

CASE SUMMARY SHEET

CASE NUMBER: V23-06-19

DATE RECEIVED: April 27, 2023

DATE OF MEETING: June 13, 2023 and June 27, 2023

Address: 3150 East Causeway Approach

Subdivision: Old Town of Mandeville, Lot 4A being a Resub of Tracts 70 71 72

Zoning District: B-2 Highway Business District

Property Owner: Seven Oak Square, LLC

REQUEST: V23-06-19 – Seven Oak Square, LLC requests a variance to CLURO Section 10.5.3.3. Free-Standing Signs, Town of Mandeville, Squares A70, A71, and A72 Lot 4A, B-2 Highway Business District, 3150 East Causeway Approach

CASE SUMMARY:

The applicant owns the property located at 3150 East Causeway Approach, which is Lot 4A being a resub of tracts 70,71, and 72. The property is located on the south side of East Causeway Approach, east of Lambert St., and west of Massena St. The property is irregularly shaped measuring 330’ along East Causeway Approach, then south for 261’, east for 200’, south for 230.48’ 530’ along the rear property line, and 493.01’ along Lambert Street containing 208,021 square feet. The site is the location for the development known as Seven Oak Square.

The applicant is wanting to construct a monument sign for the Seven Oak Square development. The maximum allowed sign height in the B-2 District is 7’, the applicant is requesting to increase the sign height by 25%, adding an additional 1’-9” to the sign. The sign will measure 8’-9” in height, 2’-4” in width, and 1’-4” in depth. The sign location is compliant with the regulations.

The following statement was included with the application *“My reasoning behind the request is the signs unusual configuration being a vertical sign and the code requiring a minimum lettering size of 9” tall. The 25% increase would only add 1’-9” to the overall height of the sign, making the proposed sign 8’-9” in total height”.*

The applicant is requesting an exception to CLURO Section 10.5.3.3 to have a sign 1’-9” above the maximum height of 7’.

CLURO SECTIONS:

10.5.3.3. Free-Standing Signs

Table 10.5.3.5 and the subsequent paragraphs of this section establish the standards for free-standing signs that are authorized by section 10.5.3.3 for lots in non-residential and mixed-use zoning districts.

Sec #	Standard	Zoning Districts	Regulations
1.	Maximum number of signs per premises	B-3 & TC	One (1) freestanding sign
		B-1, B-2, B-3, B-4, TC, PM-1, PM-2, M, I and O zoning districts	One (1) freestanding sign except as authorized for multi-occupancy centers in Sections 10.5.3.4 and 10.5.3.5.
2.	Allowed sign types	B-3 & TC	Monument, pole, post and blade signs
		B-1, B-2, B-3, B-4, TC, PM-1, PM-2, M, I and O zoning districts	Monument signs
3.	Maximum sign area	B-3 & TC	Thirty-two (32) square feet per sign face and an aggregate of sixty-four (64) square feet if a two-sided sign is used, provided that total sign area for all sign faces on a premises shall not exceed sixty-four (64) square feet
		B-1, B-2, B-3, B-4, TC, PM-1, PM-2, M, I and O zoning districts	Fifty (50) square feet per sign face and an aggregate of one hundred (100) square feet if a two-sided sign is used except for multi-occupancy commercial centers pursuant to Sections 10.5.3.4 and 10.5.3.5.
4.	Maximum sign height	B-3 & TC	Ten (10) feet measured from natural grade of the lot where the sign is located.
		B-1, B-2, B-3, B-4, TC, PM-1, PM-2, M, I and O zoning districts	Seven (7) feet measured from natural grade of the lot where the sign is located. The Zoning Commission may approve an exception allowing height to increased if natural grade is 4 or more feet below the crown of the abutting street.
5.	Minimum setback	B-3 & TC	Five (5) feet from right-of-way
		B-1, B-2, B-3, B-4, TC, PM-1, PM-2, M, I and O zoning districts	Fifteen (15) feet from right-of-way and 100 feet from the nearest residential property line fronting on the same block face

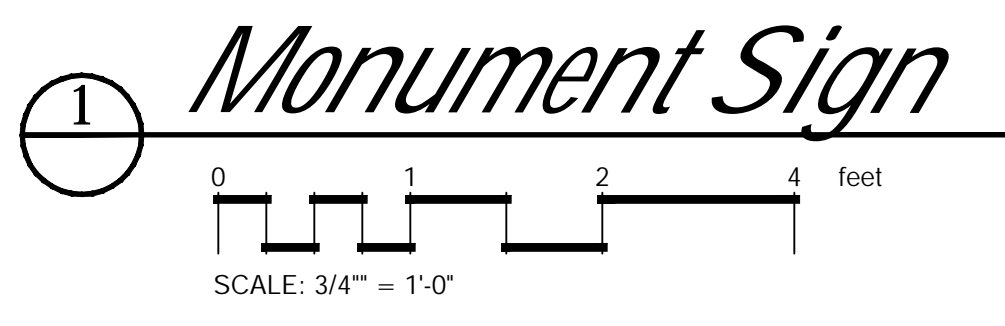
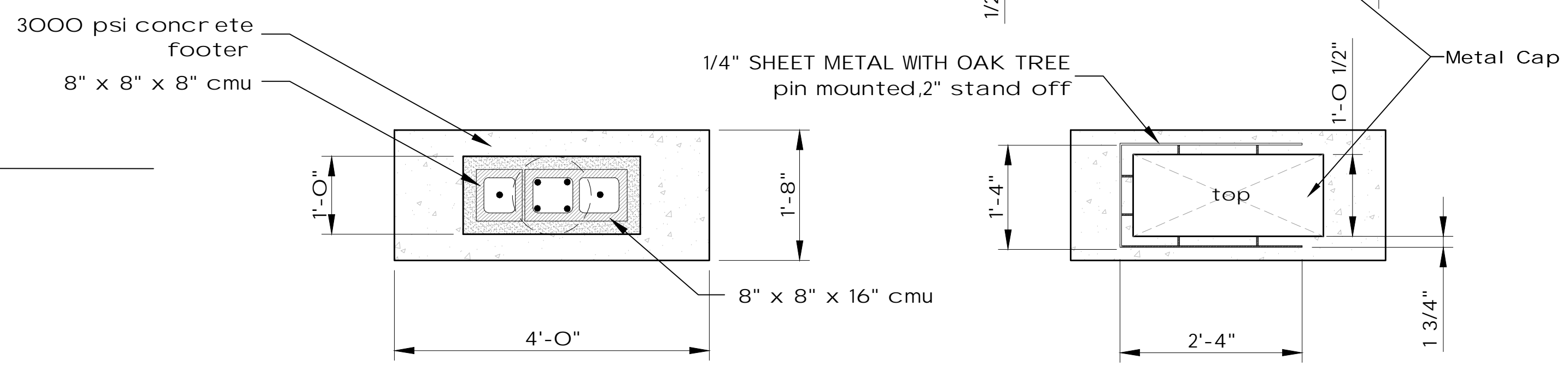
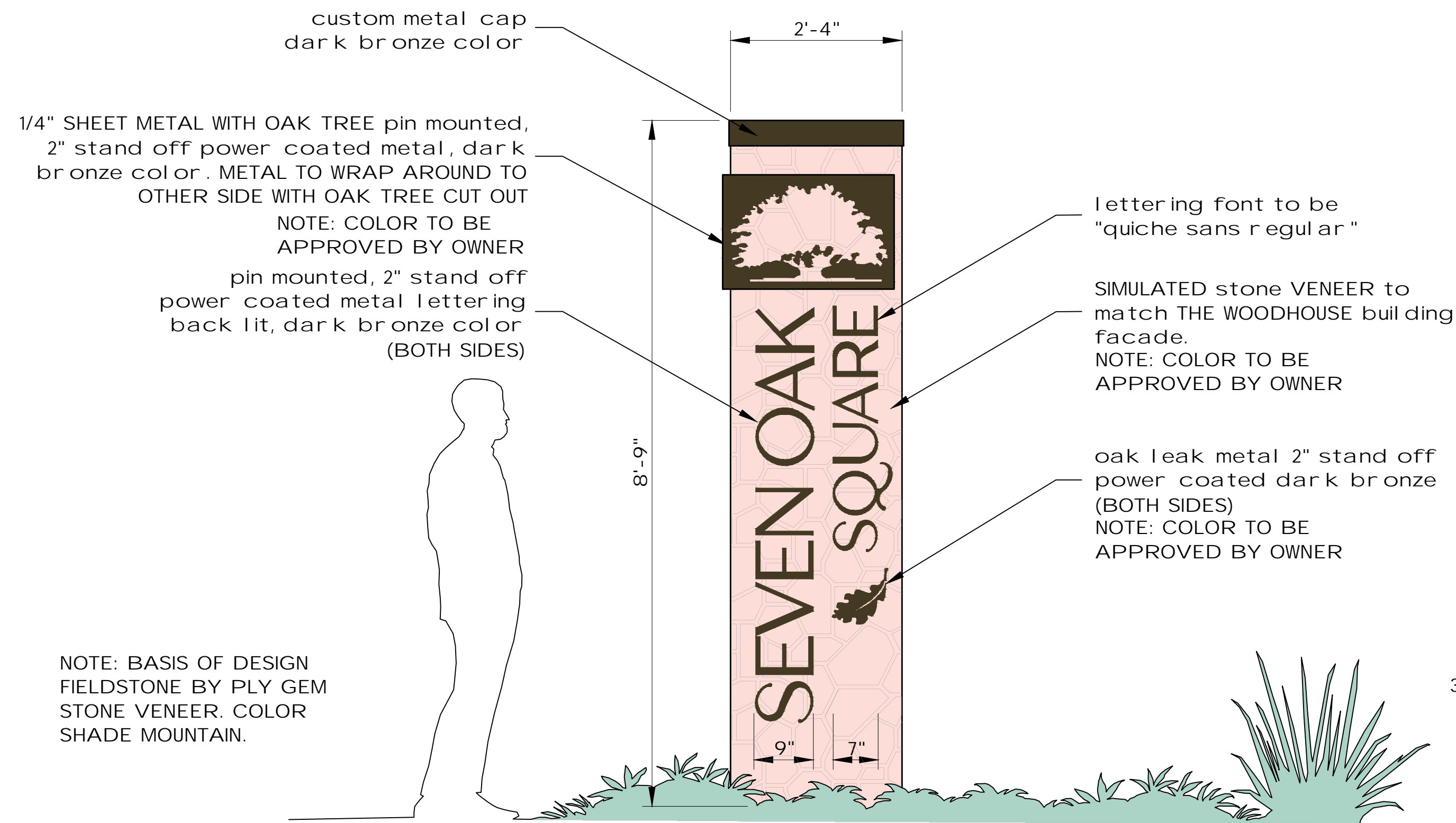
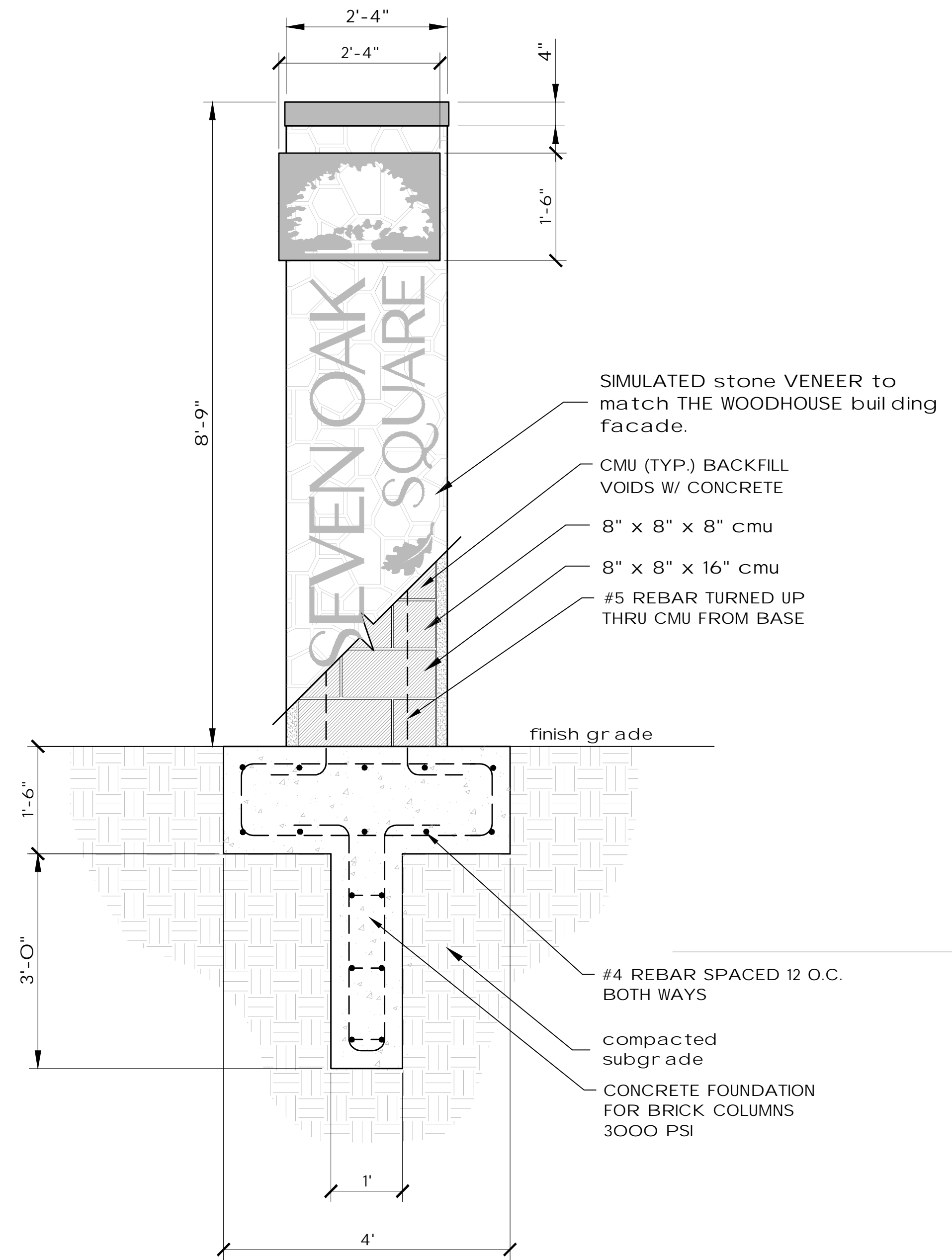
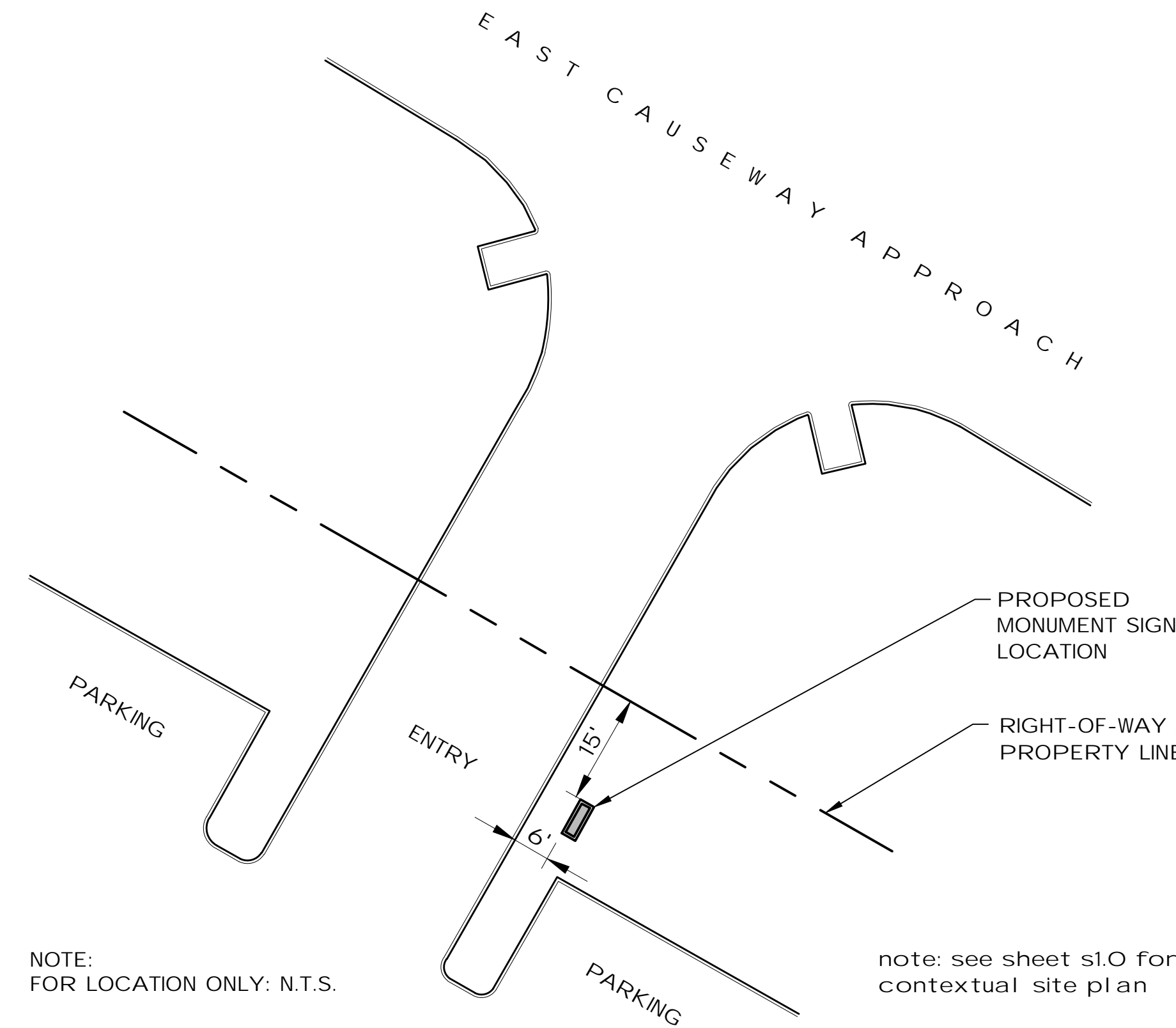


Site information:

- Site Zoning Classification: B-2
- Site IS WITHIN THE GATEWAY OVERLAY DISTRICT
- the Site IS being developed as a multi-occupant site
- Site IS LOCATED ON THE SOUTH SIDE OF THE EAST CAUSEWAY APPROACH IN THE CITY OF MANDEVILLE

Monument sign information:

- PROPOSED SIGN is a free standing monument
- PROPOSED SIGN LOCATION IS ON THE 330.00 L.F. FRONTAGE OF THE EAST CAUSEWAY APPROACH
- THE PROPOSED SIGN IS A TWO FACED SIGN, FRONT AND BACK WITH 20 S.F. PER EACH SIDE = 40 S.F. FOR THE COMBINED FRONT AND BACK SIGN FACE
- THE PROPOSED SIGN will be illuminated from an external source via flood lights within the adjacent landscaped beds



SIGN VARIANCE REQUESTED PER CODE 10.5.4.7 TO ALLOW THE SIGN HEIGHT TO BE INCREASED BY 25% OR BY 1'-9" (AS SHOWN) FROM THE MAXIMUM SIGN HEIGHT OF 7' WITHIN THE B-2 ZONING CLASSIFICATION, THUS ALLOWING THE MINIMUM HEIGHT FOR LETTERING OF 9" IN HEIGHT PER CODE 10.5.3.5

GENERAL NOTES

1. The Contractor is responsible for locating and protecting all public and private utilities which lie in or adjacent to the construction site at least 48 hours prior to any work is performed. Call LA. ONE CALL at - 1.800.272.30
2. Notify Landscape Architect of any conflict and/or discrepancies in the Construction Documents, prior to the start of construction.
3. The Contractor shall immediately report to the Owner and Landscape Architect any unforeseen or adverse conditions discovered during construction operations.
4. The Contractor is responsible for verifying and/or obtaining all required permits and approvals prior to commencing construction.
5. Any discrepancies found between or within the drawings and existing site conditions shall be reported to the Landscape Architect.
6. The Contractor shall be responsible for repairing any damage resulting from construction activity to existing elements that are to remain at no cost to the owner.

Seven Oak Square
3150 East Causeway Approach
Mandeville, LA 70448

Monument Sign Details

Date: 12/06/2022

Drawn By:
Stephen M. Smith PLA

Address:
39509 SW I-55 Service Rd.
Ponchatoula, LA 70454

Stamp: Revisions: 1.0



12.06.2022

PERMIT SET / CONSTRUCTION DRAWING SET



(985) 467-0976

DESIGN | BUILD | MAINTAIN

985.467.0976
www.melioralandscape.com



CASE SUMMARY SHEET**CASE NUMBER: V23-06-20****DATE RECEIVED: May 16, 2023****DATE OF MEETING: June 13, 2023 and June 27, 2023****Address: 2816 South****Subdivision: West Beach Parkway, Square 1 Lots 13 & 14****Zoning District: R-1 Single Family Residential****Property Owner: John Keller**

REQUEST: V23-06-20 – John Keller requests a variance to CLURO Section 5.2.3.2. Drainage Overlay District and Fill Sub-Area A, West Beach Parkway, Square 1 Lots 13 & 14, R-1 Single Family Residential District, 2816 South Street

PREVIOUS CASES: V23-01-02 – Additional Fill Request**V23-04-14 – Mechanical Equipment Encroachment into West Side Setback****CASE SUMMARY:**

The property at 2816 South St. is located on the south side South St., west of West Beach Pkwy., and south of West St. The property measures 100'x150' per a survey prepared by Kelly McHugh & Assoc., Inc. and has a square footage of 15,000. A permit for new residential construction has been issued and the residence is currently under construction (Permit #22-8074).

The residence is located 40'-6" from the front property line, 50' from the rear, 11'-3" from the west side property line, and 21' from the east side property line. A pool is proposed to be located in the rear of the property. The pool will be 6' from the rear property line, 29' from the west side, and 21' from the east side property line. The setbacks for the pool comply with the minimum accessory setback of 3' from the property line.

The pool equipment is proposed to be located within the west side setback with the other mechanical equipment.

The application states "Aquarius Pools will be building the pool up 24" so the pool will not flood".

The request is to allow the construction of a pool 24" from existing grade. The following requests for elevated pools have been approved by the Commission based on proposed elevations and no adverse effects to drainage:

V22-02-06 – 130 Lamarque – 24" from grade

V22-03-05 – 2239 Lakeshore – 18" from grade

V22-06-20 – 2047 Lakeshore – 24" from grade

V22-08-25 – 1709 Lakeshore – 30" from grade

V23-02-08 – 216 Lamarque – 14" from grade

Public Works offered the following comments:

If the proposed elevated height for the walls of the pool is to be approved approximately 1080 CF of water would be displaced during a tidal event with water levels between 3.28 and 4.78. At these levels, the entire Lake Pontchartrain basin becomes inundate with tidal flooding from the state line to the east and Manchac to the west. The proposed volume would be negligible at that point.

Public Works request the following if the variance is to be considered:

1. Elevating the portion of ground in the rear yard between the primary structure and the proposed pool was not part of the approved variance for the primary structure. Therefore, Deck height is not to exceed 6" above natural grade (2.78 NAVD88) around the perimeter of the pool to a maximum elevation of 3.28' NAVD 88.
2. The height of the pool coping must be called out to an elevation NAVD 88 in in order to verify for compliance. The precise height should be part of the variance request and not an arbitrary 24" as requested. The Permit Department shall enter an inspection requirement within the pool permit for Public Works to verify the height of forms when they are set and ready for gunite.
3. The area behind the pool deck shall remain at existing elevation and no filling is allowed. The pattern of storm water runoff and elevation are to be constructed as shown in the approved Drainage Plan by Kelly McHugh dated 8-16-22 for the primary structure.

CLURO SECTIONS:**5.2.3.2. Drainage Overlay District and Fill Sub-Area A**

The following standards shall apply to all development falling within the mapped boundaries of the drainage overlay district as established in section 7.6.1 of this CLURO and fill sub-area A, which includes the areas located between Monroe Street, Bayou Castain, Lakeshore Drive and Galvez Street. Where the DO district overlaps with other areas described in this section 5.2.3, the provisions of the DO district shall apply.

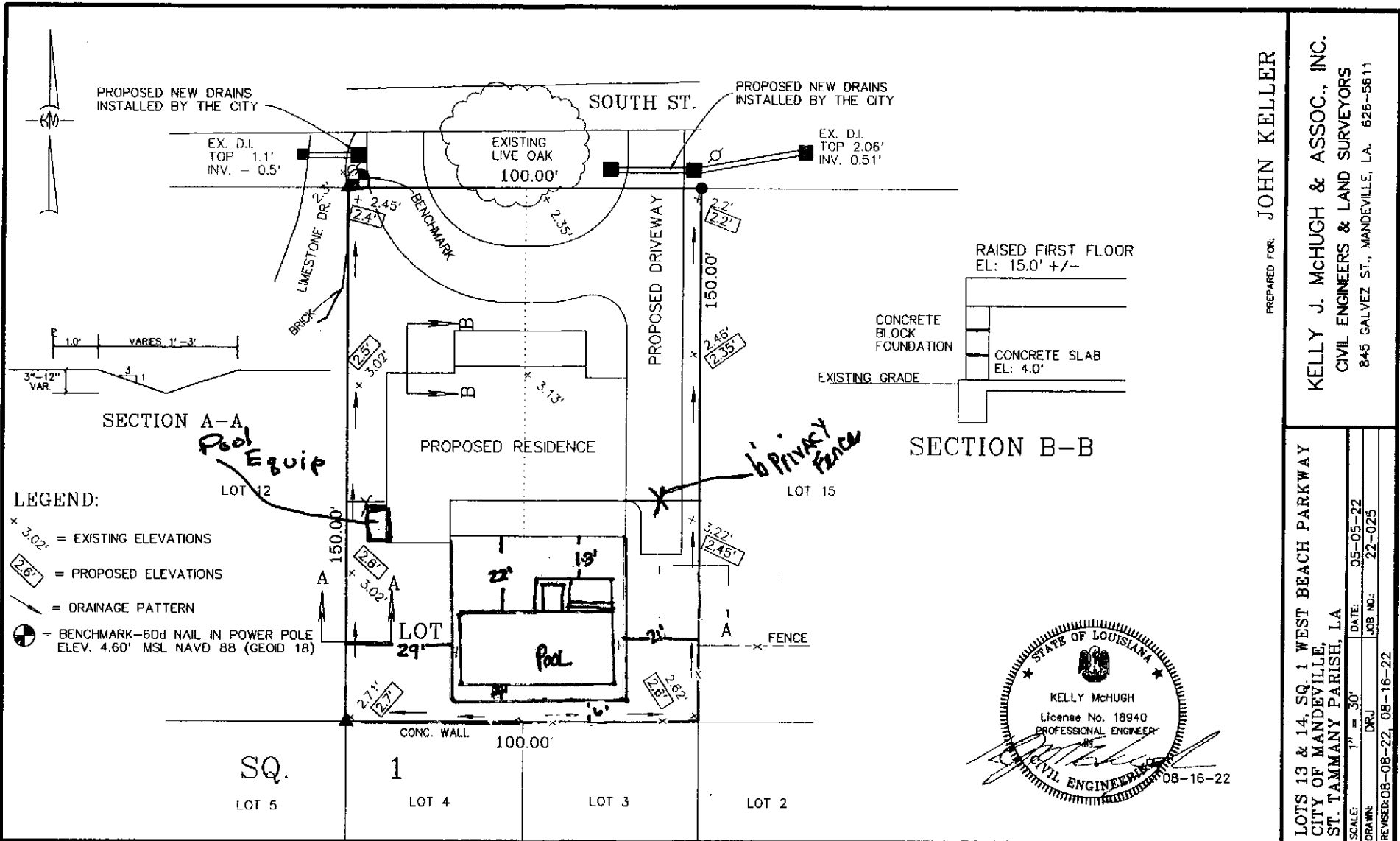
1. Grading and Fill. No change in elevation from natural grades shall be allowed except follows:
 - a. Up to six (6) inches of fill may be placed under the perimeter of the soffit or roof line of structures to achieve positive drainage from under the structure.

- b. Existing sites may be graded, or surface or subsurface conveyances may be established to meet the City's requirement to convey water to the City's stormwater management system.
- c. Grading changes shall not have an adverse impact on adjacent properties in accordance with State law.
- d. Fill shall not be allowed within the dripline of existing trees required to remain or any vegetative protection area.

3. Driveways.

- a. Driveways shall be built at existing grade except that driveways may be elevated no more than six (6) inches if necessary to access a garage or parking areas beneath the building and to help convey water to the City's stormwater conveyance system.





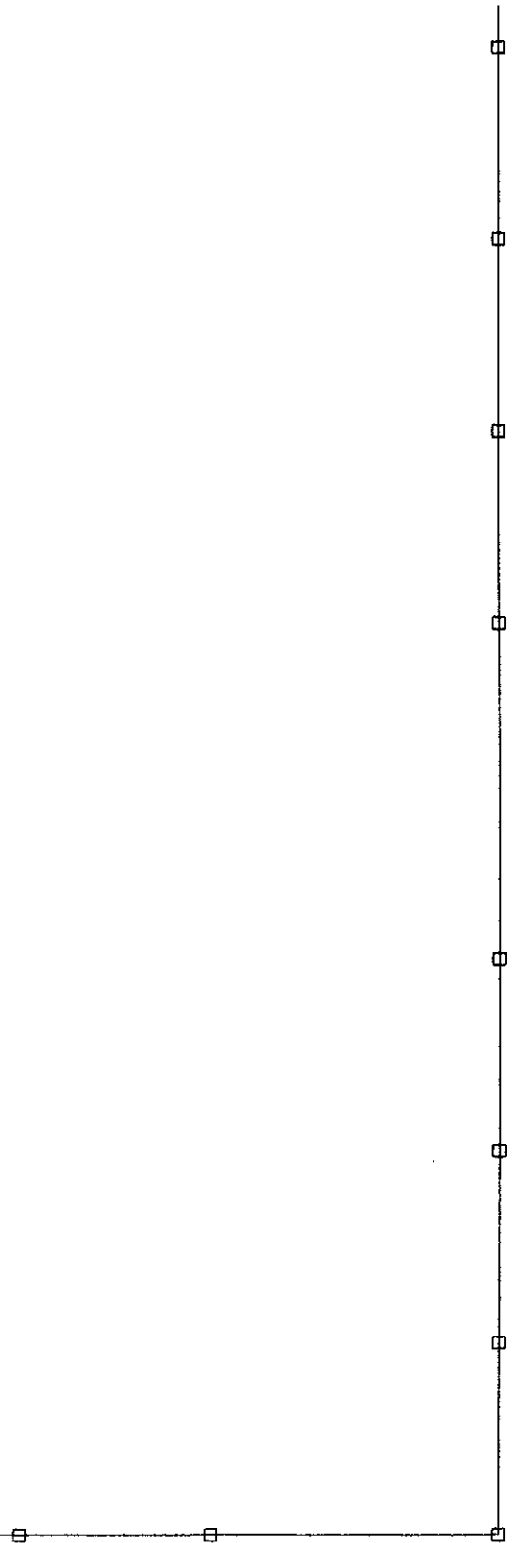
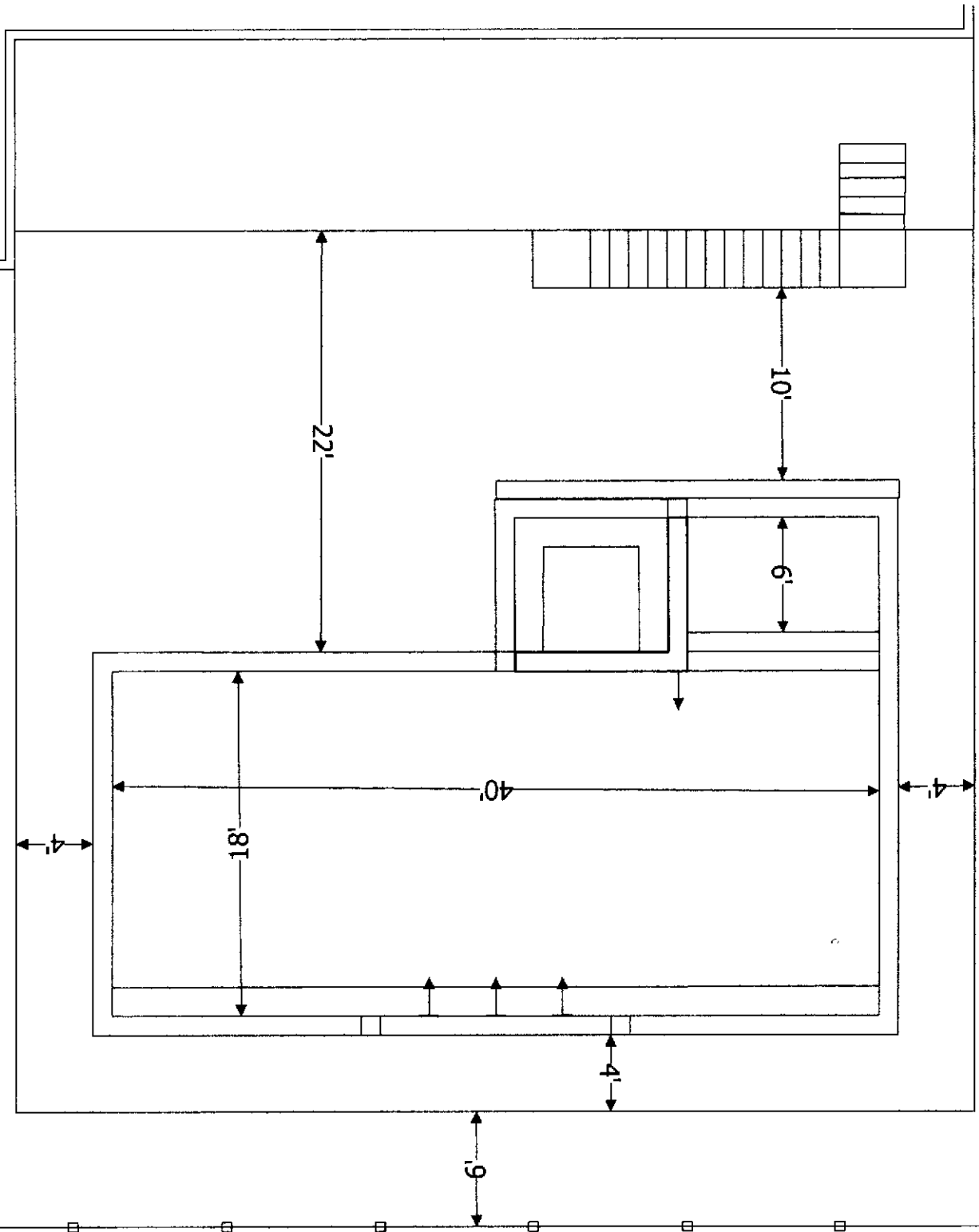
PREPARED FOR: JOHN KELLER

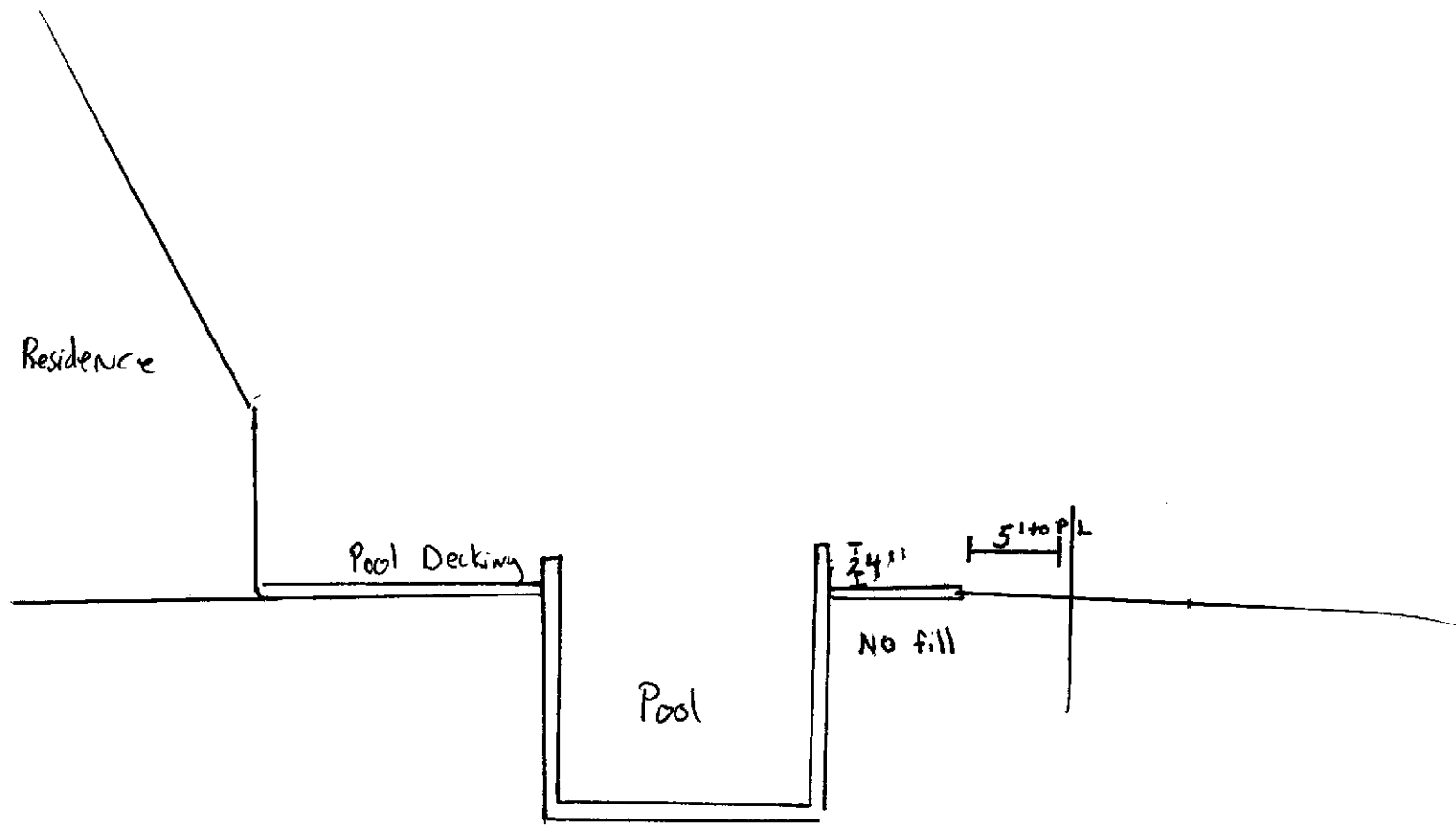
KELLY J. McHUGH & ASSOC., INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 845 GALVEZ ST., MANDEVILLE, LA. 626-5611

LOTS 13 & 14, SQ. 1 WEST BEACH PARKWAY
 CITY OF MANDEVILLE,
 ST. TAMMANY PARISH, LA.

SCALE:	1" = 30'
DRAWN:	DRJ
DATE:	05-05-22
JOB NO.:	22-025
REVISED:	08-08-22, 08-16-22

Scale: 1/8" = 1 ft.





Alex Weiner

From: Clifton Siverd
Sent: Monday, June 5, 2023 1:04 PM
To: Alex Weiner
Subject: RE: 2816 South Fill Variance

Alex,
Public Works offers the following comments for fill variance 2816 South St.
If the proposed elevated height for the walls of the pool is to be approved approximately 1080 CF of water would be displaced during a tidal event with water levels between 3.28 and 4.78. At these levels, the entire Lake Pontchartrain basin becomes inundated with tidal flooding from the state line to the east and Manchac to the west. The proposed volume would be negligible at that point.

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3. The area behind the pool deck shall remain at existing elevation and no filling is allowed. The pattern of storm water run off and elevation are to be constructed as shown in the approved Drainage Plan by Kelly McHugh dated 8-16-22 for the primary structure.

From: Alex Weiner <aweiner@cityofmandeville.com>
Sent: Friday, June 2, 2023 3:54 PM
To: Clifton Siverd <csiverd@cityofmandeville.com>
Subject: 2816 South Fill Variance

Clif,
2816 South Street applied for a fill variance for the raised pool they are wanting to construct and have been placed on the June agenda. The pool will be raised 24" above grade. I have attached the submitted documents, let me know if you have any comments.

Thanks,

Alex Weiner, CFM
Planning Secretary
Department of Planning & Development
City of Mandeville
3101 E. Causeway Approach
Mandeville, LA 70448
(985) 624-3132



MANDEVILLE

A Historic Lakefront Community

CASE SUMMARY SHEET

CASE NUMBER: Z23-06-03

DATE RECEIVED: May 18, 2023

DATE OF MEETING: June 13, 2023 and June 27, 2023

Address: 735 N Causeway

Subdivision: Poitevent Tract G, Section 46 Lot G-1-A

Zoning District: O/R Office/Residential District

Property Owner: 735 N Causeway LLC

REQUEST: Z23-06-03 – 735 N Causeway LLC requests the rezoning of a lot designated O/R Office/Residential District to B-2 Highway Business District, Poitevent Tract, Section 46 Lot G-1-A, O/R Office/Residential District, 735 N Causeway Blvd

CASE SUMMARY:

The applicant owns the property at 735 N Causeway located on the corner of N Causeway Blvd. and W Florida St. Extension. The property is irregular in shape, measuring 271.12’ along the N Causeway property line, 322.34’ along Florida Extension, 300’ along the south property line, and 153.2’ along the east property line, containing a square footage of 63,648 according to a survey prepared by Fontcuberta Surveys Inc., and dated 12.02.93 and revised on 3.30.94.

The lots to the south of the property, running along N Causeway Blvd, are zoned B-2 Highway Business District. Four lots to the east of the property, running along W Florida St. Extension, are zoned O/R Office/Residential, with five lots after those being zoned B-2 Highway Business District.

The applicant is requesting to rezone the property to B-2 to construct a special event venue. This use is not permitted in the O/R District.

The applicant indicated the special event space would be a total of 2401.25 sq ft requiring 48 spaces total. The remaining 3388.75 of space is to be used as office space, requiring 14 spaces. The 2nd floor is also used as office space being 5790, requiring an additional 23 parking spaces. The total number of spaces required is 85 spaces. The existing site accommodates 81 spaces. The applicant stated the parking will be re-designed to include 10-15 additional spaces. A site plan has not been submitted showing how that will be accomplished.

CLURO SECTIONS:

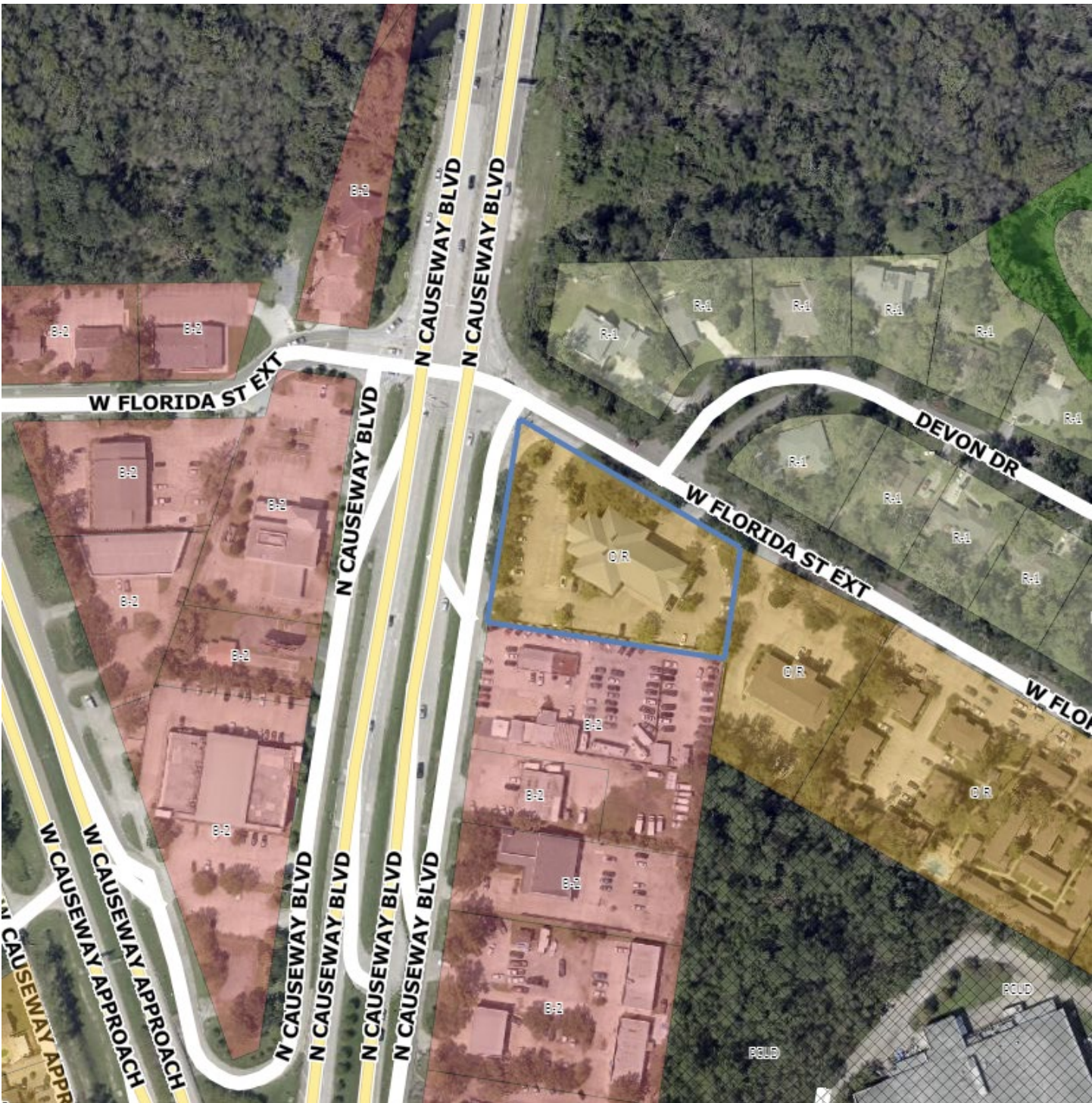
Use Classification	R.1	R.1X	R.2	R.3	MH	I	O	B.1	B.2	B.3	B.4	O/R
6.4.71* Special Events Center									P	S	P	

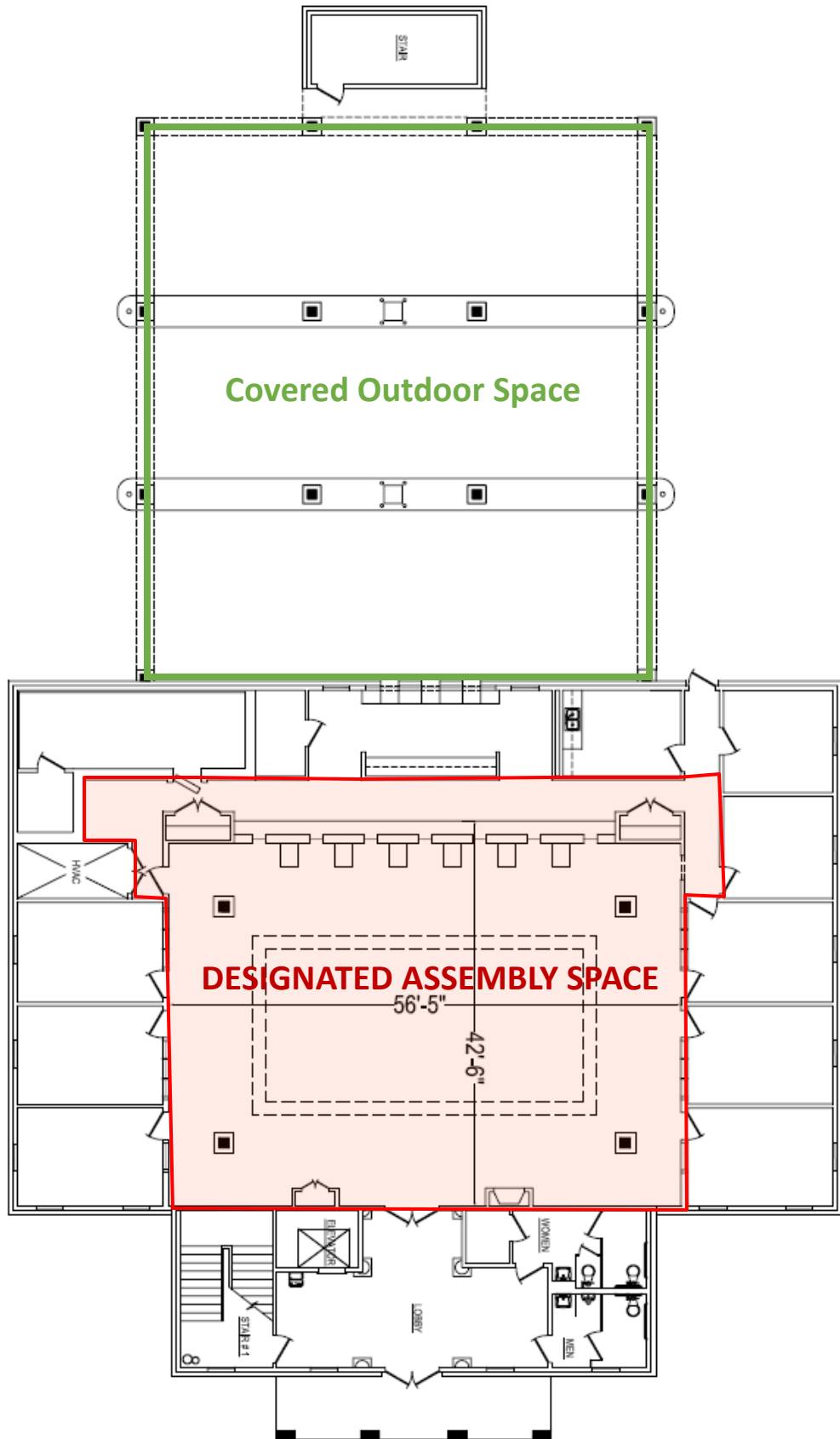
7.5.9.1. Purpose of the B-2 Highway Business District

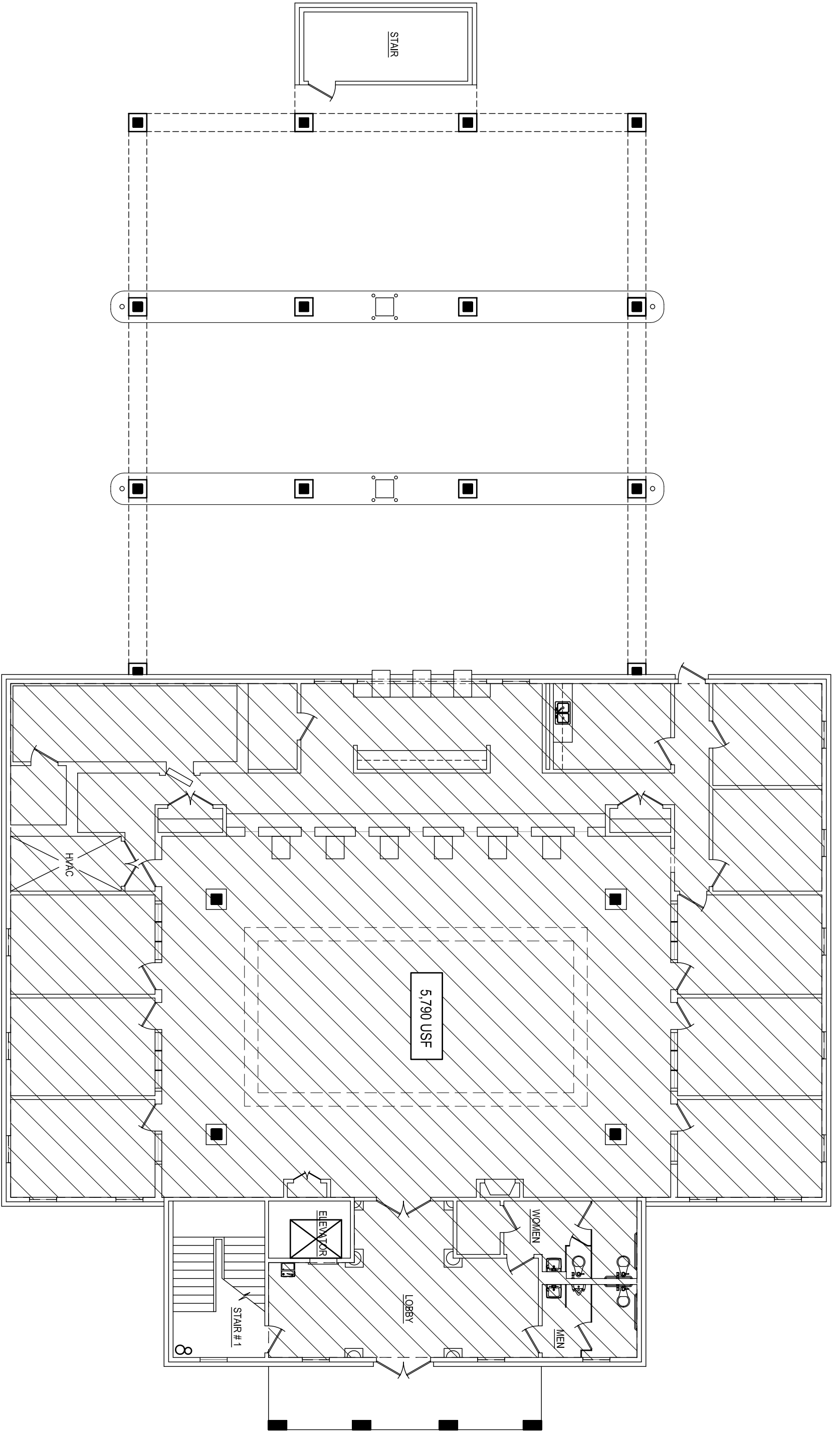
The purpose of the B-2 Highway Business District shall be to provide sites for office, retail and service establishments to serve the needs of the community as a whole. This district includes both multi-tenant shopping centers and individual development sites located typically on major arterial and collector streets.

6.4.71. Special Events Center

A privately owned building or site that is available to be rented, leased or commissioned to accommodate gatherings of people for events, including, but not limited to weddings, convocations, celebrations, fundraisers or wakes, whether conducted within, outside or both inside and outside a building as a principal or accessory use.







1st Floor - Existing Conditions Plan
 Scale: 3/32" = 1'-0"

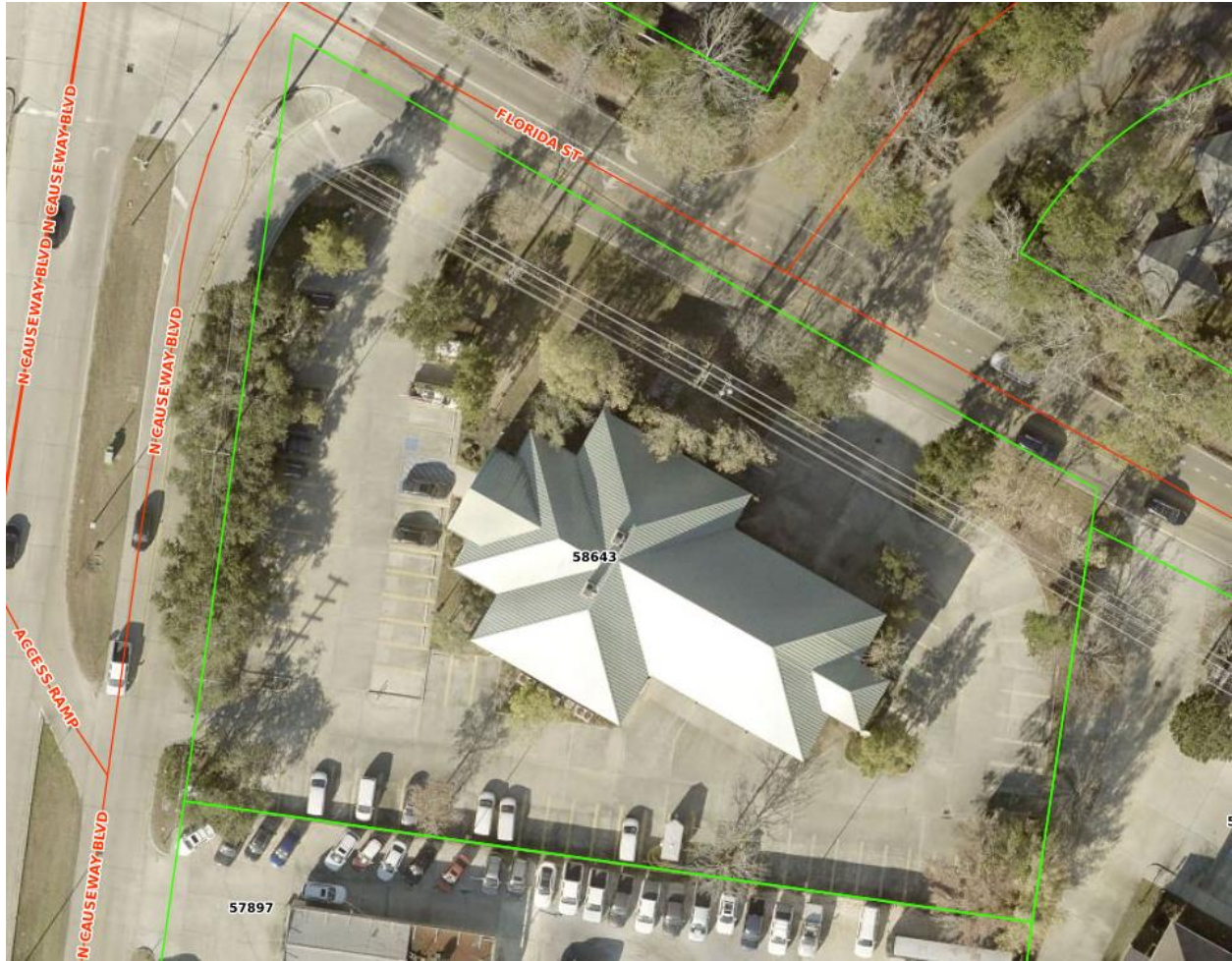
EXISTING CONDITIONS FLOOR PLAN
 735 N. CAUSEWAY BOULEVARD - 1ST FLOOR
 MANDEVILLE, LOUISIANA 70448

Mission: *D*esign, llc
 TAMARA C. HIGDON
 Registered Interior Designer
 Louisiana License 3085
 Space Planning • Interior Design • Furniture
 100 SE John Circle • Covington, Louisiana 70033 • (504)873-0990
 tamahigdon@missionsdesign.com

SCALE: 3/32" = 1'-0"
 FILE: 735CAUSEWAY_EC.DWG

DATE: 05-12-2023
 REVISIONS:
 REVISIONS:

DRAWING
 EC-1



Parking Lot currently consists of 81 marked parking spaces. With re-design/re-organization, it is our intent to add another 10-15 parking spots.