILED FOR RECORD 07-30-2001. MAP FILE NO. 1953' 2) A PLAT BY THIS FIRM DATED 01-25-18, JOB NO. 18-016

RESUBDIVISION OF:
LOTS 73-A-1 & 73-A-2 INTO LOTS 73-A-1-A, 73-A-2-1, & 73-A-2-2
MAGNOLIA RIDGE SUBD. PH- 1-B
CITY OF MANDEVILLE,
ST. TAMMANY PARISH. LA.

PREPARED FOR:
M.J.J.B., LLC & EAST CAUSEWAY DEVELOPMENT GROUP, LLC

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 50' DATE: 04-25-22
DRAWN: MDM JOB NO.: 18-016
REVISED:

NOTE: "PRIVATE SERVITUDE OF PASSAGE ON LOT 73-A-1, IN FAVOR OF LOT 73-A-2"
PRIVATE SERV. OF PASSAGE

● = 1/2" IRON ROD FOUND
○ = 1/2" IRON ROD SET

THIS PROPERTY IS LOCATED IN FLOOD ZONE X & SHADED X ; F.I.R.M. PANEL NO. 2202020427D; REV.05-16-2012

NOTE:
OWNER OR CONTRACTOR IS RESPONSIBLE FOR VERIFYING BUILDING SETBACKS BEFORE CONSTRUCTION BEGINS.
NO SETBACKS OR SERVITUDES SHOWN HEREON.

B-1 YARD SETBACKS SHOWN FOR LOTS 73-A-2-1 & 73-A-2-2

FRONT 25'
REAR 20'
SIDE 5'
SIDE ST. 15'

CASE SUMMARY SHEET

CASE NUMBER: Z23-10-04

DATE RECEIVED: September 15, 2023

DATE OF MEETING: October 3, 2023 and October 24, 2023

Address: Square 59 Portion of Lot 1, All of Lots 2 & 3

Subdivision: Old Town of Mandeville, Square 59 Portion of Lot 1, All of Lots 2 & 3

Zoning District: R-1 Single Family Residential District

Property Owner: St. Tammany Parish School Board

REQUEST: Z23-10-04 – St. Tammany Parish School Board requests the rezoning of two lots and a portion of a third lot designated R-1 Single Family Residential District to I Institutional District, Old Town of Mandeville, Square 59 Portion of Lot 1, All of Lots 2 & 3, R-1 Single Family Residential District, Square 59 Portion of Lot 1, All of Lots 2 & 3

CASE SUMMARY:

The applicant owns the property being a portion of Lot 1 and all of Lots 2 and 3 in Square 59, located on the north side of Livingston Street, east of Foy Street, west of Clausel Street, and south of Villere Street. The property is irregular in shape, measuring 187.5' along Livingston St., 255' along the Clausel St. side, 125' along the north property line, then south for 135', west for 62.5', and south for 120' and has a square footage of 39,375 per a survey prepared by Randall Brown & Associates dated 2.17.23. The property is currently unimproved.

The applicant is requesting to rezone the property to Institutional to construct additional school parking for Woodlake Elementary School across the street. The parking requirements for Public and Private Primary and Educational Facilities are 2 per classroom plus 1 per faculty including administrative staff member, or the required kindergarten, elementary, parking spaces for any auditorium or middle & junior high schools gymnasium facility on the site, whichever is greater. A site plan showing the number of spaces has not been submitted. The site will be required to follow all parking and landscaping provisions regulated within the CLURO.

CLURO SECTIONS:

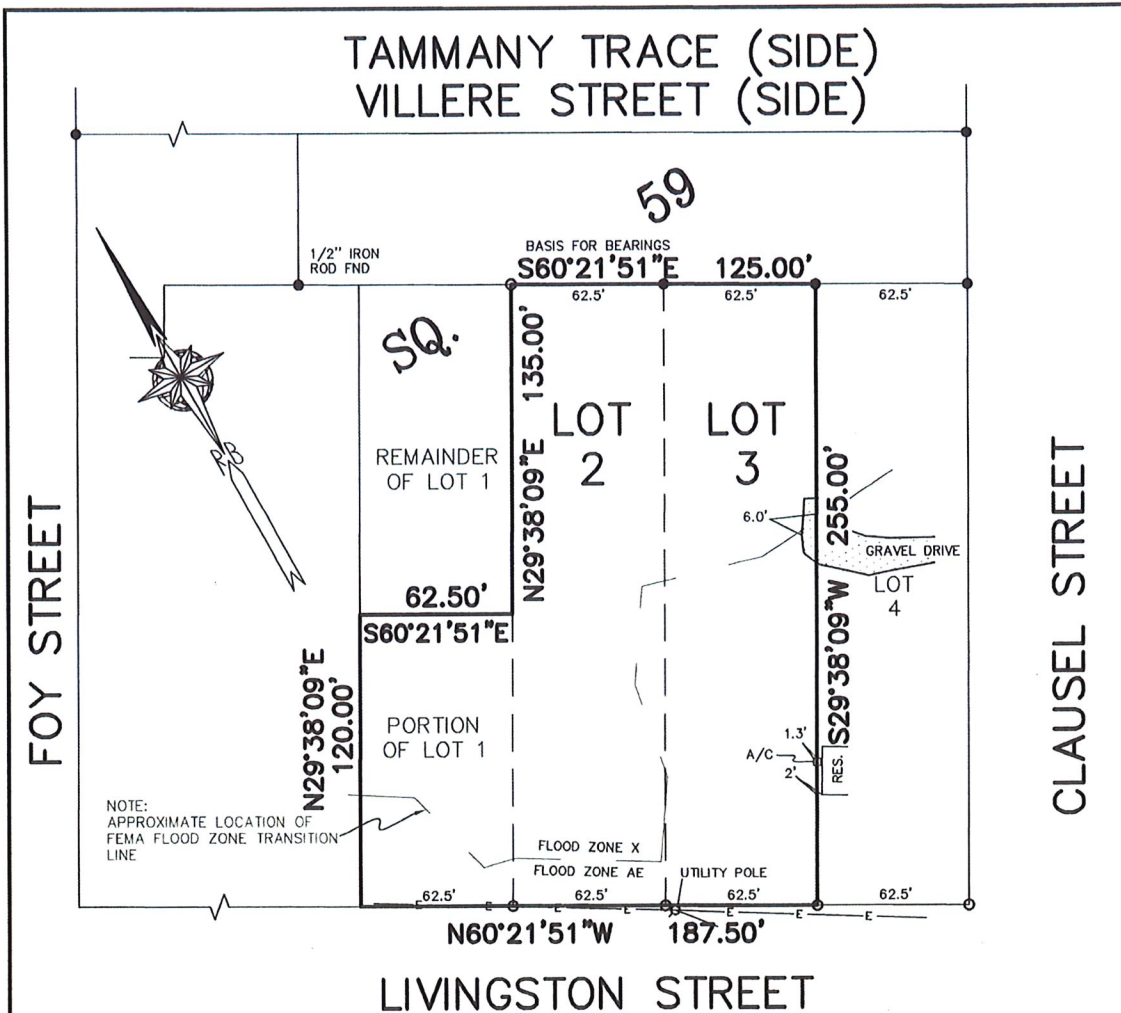
7.5.1.1. Purpose of the R-1 District

The R-1 Single-Family Residential Zoning District shall be for the purpose of providing low-density residential neighborhoods where single families occupy single-family detached dwelling units on individual lots in a healthy, safe and peaceful environment in combination with accompanying accessory uses and community oriented recreation and service facilities while being protected from the adverse impacts of incompatible land uses which belong in non-residential areas.

7.5.6.1. Purpose of the Institutional District

The purpose of the institutional district shall be to accommodate uses of a civic, religious, educational, institutional or public nature in areas that provide maximum accessibility for the public to utilize the facilities provided in the institutional district.





REFERENCE 1:
SURVEY By Thomas J. Fontcuberto, PLS
Job No.: 453356
Dated: 8-4-2005
REFERENCE 2:
SURVEY By Land Surveying INC.
Dated: 5-8-2009

- DENOTES 1/2" IRON ROD SET
UNLESS OTHERWISE NOTED
- DENOTES 1/2" IRON PIPE FND
UNLESS OTHERWISE NOTED

Note: I have consulted the Federal Insurance Administration
Flood Hazard Boundary Maps and found the property
described IS located in a special flood hazard area,
it is located in Flood Zone AE & X.

FIRM Panel# 2202020431D Rev. 5-16-2012

NOTE:
BEARINGS SHOWN HEREON ARE
REFERENCED TO LOUISIANA
STATE PLANE COORDINATES.
LA SOUTH ZONE 1702.

NOTE:
OWNER OR BUILDER RESPONSIBLE
FOR OBTAINING SETBACKS BEFORE
DESIGN OR CONSTRUCTION BEGINS.

Survey of
LOTS 2, 3 & A PORTION OF LOT 1 * SQUARE 59
TOWN OF MANDEVILLE * CITY OF MANDEVILLE
ST. TAMMANY PARISH, LOUISIANA
FOR: ST. TAMMANY PARISH SCHOOL BOARD

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE,
ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, SUBSURFACE UTILITIES, RIGHTS OF WAY,
DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON
THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE
STANDARDS FOR PROPERTY BOUNDARY SURVEYS"
FOR A CLASS C SURVEY.

Advance

Randall W. Brown, P.L.S.
Professional Land Surveyor
LA Registration No. 04586

**Randall W. Brown
& Associates, Inc.**
Professional Land Surveyors
228 W. Causeway Approach, Mandeville, LA 70448
(985) 624-5368 FAX (985) 624-5309
info@brownssurveys.com

Date: FEBRUARY 17, 2023
Survey No. 23042
Project No. (CRS) A23042.TXT
Scale: 1" = 60' ±
Drawn By: RJB
Revised: