

## CASE SUMMARY SHEET

**CASE NUMBER: P23-03-01/Z23-03-02**

**DATE RECEIVED: January 26, 2023**

**DATE OF MEETING: March 14, 2023 and March 28, 2023**

**Address: 1301 North Causeway**

**Subdivision:**

**Zoning District: Proposed to be zoned B-2 Highway Business District**

**Property Owner: Alain Poux**

**REQUEST: P23-03-01/Z23-03-02 – Recommendation to the City Council to affect the annexation of a portion of ground situated on the Southern Half of Square 76, Forest Park Estates into the corporate limits of the City of Mandeville designating and assigning the property for purposes of zoning as B-2 Highway Business District and providing for other matters in connection therewith**

**CASE SUMMARY:**

The City Council introduced Ordinance 23-10 at their February 23, 2023 meeting. The Ordinance is to annex a parcel of ground situated on the south half of Square 76, Forest Park Estates being of 1301 North Causeway Blvd.

The property measures 100'x179.73' containing 17,973 square feet, in accordance with the survey prepared by Kelly J. McHugh & Assoc., Inc. and dated 6.08.1999. The property is currently zoned HC-2 Highway Commercial, the proposed zoning is B-2 Highway Business District. This site is located in the Priority One Area "Infill" for annexation and the City receives 100% of the Sale Tax Revenue in areas located within Infill Area 1. The property will be annexed into Council District 2.

The property is a nonconforming development site, under the CLURO the property has 5 years to come into conformance. The applicant has submitted a plan of the existing conditions. The applicant will be able to bring the site into conformance however due to the existing location of the parking the greenbelt is 15' in width. The Gateway Overlay requires a 25' greenbelt. The site is compliant with the B-2 Site Development Criteria.

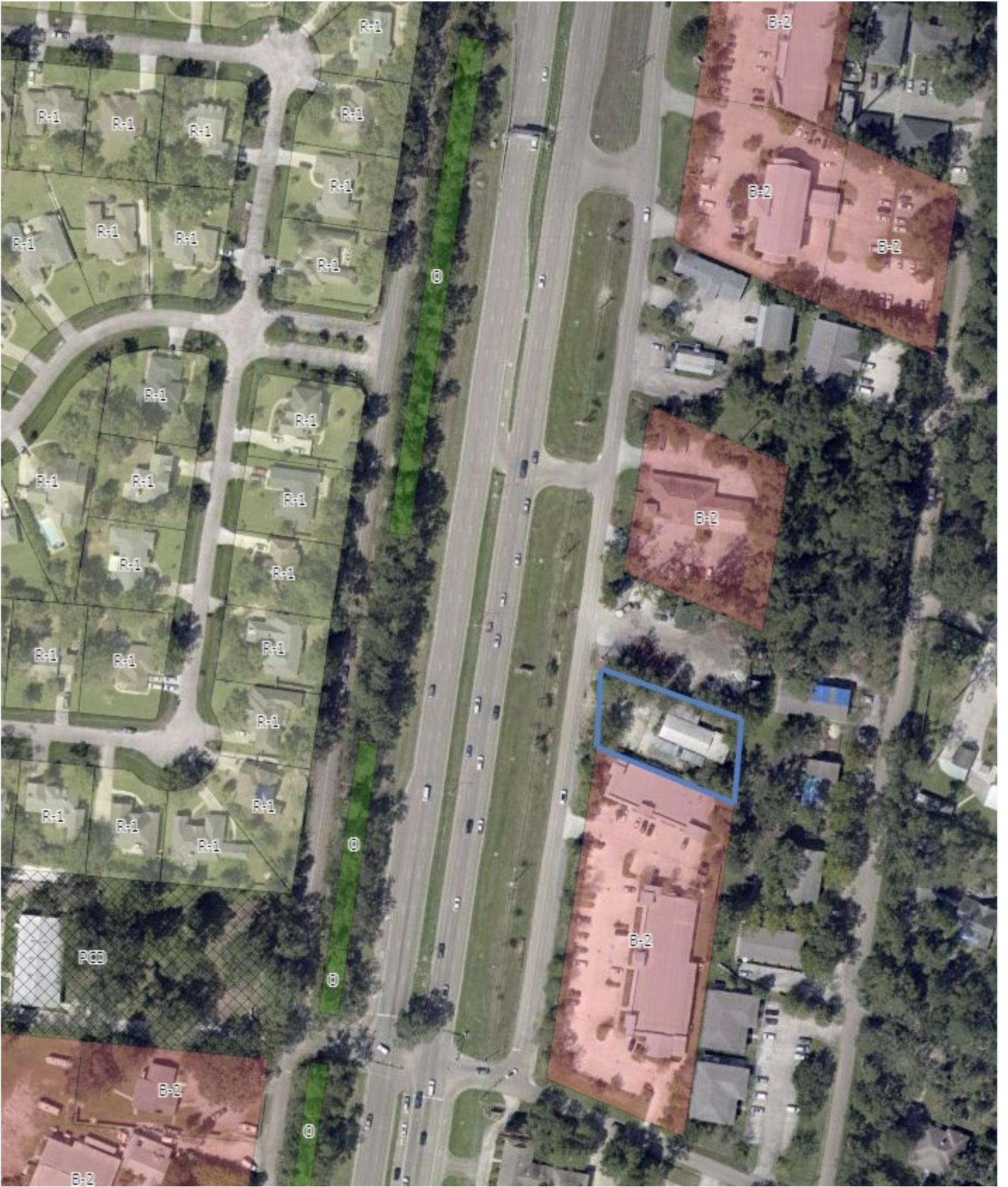
**CLURO SECTIONS:**

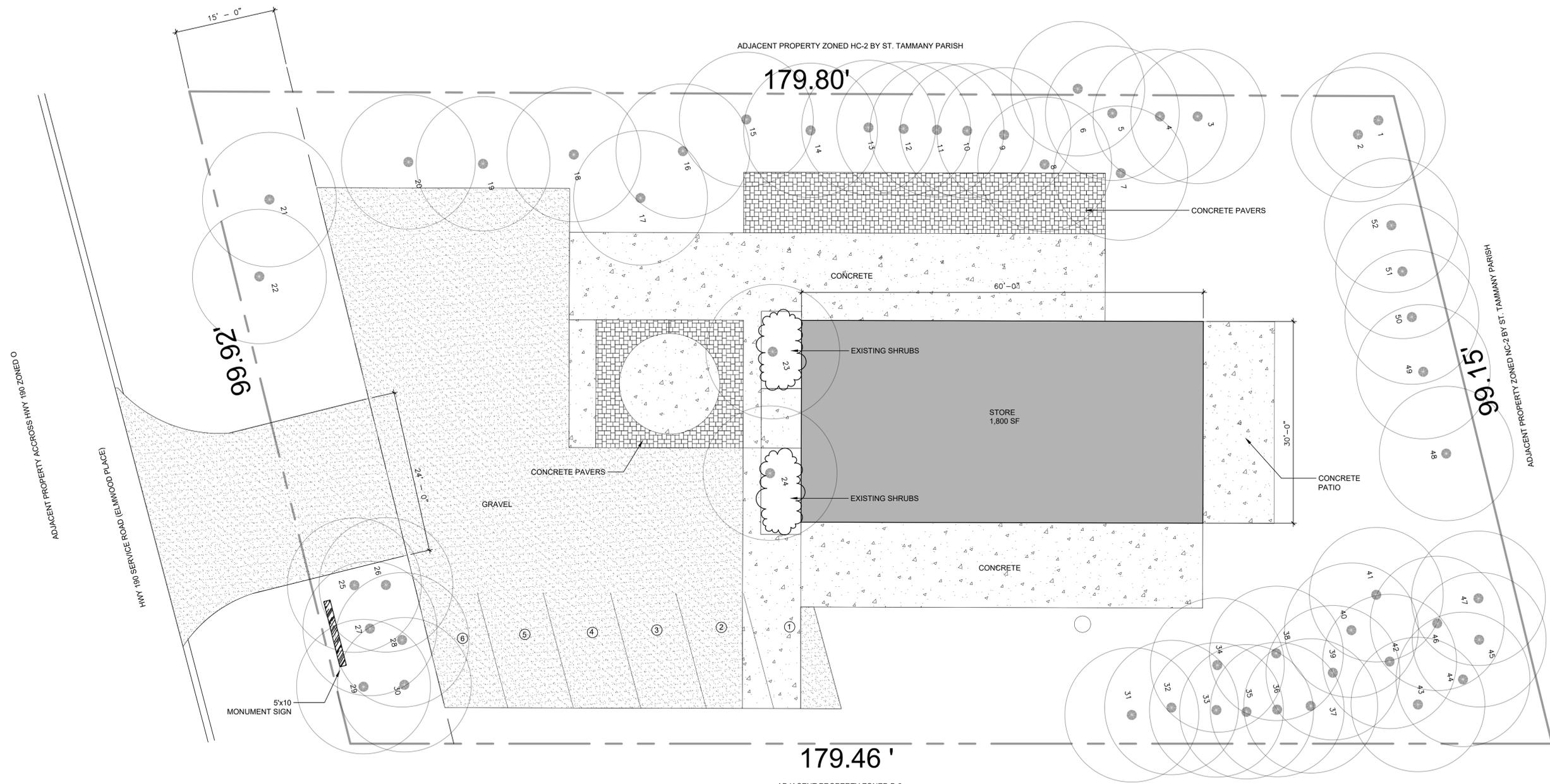
**7.5.9.1. Purpose of the B-2 Highway Business District**

The purpose of the B-2 Highway Business District shall be to provide sites for office, retail and service establishments to serve the needs of the community as a whole. This district includes both multi-tenant shopping centers and individual development sites located typically on major arterial and collector streets.

**4.2.3. Provisions for Legally Non-Conforming Development Sites**

1. Background - This Code has modified previous zoning requirements and established specific site development standards. Consequently, many development sites do not meet current requirements for such items as parking lot standards, landscaping, and other open space specifications.
2. Purpose - The intent of this section is to insure that such non-conforming development sites are brought into conformance with the site development standards prescribed by this Ordinance.
3. Authority to Continue - Any lawfully existing non-conforming development site may be continued so long as it remains otherwise lawful subject to the provisions of this section.
4. Non-Conforming Shopping Centers - Non-conforming shopping centers shall have nine (9) years from the effective date of this Ordinance either to bring the site into conformance with the provisions of the Ordinance or have a non-conforming development site variance approved for the site. All owners of record of commercially zoned properties shall be notified by the Building Inspector by first class mail of this provision prior to the end of the nine (9) year period.
5. ***Annexation of Non-Conforming Development Sites - As a condition of annexation approval, the City Council shall required the owner of the subject property to provide a plan for bringing the annexed development site into conformance with the provisions of these regulations. The plan shall provide a schedule that outlines a timetable for bringing the non-conforming site into maximum conformance to the provisions of this Ordinance within five (5) years of the date of annexation approval.***





ADJACENT PROPERTY ZONED HC-2 BY ST. TAMMANY PARISH

ADJACENT PROPERTY ZONED HC-2 BY ST. TAMMANY PARISH

ADJACENT PROPERTY ZONED NC-2 BY ST. TAMMANY PARISH

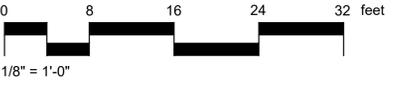
ADJACENT PROPERTY ZONED B-2

**EXISTING\_TREES\_SCHEDULE**

Tree	Species	Class	Size (DBH)	Tree	Species	Class	Size (DBH)
1	Sycamore	A	23"	27	Pine	A	10"
2	Sycamore	A	21"	28	Pine	A	10"
3	Pine	A	12"	29	Pine	A	8"
4	Pine	A	16"	30	Water Oak	A	7"
5	Pine	A	12"	31	Bald Cypress	A	2"
6	Corkscrew Willow	B	14"	32	Bald Cypress	A	2"
7	Bald Cypress	A	3"	33	Bald Cypress	A	2"
8	Leyland Cypress	B	7"	34	Water Oak	A	6"
9	Bald Cypress	A	6"	35	Bald Cypress	A	2"
10	Bald Cypress	A	6"	36	Bald Cypress	A	2"
11	Bald Cypress	A	5"	37	Bald Cypress	A	2"
12	Bald Cypress	A	5"	38	Water Oak	A	9"
13	Bald Cypress	A	4"	39	Winged Elm	A	9"
14	Pine	A	22"	40	Winged Elm	A	9"
15	Pine	A	17"	41	Winged Elm	A	4"
16	Water Oak	A	18"	42	Winged Elm	A	4"
17	Pine	A	15"	43	Winged Elm	A	10"
18	Pine	A	16"	44	Pine	A	26"
19	Pine	A	23"	45	Winged Elm	A	1"
20	Water Oak	A	15"	46	Winged Elm	A	4"
21	Pine	A	25"	47	Winged Elm	A	1"
22	Southern Magnolia	A	12"	48	River Birch	B	5"
23	Crab Apple	B	2"	49	River Birch	B	7"
24	Crab Apple	B	3"	50	River Birch	B	7"
25	Pine	A	16"	51	River Birch	B	6"
26	Pine	A	13"	52	River Birch	B	6"

**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION	QTY
	EXISTING CONCRETE	2,724 sf
	CONCRETE PAVERS	727 sf
	GRAVEL PAVING	4,179 sf



**PROPERTY INFORMATION**

SOUTH 1/2 OF LOT 76  
 FOREST PARK ESTATES  
 SECTION 42 - T8S-R11E  
 ST. TAMMANY PARISH, LA.  
 (BASED UPON ORIGINAL SURVEY BY KELLY MCHUGH & ASSOCIATES 6-8-99)

PROPERTY ADDRESS: 1301 Hwy 190  
 PROPERTY USE: RETAIL/BAKERY  
 PROPERTY ZONING: HC-2 (ST. TAMMANY) PROPOSED B-2 (MANDEVILLE)  
 ADJACENT PROPERTY ZONING: SOUTH B-2 (MANDEVILLE)  
 EAST NC-2 (ST TAMMANY)  
 NORTH HC-2 (ST TAMMANY)  
 WEST O (MANDEVILLE) ACROSS HWY 190

PROPERTY SIZE: ±17,353.93 SF  
 FRONT VEHICLE USE AREA (VUA): ±4,147 SF

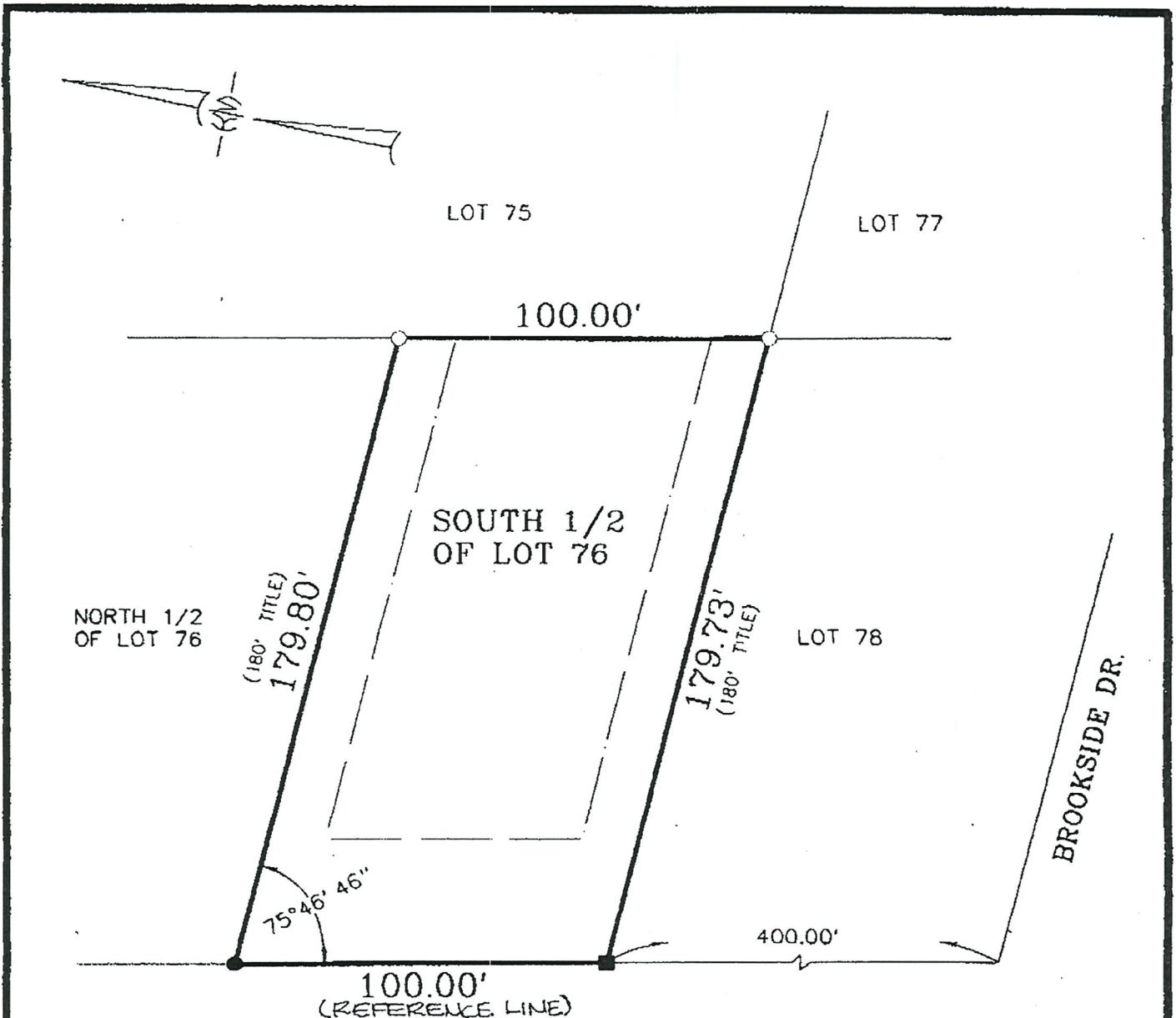
General Notes		
1. LAYOUT OF EXISTING SITE CONDITIONS		
No.	Revision/Issue	Date

Designed By:  
**ERIC R. MCQUISTON, LLC**  
 23046 ROLLINS ST.  
 MANDEVILLE, LA. 70471  
 985-789-9468  
 ermcquiston@gmail.com  
 www.ericmcquistonllc.com

Eric R. McQuiston, PLA  
 Landscape Architect  
 License #: 22-0624  
 Registration #: M-310  
 Landscape Horticulturist  
 License #: 22-3963

Project:  
 1301 HWY 190  
 MANDEVILLE, LA. 70448

Project 1222 FLORIDA ST.	Sheet EXISTING CONDITIONS
Date 2/10/2023	EC 1.0
Scale 1"=8'-0"	



### ELMWOOD PLACE

**BLDG. SETBACKS:**

FRONT - 35'  
SIDE - 15'

**LEGEND:**

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET
- = 1" IRON PIPE FOUND

THIS PROPERTY IS LOCATED IN FLOOD ZONE "C", BASE FLOOD ELEV. N/A, F.I.R.M. PANEL No. 225205 0240 E, REV. 8-16-95.

NOTE: SERVICITUDES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. SERVICITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.



CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

**REFERENCE:**

SURVEY BY JOHN E. BONNEAU & ASSOCIATES, INC., DATED: 6-21-96, SURVEY No. 96691, NO SERVICITUDES SHOWN.

BOUNDARY SURVEY OF:  
**THE SOUTH 1/2 OF LOT 76,  
 FOREST PARK ESTATES  
 SECTION 42, T-8-S, R-11-E,  
 ST. TAMMANY PARISH, LA.**

PREPARED FOR:  
**ALAIN T. POUX  
 GULF COAST BANK AND TRUST CO.  
 FIRST AMERICAN TITLE INS. CO. &  
 BERKE & BOLNER A P. L. C.**

**KELLY J McHUGH & ASSOC., INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 40'

DATED: 6-8-99

DRAWN: MKM

JOB NO.: 99-153

REVISED:

mkm2/A99153

**CASE SUMMARY SHEET****CASE NUMBER: SUP22-03-01****DATE RECEIVED: January 26, 2023****DATE OF MEETING: March 14, 2023 and March 28, 2023****Address: 201 Carroll St****Subdivision: Town of Mandeville****Zoning District: B-3 Old Mandeville Business District****Property Owner: Lisa Keiffer, LLC****Previous Cases: P16-01-01 Conditional Use (Ord. 15-35) – Outdoor dining in the Right of Way.****Z12-12-07 – Zoning Approval – Sit Down Restaurant****Z12-08-05 – Zoning Approval – Sit Down Restaurant****Z12-02-03 – Zoning Approval – Food Sales****V00-07-16 - Variance – Parking, Landscape Requirements****V00-01-02 – Variance – Parking, Landscape****V00-02-05 Variance – Non-Conforming Development Site****Z00-02-06 – Combined Uses****SUP22-12-04 – Special Use approval to allow Transient Lodging - Hotel/Motel**

**REQUEST: SUP23-03-01 – Thomas and Lisa Keiffer request a Special Use Permit to allow an exception to the B-3 Sign Design Standards per CLURO Section 10.5.3.8.1, Sq. 25B Lot 10A, B-3 Old Mandeville Business District, 201 Carroll St.**

**CASE SUMMARY:**

201 Carroll is located on the northeast corner of Carroll St. and Claiborne St. The property measures 93.5' on Carroll St. and 90.7' on Claiborne St., having a square footage of 8,480. The applicant is requesting an exception to the B-3 Sign Design Standards. The CLURO allows the Zoning Commission to grant such exceptions through the Special Use Permit process.

In January 2023, the Commission approved the Special Use Permit request to allow a hotel/motel on the premise. The proposed sign will be located on the east side of the building, adjacent to the new courtyard area.

The applicant has submitted a proposed rendering of the sign, along with the specifications. The sign is approximately 31 sq. ft. in surface area per sign face with a 10" deep casing and standing 18' tall. The sign will be externally illuminated by down lighting which will be set on a timer to ensure restricted hours of use.

Free-standing signs in the B-3 District shall be a maximum of 10' in height, maximum sign area of thirty-two (32) square feet per sign face and shall be supported by a monument base or, two wood, metal or masonry posts or constructed as projecting signs from a single post. The proposed sign will be 18' in height, 31 sq.ft. per sign face, and flanged metal tubular supports connected to flanged metal anchors embedded in a monolithic concrete footer.

The applicant is requesting an exception to the B-3 Sign Design Standards to allow for a sign height of 18', 8' over the maximum allowed sign height of 10'.

**CLURO SECTIONS:****4.3.2.1. Title and Purpose**

The procedures set forth herein for approval of Administrative and Special Use Permits shall be known as the Site Plan Review Procedure. The purpose of this procedure is to provide for review and evaluation of site development and design features of selected uses, and to afford a procedure for mitigation of potentially unfavorable effects on adjacent land uses.

**4.3.2.8. Findings for Special Use Permit Approvals**

The Zoning Commission shall make the following findings before approving a Special Use Permit:

1. The proposed plan is consistent with the Comprehensive Plan and the purposes of the applicable zoning district.
2. That the Special Use Permit application and site plan comply with the standards of these Comprehensive Land Use Regulations.
3. That any required modifications to the site plan are reasonable and are the minimum necessary to minimize potentially unfavorable impacts and protect the public health, safety and welfare as follows:
  - a. That the proposed use and site development, together with any modifications applicable thereto, will be compatible with existing conforming or permitted uses on adjacent sites or sites across from the proposed development site in terms of building height, bulk, scale, setbacks, open spaces, lighting, signage, landscaping, parking, access and circulation.
  - b. The site development provides for the safe and convenient circulation of pedestrians, motorists and bicyclists and adequately addresses the volume and traffic and other transportation impacts of the proposed development.

- c. Proposed parking is designed to minimize negative impacts on surrounding property and provide safe and convenient access to the site.
- d. The proposed design and use of the development adequately protects people and property from the negative impacts of erosion, flood or water damage, fire, odors, noise and glare anticipated to be generated by the proposed development.

#### 10.5.3.8. B-3 Sign Design Standards

The purpose of this section is to promote the establishment of signage within the B-3 district that is consistent with the area's historic character and pedestrian-oriented streetscapes. The Zoning Commission may grant exceptions to the standards in this section through the Special Use Permit process.





THOMAS KEIFFER, SR.  
ATTORNEY AT LAW

January 26, 2023

**By Hand Delivery & Email:** [aweiner@cityofmandeville.com](mailto:aweiner@cityofmandeville.com)

City of Mandeville  
Alex Weiner, Planning Dept. Secretary  
3101 E. Causeway Approach  
Mandeville, LA 70448

***Re: Special Use Permit for Sign Exception  
(CLURO 10.5.3.8.1)***

Dear Alex,

On behalf of Lisa Keiffer, LLC ("Applicant"), I am applying for an exception through the Special Use Permit process for a sign pursuant to CLURO section 10.5.3.8.1. The exception concerns: (1) the 10' height limit on freestanding signs in CLURO Table 10.5.3.5 (section 4); and (2) the requirement of concealed supports for monument signs in CLURO section 10.3.2.29. I would appreciate this application being placed on the agenda for the **February 14, 2023** meeting of the Planning and Zoning Commission.

I am enclosing a completed Application for Special Use Approval, the \$250 filing fee, and the following exhibits:<sup>1</sup>

- scaled rendering of the sign (Exhibit 1)
- photograph of sign location (Exhibit 2)

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<sup>1</sup> For the remaining required submissions please refer to SUP22-12-04 Exhibit 1 (site plan), Exhibit 2 (historic survey listing the building), Exhibit 3 (legal descriptions), Exhibit 4 (surveys) Exhibit 5 (sworn statement of owner), and Exhibit 6 (ownership documentation), along with my letter dated November 14, 2022 (listing abutting or opposite lot ownership information).

The specifications for this two-sided sign are as follows:

1. Dimensions – approximately 31 ft<sup>2</sup> in surface area per sign face, 10” deep casing and 18’ tall.
2. Proposed Location – behind the three-story old bank building located at 201 Carroll Street, at the northeast corner adjacent to the new courtyard area.
3. External Illumination – down lighting (no neon).
4. Materials – galvanized casing and metal tubular supports.
5. Colors – hunter green background in the top sections (measuring 2’ x 4 ½’), dark maroon background in the vertical sections (measuring 2’ x 11’) and white block letters and borders, as per the original color scheme of this repurposed commercial sign.
6. Wording – the word “OLD” in 14” white painted letters across the top and the word “TOWN” in 18” white painted letters stacked vertically. (“Old Town” is the historic name of the subdivision comprising most of the Mandeville Historic Preservation District, as indicated by the GIS map on the City’s website).
7. Installation – flanged metal tubular supports (4 ¼” in diameter) connected to flanged metal anchors imbedded in a monolithic concrete footer (approximately 2’ wide x 4’ long x 6’ deep) reinforced with No. 5 rebar.
8. Power Source – dedicated 120-volt circuit on a timer to insure restricted hours of use.

If you require any additional information or documentation, please do not hesitate to contact me. Thank you for your assistance in this matter.

With best regards, I remain,

Sincerely,

**Thomas Keiffer, Sr. PLC**

Thomas Keiffer, Sr.

cc (via email):

Cara Bartholomew, Planning & Development Director ([cbartholomew@cityofmandeville.com](mailto:cbartholomew@cityofmandeville.com))

Lauren Brinkman, Floodplain Administrator ([lbrinkman@cityofmandeville.com](mailto:lbrinkman@cityofmandeville.com))

Kathy Reeves, Permits Coordinator ([permits@cityofmandeville.com](mailto:permits@cityofmandeville.com))

Vaughan Sollberger ([kvs@kvsarchitecture.com](mailto:kvs@kvsarchitecture.com))



Exhibit 2



Exhibit 1

**PARKING CALCULATIONS:**

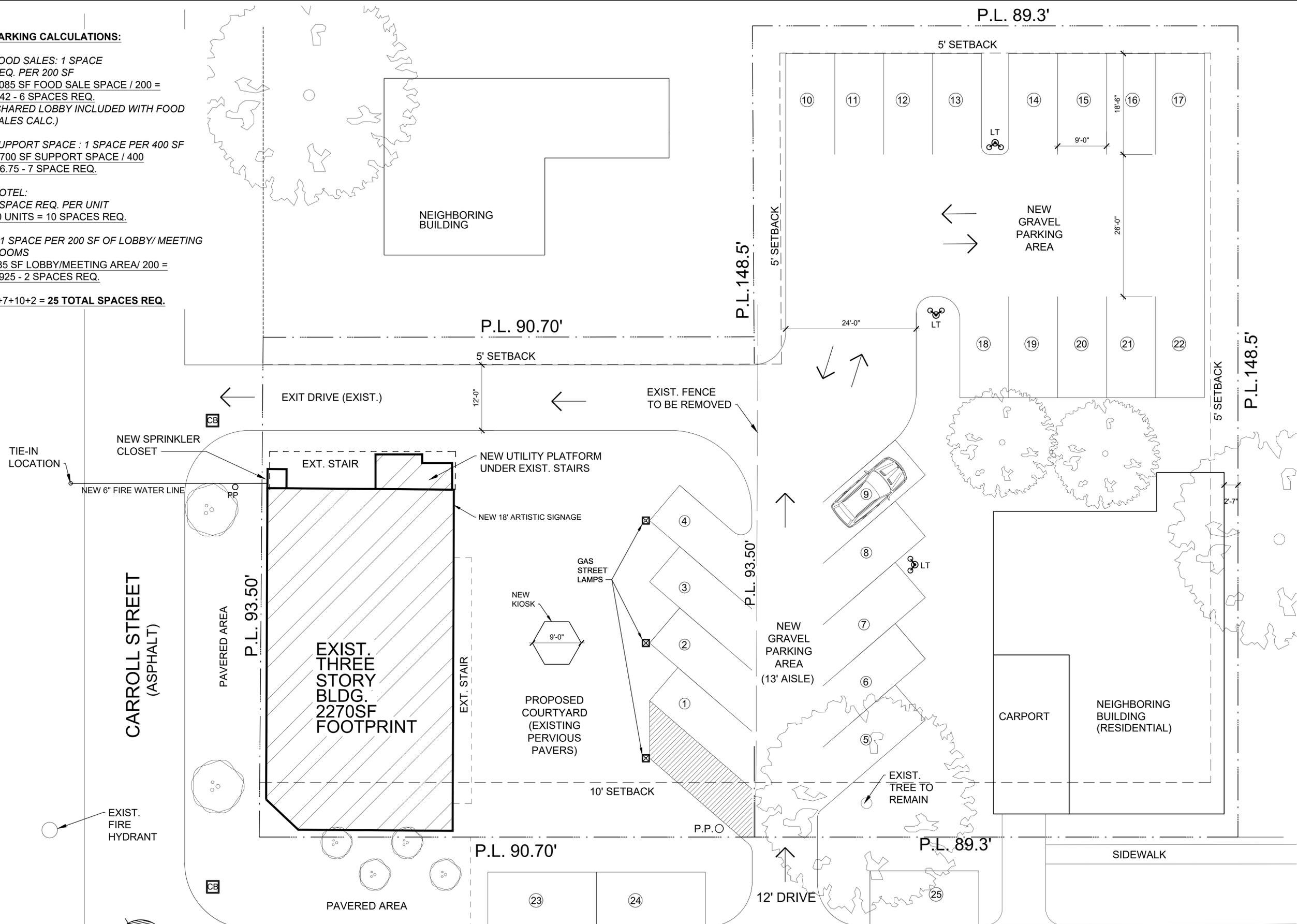
FOOD SALES: 1 SPACE  
REQ. PER 200 SF  
1,085 SF FOOD SALE SPACE / 200 =  
5.42 - 6 SPACES REQ.  
(SHARED LOBBY INCLUDED WITH FOOD  
SALES CALC.)

SUPPORT SPACE : 1 SPACE PER 400 SF  
2,700 SF SUPPORT SPACE / 400  
= 6.75 - 7 SPACE REQ.

HOTEL:  
1 SPACE REQ. PER UNIT  
10 UNITS = 10 SPACES REQ.

+ 1 SPACE PER 200 SF OF LOBBY/ MEETING  
ROOMS  
385 SF LOBBY/MEETING AREA/ 200 =  
1.925 - 2 SPACES REQ.

6+7+10+2 = 25 TOTAL SPACES REQ.



**1 SITE PLAN**  
1/8" = 1'-0"

**KVS** architecture  
235 Girod Street, Mandeville, Louisiana  
985.674.3077 www.kvsarchitecture.com

**OLD MANDEVILLE  
GUESTHOUSE**  
201 CARROLL ST. MANDEVILLE, LA 70448

REVISIONS:  
DATE: 12.22.22  
PROJECT No: 20035  
DRAWING:

**A1.0**

**CASE SUMMARY SHEET****CASE NUMBER: SUP23-03-02****DATE RECEIVED: February 15, 2023****DATE OF MEETING: March 14, 2023 and March 28, 2023****Address: 1735 Claiborne****Subdivision: Town of Mandeville, Square 7 Lot D****Zoning District: R-1 Single Family Residential****Property Owner: Vincent Jenkins**

**REQUEST: SUP23-03-02 – Alpine Property Management, LLC requests Special Use Approval to allow Lodging (Transient) – Short Term Rental: Bed and Breakfast Residence per the Table of Permitted Uses, CLURO Section 7.8, Square 7 Lot D, R-1 Single Family Residential District, 1735 Claiborne**

**CASE SUMMARY:**

The applicant owns the property at 1735 Claiborne Street. The property is located on the north side of Claiborne St., east of Lamarque St., and west of Foy St. The property measures 59'x191' containing 11,269 square feet as described in the cash sale of the property. There are two existing structures on the site, the main residence on the southern side of the lot and an existing accessory dwelling unit. The applicant is requesting to operate a Bed and Breakfast Residence out of the rear structure on the lot. The use requires special use approval in the R-1 District located within the Historic District.

In January 2020, the City Council adopted Ordinance 19-34, which amended the CLURO to include provisions for Short Term Rentals and to establish a Historic Preservation Overlay District. Short Term Rentals are not permitted in the R-1 or R-1X Districts unless the property is located in the Historic Preservation Overlay District, in which case a Bed and Breakfast Residence is permitted by Special Use Approval.

Short Term Rental – Bed and Breakfast requires that the property owner be on site for the guests stay, only continental breakfast service shall be provided and provide homestead exemption.

**Parking:**

Lodging (Transient)— Short-Term Rental: Bed and Breakfast Residence requires one parking space per guest room plus two spaces for resident occupants. A Bed and Breakfast Residence is limited to no more than two guestrooms, the applicant has provided the required four parking spaces on a site plan submitted by the applicant.

**CLURO SECTIONS:****4.3.2.7. Review and Evaluation**

1. Site plans for uses subject to the Special Use Criteria as provided in Article 8 shall be reviewed and evaluated for consistency with such standards.
2. Site plans shall be reviewed and evaluated for consistency with all applicable regulations of this Comprehensive Land Use Regulations Ordinance.
3. In the event that a proposed site plan does not satisfy the applicable criteria established for review by this Section, modifications to the site plan by the applicant that would result in increased compatibility or would mitigate unfavorable impacts or would cause the site plan to conform to applicable requirements may be considered.
4. The Zoning Commission may require modification of a site plan as a condition for approval when required by the Special Use Criteria of Article 8 or Special District Criteria for the district in which the use is proposed, or other provisions of these regulations or other City, state or federal regulations; or, when the site plan is reviewed in connection with a special use permit application, they may recommend such modifications as may be reasonably necessary to achieve the purposes of these regulations. Such modifications may include, but shall not be limited to:
  - a. Provision for special yards, open spaces, buffers, fences, walls, and screening; for installation and maintenance of landscaping and drainage control measures; improvements of access and circulations; rearrangements of structures, site improvements or activities within the site; location and character of signs; and such other site plan features as necessary to ensure compatibility with surrounding uses and to support the findings required by this section
  - b. Required modifications may exceed the minimum standards established in these regulations to achieve these regulations' purposes.

**4.3.2.8. Findings for Special Use Permit Approvals**

The Zoning Commission shall make the following findings before approving a Special Use Permit:

1. The proposed plan is consistent with the Comprehensive Plan and the purposes of the applicable zoning district.
2. That the Special Use Permit application and site plan comply with the standards of these Comprehensive Land Use Regulations.
3. That any required modifications to the site plan are reasonable and are the minimum necessary to minimize potentially unfavorable impacts and protect the public health, safety and welfare as follows:

- a. That the proposed use and site development, together with any modifications applicable thereto, will be compatible with existing conforming or permitted uses on adjacent sites or sites across from the proposed development site in terms of building height, bulk, scale, setbacks, open spaces, lighting, signage, landscaping, parking, access and circulation.
- b. The site development provides for the safe and convenient circulation of pedestrians, motorists and bicyclists and adequately addresses the volume and traffic and other transportation impacts of the proposed development.
- c. Proposed parking is designed to minimize negative impacts on surrounding property and provide safe and convenient access to the site.
- d. The proposed design and use of the development adequately protects people and property from the negative impacts of erosion, flood or water damage, fire, odors, noise and glare anticipated to be generated by the proposed development.

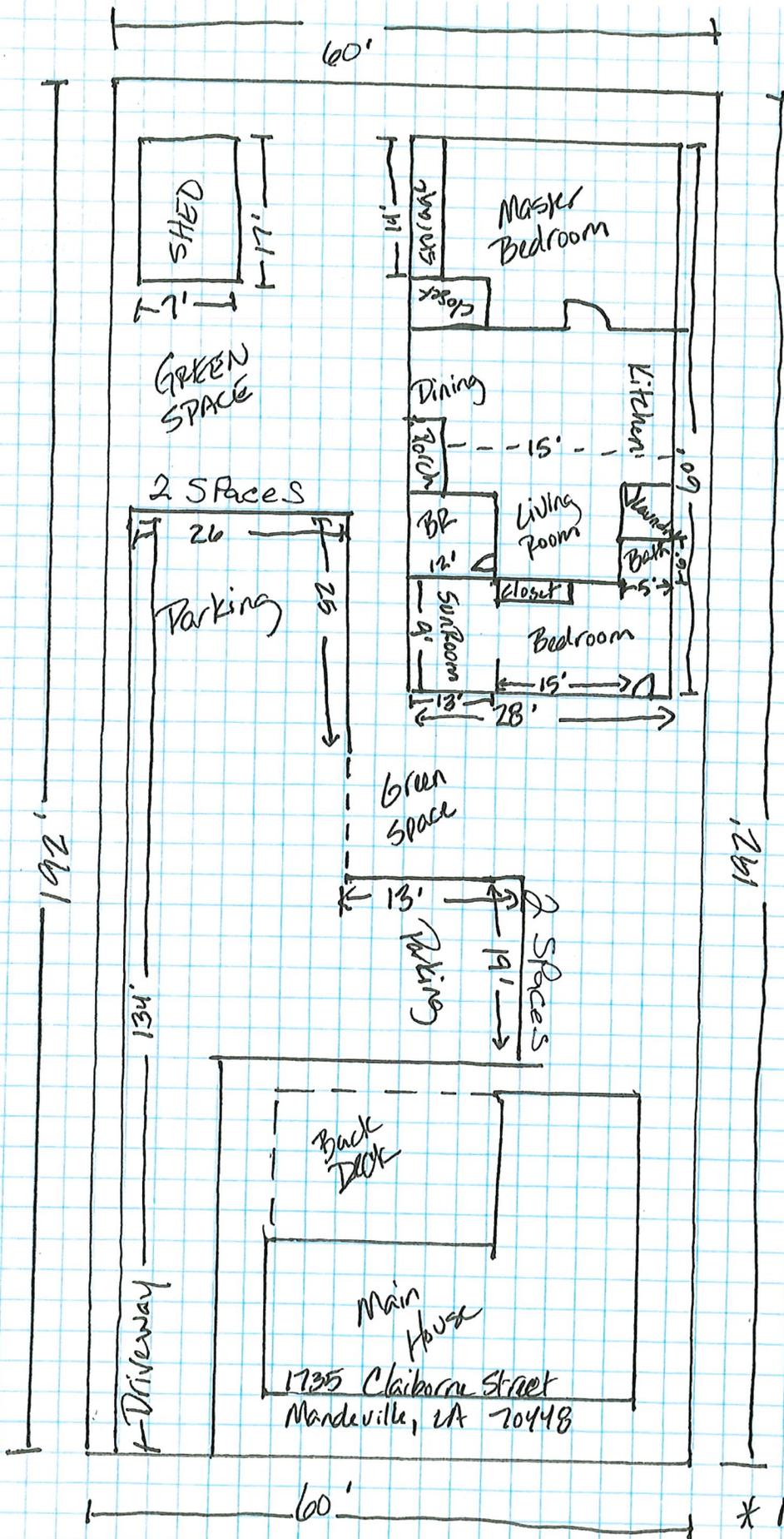
#### **6.4.42. 1 Lodging (Transient) – Short Term Rental: Bed and Breakfast Residence**

An owner-occupied dwelling unit having no more than two guestrooms where short-term lodging is provided for compensation by the owner/operator of the residence who shall be present during the guest's stay.

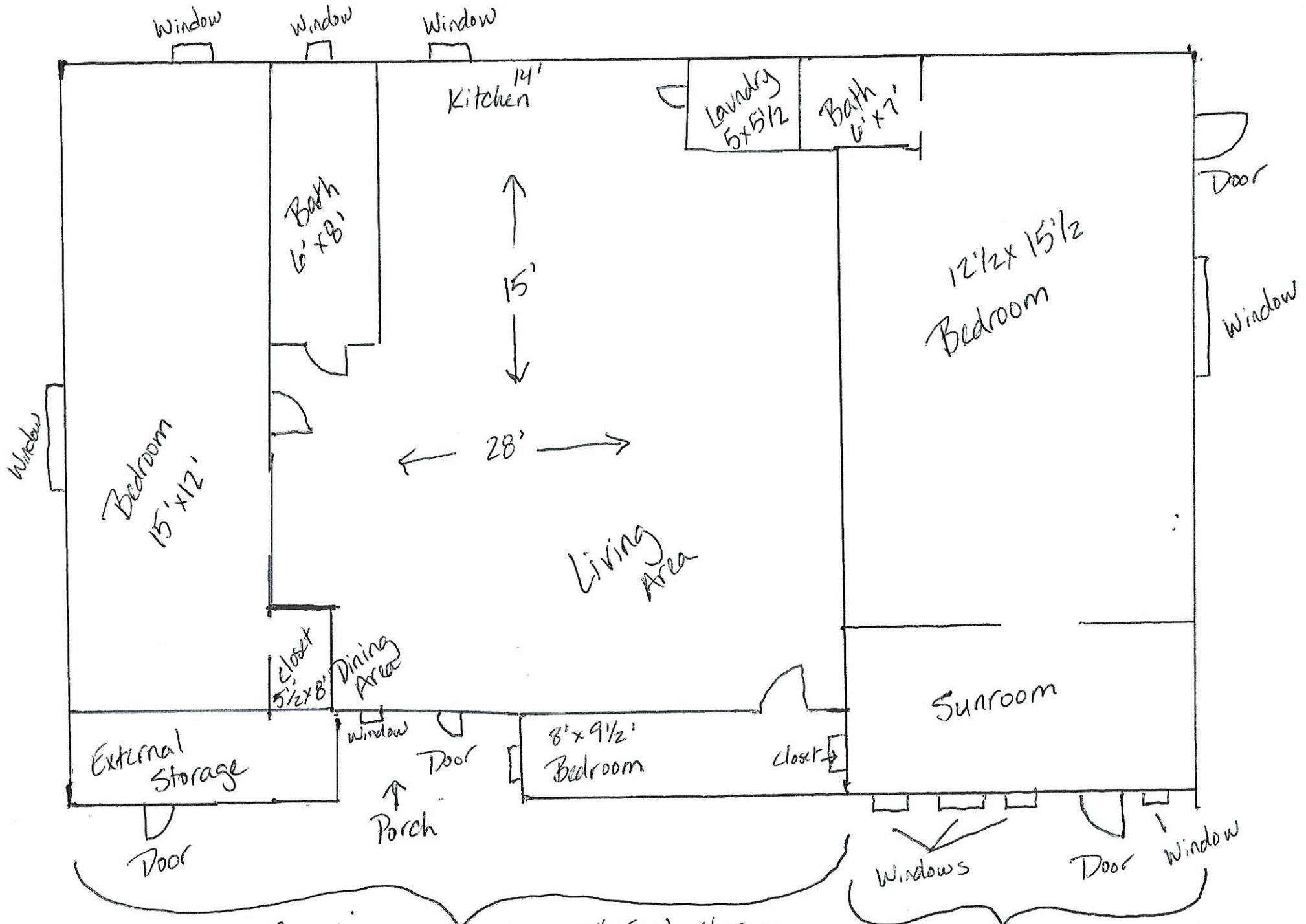
#### **7.6.5.1. Purpose of the H-P Historic Preservation Overlay District**

The purpose of the H-P Historic Preservation Overlay District shall be to preserve and protect the historic character and promote the educational, cultural, and economic welfare of the area.





\* Not to scale!



\* Rough sketch - NOT to scale!  
 Guesthouse - excluding external storage.

STUDIO

- e. No investment that was incurred after the effective date of this ordinance shall be considered.
- f. If the Zoning Commission finds that the owner is eligible for an extension of time, the Commission shall grant an extended termination date to the applicant that shall not be longer than is required to recoup the investment.

#### **8.2.3.5. *Lodging (Transient) – Short Term Rentals***

**A.** All of the required approvals shall be obtained prior to establishment of the use including a Special Use Permit and Conditional Use approval depending upon the district in which the use is proposed to be located. In addition, an occupational license and a certificate of occupancy for the proposed use shall be obtained from the City. Any additional requirements of the state shall also be required to be satisfied.

#### **B. STANDARDS**

Short-term rentals, as defined in Article 6, shall be subject to the following general requirements in addition to the parking requirements as provided in Article 9 and the district regulations for the district in which the facility is located:

1. Short-term rentals shall meet all applicable building, health, fire, and related safety codes at all times as well as:
  - a. That the property has current, valid liability insurance of \$500,000.00 or more that covers use as a short-term rental property;
  - b. That each short-term rental has working smoke alarms in every bedroom, outside each sleeping area, and on all habitable floors. If the rental unit has either natural gas service, or a propane system for cooking or heating, the unit must also have working carbon monoxide alarms in each bedroom, outside each sleeping area, and on every habitable floor. Combination smoke/carbon monoxide alarms are acceptable; and
  - c. That each short-term rental has a properly maintained 2A10BC rated ABC type fire extinguisher in each short-term rental unit.
2. Common bathroom facilities may be provided rather than private baths for each guestroom.
3. Residence kitchens shall not be refitted to meet health department requirements for food preparation. Only continental breakfast food service, with foods purchased from a licensed food seller and served “as is” or only warmed at the bed and breakfast residence and/or inn may be allowed. No cooking facilities shall be permitted in the individual guestrooms.
4. A common dining area may be provided but cannot be leased for social events.
5. No exterior signage shall be permitted except in accordance with the regulations of Article 10 for the district in which the facility is located.
6. Short-term rentals shall not be operated outdoors or in a recreational vehicle.
7. Parking shall be provided in accordance with Article 9, and shall be provided in side or rear yards and shall not be located in front yards.
8. Only one party of guests shall be permitted per Whole House Rental. A “party” shall mean one or more persons who as a single group rent a Whole House Rental pursuant to a single reservation and payment.

9. The owner/operator of the Short Term Rental: Bed & Breakfast Residence shall be present during the guest's stay.
10. The operator of the Short Term Rental: Bed & Breakfast Inn shall be present during the guest's stay.

**C. OPERATION**

1. Use of the short-term rentals for commercial or social events shall be prohibited.
2. The permit holder shall keep on file with the city the name, telephone number, cell phone number, and email address of a local contact person who shall be responsible for responding to questions or concerns regarding the operation of the short-term rental. This information shall be posted in a conspicuous location within the short-term rental dwelling. The local contact person shall be available twenty-four (24) hours a day to accept telephone calls and respond physically to the short-term rental within a reasonable time period, not to exceed three (3) hours when the short-term rental is rented and occupied.
3. All advertising for any short-term rental, including electronic advertising on short-term rental websites, shall include the number of the short-term rental permit granted to the permit holder.

**D. TAXES**

1. The permit holder shall timely remit all applicable local, state, and federal taxes and City fees owed in connection with the short-term rental.
2. The permit holder shall maintain records of all short-term rental activity, including number of guests, booking dates, rental income, and taxes remitted, for three years and shall be provided to the City upon request.

**E. CITYWIDE CAP FOR WHOLE HOUSE RENTALS**

1. The total number of short term rental permits for Whole House Rentals shall not exceed ten (10) at any time.
2. If no Whole House Rental permits are available pursuant to the limitation on Whole House Rentals, the interested property owner shall submit an application to the Planning Department, which will be placed on a waiting list in the order in which they were received. If a permit becomes available, applications shall be processed and reviewed in the order that they are listed on the waiting list.

**F. SHORT TERM RENTAL PERMIT APPLICATION**

1. If the property is subject to Special Use or Conditional Use approval pursuant to Article 4, approval shall be obtained prior to the submission of an application for short term rental permit.
2. An applicant for a short-term rental permit shall submit to the following requirements and documentation:
  - a. The name, address, phone number and email contact information of the applicant.
  - b. Attest to the following and furnish the necessary documentation upon request of the Planning Director:

- i. That the property has current, valid liability insurance of \$500,000.00 or more with proof that such coverage includes use as a short-term rental property;
  - ii. That each short-term rental has working smoke alarms in every bedroom, outside each sleeping area, and on all habitable floors. If the rental unit has either natural gas service, or a propane system for cooking or heating, the unit must also have working carbon monoxide alarms in each bedroom, outside each sleeping area, and on every habitable floor. Combination smoke/carbon monoxide alarms are acceptable. St. Tammany Parish Fire District 4 shall perform an inspection to confirm compliance.
  - iii. That each short-term rental has a properly maintained 2A10BC rated ABC type fire extinguisher in each short-term rental unit.
  - iv. That in each short-term rental there is a posting that provides the name, telephone number, cell phone number, and email address of a local contact person who shall be responsible for responding to questions or concerns regarding the operation of the short-term rental, as well as a floor plan indicating fire exits and escape routes. Posting shall be displayed in a prominent location within the unit;
  - v. That the property has no outstanding taxes or municipal code violation liens.
  - vi. That the property is not subject to any contractual restrictions precluding its use as a short-term rental, including but not limited to homeowner association agreements, condominium bylaws, or restrictive covenants;
  - vii. For Bed & Breakfast Residence: proof of residency via valid homestead exemption;
  - viii. For Bed & Breakfast Inn: proof of occupancy via title or deed or operator’s valid current lease;
  - ix. For Whole House Rental: proof of ownership via title or deed.
- c. A valid occupational license for the proposed use.
3. Any fraud, material misrepresentations, or false statements contained in the attestations, required documentation, or correlating application materials shall be grounds for immediate revocation of a short-term rental permit. Furthermore, all requirements herein shall be continuously maintained throughout the duration of the permit.

**G. SHORT TERM RENTAL PERMIT ISSUANCE**

- 1. Upon satisfactory submission of the required attestations and requested documentation herein, the Planning Director may issue a short-term rental permit. Said permit shall contain:
  - a. The address of the short-term rental;
  - b. The short term rental permit holder’s name;
  - c. The type of short term rental permit, permit number, and rental limitations, including bedroom limit and guest occupancy limit;
  - d. Contact information (name, cell phone and e-mail) for complaints by guests or neighbors, of a local contact person who shall be available twenty-four (24) hours a day to accept telephone calls and respond physically to the short-term rental within a

reasonable time period, not to exceed three (3) hours when the short-term rental is rented and occupied;

- e. Dates the short term rental permit is valid.
2. Any short term rental permit issued pursuant to this article is non-transferable.
  3. All short term rental permits issued pursuant to this article shall be valid for one year from the date of issuance, and shall be reapplied for and renewed annually between January 1<sup>st</sup> and March 31<sup>st</sup> of each year.
  4. Short term rental permit renewals shall be obtained in a substantially similar form and manner as the initial short term rental permit, and shall also require:
    - a. A new attestation of all information as outlined in F.1.b.
    - b. An attestation that the applicant has not had a short-term rental permit revoked in the last twelve (12) months.

#### **H. SHORT TERM RENTAL PERMIT FEES**

1. Fees for the initial or new applicant thereof shall be as follows:
  - a. Bed and Breakfast Residence: \$250.00
  - b. Bed and Breakfast Inn: \$450.00
  - c. Whole House Rental: \$700.00
2. Fees for the renewal thereof shall be as follows:
  - a. Bed and Breakfast Residence: \$125.00
  - b. Bed and Breakfast Inn: \$225.00
  - c. Whole House Rental: \$350.00

#### **I. VIOLATIONS**

Any violation of this article and the correlating provisions in the Comprehensive Land Use Regulations Ordinance may subject a violator to any remedy, legal or equitable, available to the City. Violations include but are not limited to: advertisement or rental of a short-term rental without proper short term rental permitting, operation outside the scope of any of the applicable short-term rental regulations provided by law, failure to include the short term rental permit number or property address of a short-term rental unit in any advertisement and advertising a short-term rental outside the permitted scope of a short-term rental permit. The Planning Director may suspend, revoke or not renew any short term rental permit issued pursuant to this Article if the Planning Director determines that the permit holder has violated any provision of this Article, two (2) or more times. Remedies include but are not limited to: revocation of a short-term rental permit, daily fines, and property liens, as more fully provided in Section 1.9 of this code. Each day of violation shall be considered a separate offense. Nothing contained herein shall be construed to limit the legal remedies available to any other person for the correction of violations of this article and the correlating provisions in the Comprehensive Land Use Regulations Ordinance.

















**CASE SUMMARY SHEET****CASE NUMBER: SUP23-03-03/V23-03-09****DATE RECEIVED: January 27, 2023****DATE OF MEETING: March 14, 2023 and March 28, 2023****Address: 1200 West Causeway Approach, Suite 19****Subdivision: Royal Acres, Section 42 Lot B4****Zoning District: B-2 Highway Business District****Property Owner: Richards Collection Realty, LLC****PREVIOUS CASES: V21-09-27 – Outdoor Dining / B-2 Site Development Criteria  
V21-05-14 – Monument Sign****REQUEST: SUP23-03-03/V23-03-09 – CEL-ICE, LLC requests Special Use Approval for Outdoor Dining per CLURO Section 8.2.3.1 Outdoor Dining & a Variance to CLURO Section 9.1.4. Minimum Off-Street Parking Requirements by Use, Section 42 Lot B4 Royal Acres, B-2 Highway Business District, 1200 West Causeway Approach Suite 19****CASE SUMMARY:**

The applicant is requesting to locate a restaurant within 1200 West Causeway Approach Ste 19. The shopping center is bordered by Mandeville High Blvd on the north and west side, West Causeway Approach on the east side, and West Point Office Park to the south. Suite 19 is located within the southern building.

The applicant is requesting Special Use approval for 6.8.6 Accessory Outdoor Dining – On-site in the B-2 District. The outdoor dining space is proposed to be located within the parking lot in front of the suite, according to the Site Plan prepared by Duplantis Design Group, dated 01.27.2023. The plan proposes to convert three parking spaces into outdoor seating. The outdoor seating area being proposed is a total of 180 sq ft.

**Parking:**

Shopping Center - Minor requires 4.5 spaces per 1,000 s.f. of gross floor area. The site is 47,067 sq. ft. which requires a total of 212 spaces. The existing site provides 205 spaces. Three spaces would be removed for the outdoor seating area, providing 202.

**CLURO SECTIONS:****6.4.70.2. Shopping Center - Minor**

A Shopping Center consisting of uses permitted within the district in which it is located and between 15,000 and 100,000 square feet of gross leasable area.

**6.8.6. Accessory Use – Outdoor Dining**

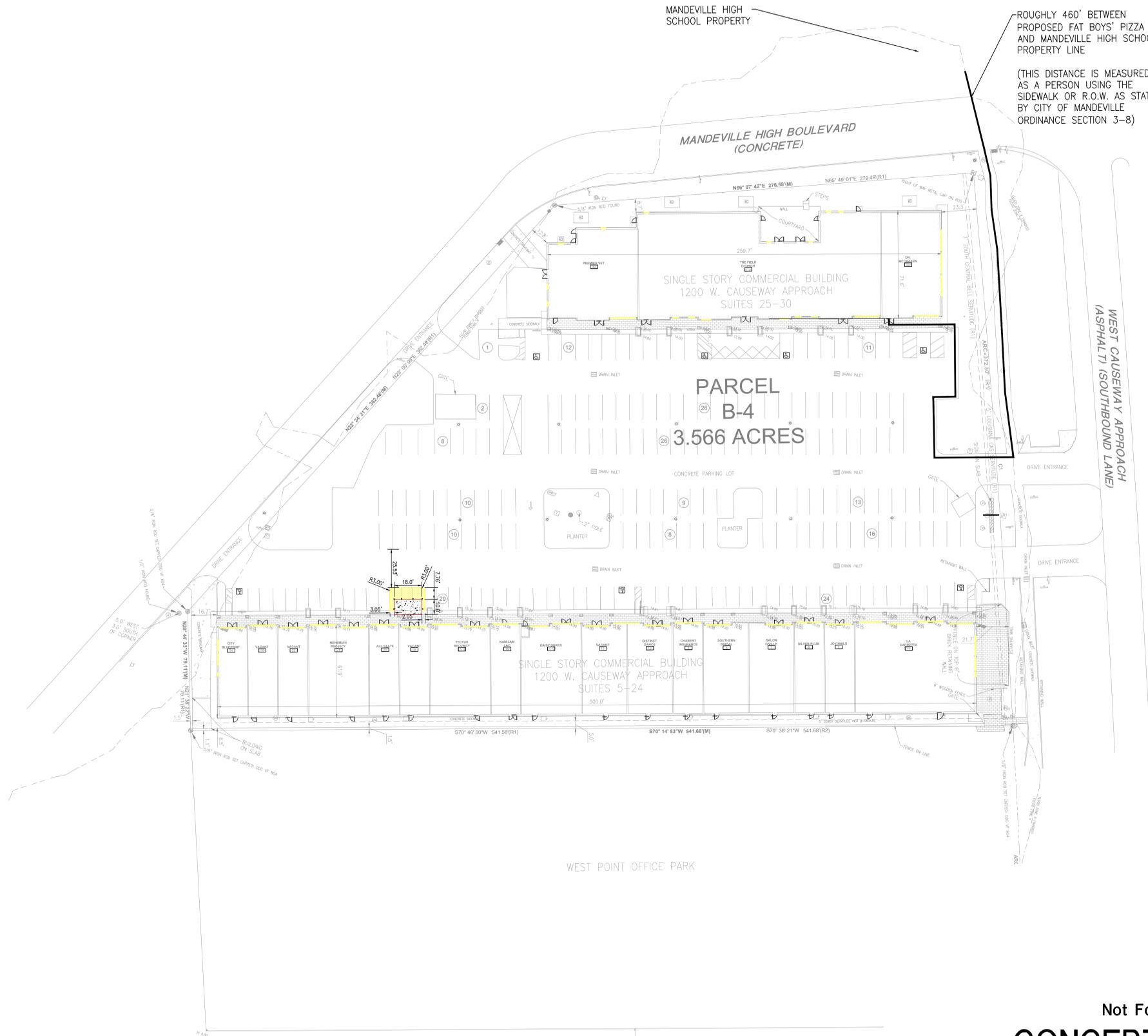
Outdoor seating and tables for a restaurant that is otherwise allowed within the applicable zoning district and complies with applicable district regulations.

**8.2.3.1. Outdoor Dining**

Outdoor dining may be authorized subject to the conditions and procedures established in this section and any additional zoning district standards.

1. Outdoor dining behind the front building setback may be allowed pursuant to approval of a Special Use Permit in the B-1, B-2, B-3 and B-4 zoning districts provided that:
  - a. Outdoor dining seating and operations shall not obstruct sidewalks, building entries or driveways; and
  - b. Outdoor dining shall not be located within the sight triangle designated for intersection and driveway visibility as established in section 8.1.1.8 of this CLURO.
2. Outdoor dining may be allowed in required front setback areas within the B-3 zoning district subject to issuance of a Special Use Permit and compliance with the criteria in paragraph 1 and the B-3 district standards established in section 7.5.10.5 of this CLURO.
3. Outdoor dining may be allowed within the public right-of-way subject to approval of a Conditional Use Permit that satisfies the criteria established in paragraphs 1 and 2 of this section, section 4.3.3.8 and the following criteria:
  - a. Seating areas shall be located to minimize the risks from traffic on abutting streets through the use of on-street parking, plantings, planter boxes or other barriers between traffic lanes and seating areas;
  - b. Operator enters into a cooperative endeavor agreement with the City that recognizes the true value of the right-of-way and adequately addresses indemnification of the City and the City's minimum insurance requirements.





LEGEND

[Symbol]	POWER JUNCTION BOX	[Symbol]	APARTMENT PROPERTY LINE
[Symbol]	POWER TRANSFORMER	[Symbol]	EXISTING EDGE OF ASPHALT
[Symbol]	EXISTING ROADWAY	[Symbol]	EXISTING ROADWAY
[Symbol]	EXISTING CONCRETE DRIVE	[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING FLOOD ZONE	[Symbol]	EXISTING ROAD STRIPING
[Symbol]	EXISTING ROOF OVERHANG	[Symbol]	EXISTING SIDEWALK
[Symbol]	ADJACENT PROPERTY LINE	[Symbol]	FENCE LINE
[Symbol]	EXISTING PARKING SPACES	[Symbol]	

**AREA ANALYSIS**

PARCEL B-4	3.566 +/- ACRES
------------	-----------------

**SITE ANALYSIS**

BUILDING	47067
PARKING REQUIRED	212 SPACES
EXISTING PARKING	205 SPACES

\* 6.4.70.2 SHOPPING CENTER - MINOR 4.5 SPACES PER 1,000 S.F. OF GROSS FLOOR AREA  
 6.4.70.2 SHOPPING CENTER - MINOR A SHOPPING CENTER CONSISTING OF USES PERMITTED WITHIN THE DISTRICT IN WHICH IT IS LOCATED AND BETWEEN 15,000 AND 100,000 SQUARE FEET OF GROSS LEASABLE AREA.

REVISION	BY

16564 E. Browster Road,  
 Suite 101  
 Covington, LA 70433  
 Office: 985.249.6180  
 Fax: 985.249.6180  
 www.ddgpc.com

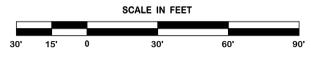


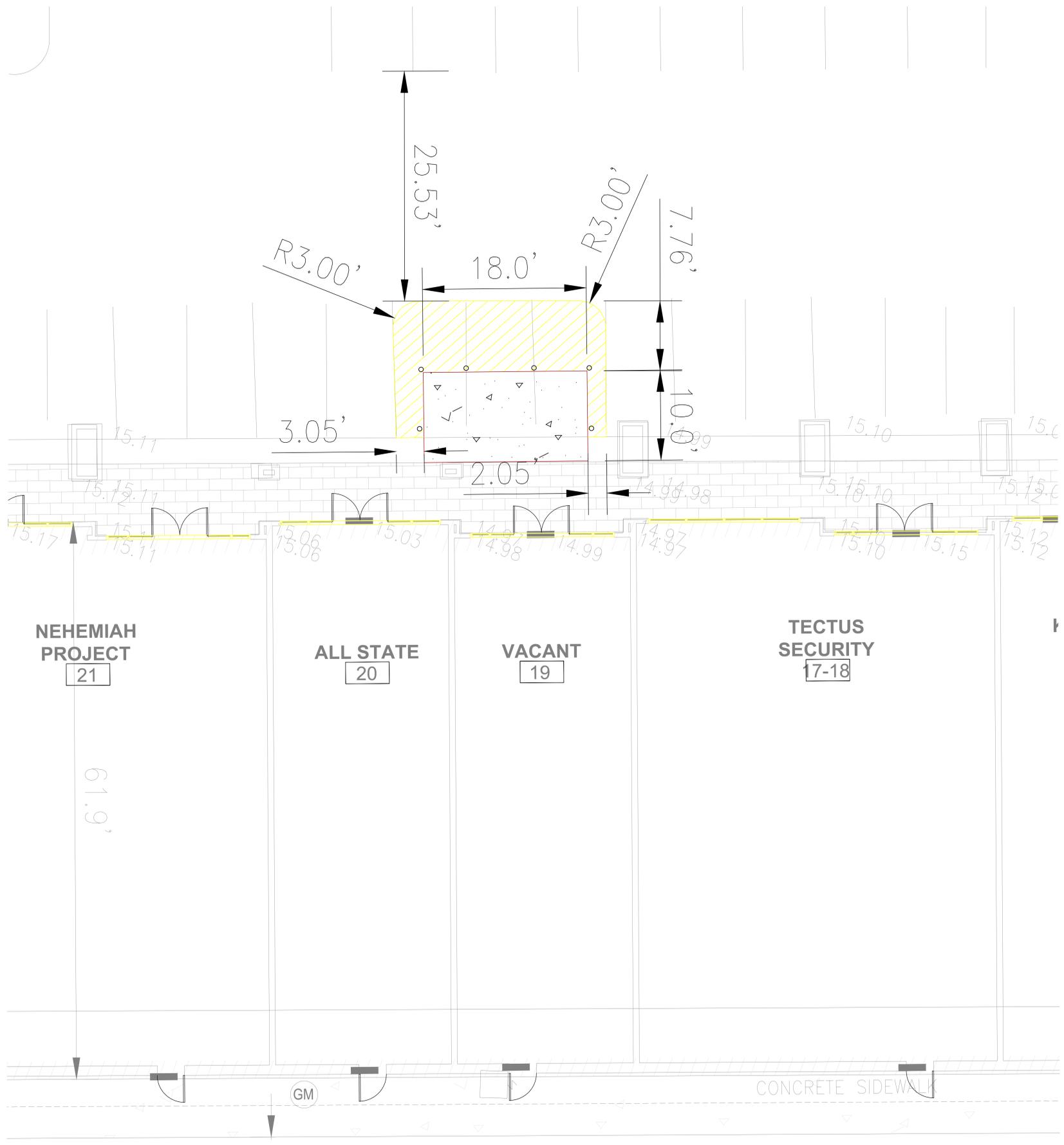
PROGRESS SET - FOR REVIEW ONLY  
 Issued 01-27-2023  
 These documents are for Design Review and not intended for Construction, Bidding, or as the basis for the issuance of a Permit. They were prepared by, or under the supervision of, Scott M. Doherty, P.E., JAL021, Registered Professional Engineer, Mechanical, Duplantis Design Group, LLC.

CAUSEWAY APPROACH SHOPPING CENTER  
 MANDEVILLE, LOUISIANA  
 ST. TAMMANY PARISH  
 FOR RICHARDS COLLECTION REALTY, LLC  
 COVINGTON, LOUISIANA

DRAWN	N.L.
CHECKED	DAL
ISSUED DATE	3-3-2021
ISSUED FOR REVIEW	
PROJECT NO.	20-878
FILE	20-878 P-2
SHEET	P-2.1

Not For Construction  
**CONCEPTUAL EXHIBIT**  
**SPACING BETWEEN FAT BOY'S PIZZA**  
**AND MANDEVILLE HIGH SCHOOL**





LEGEND

[Symbol]	POWER JUNCTION BOX	[Symbol]	APPARENT PROPERTY LINE
[Symbol]	POWER TRANSFORMER	[Symbol]	EXISTING EDGE OF ASPHALT
[Symbol]	FLAG POLE	[Symbol]	EXISTING ROADWAY
[Symbol]	GAS METER	[Symbol]	EXISTING CONCRETE DRIVE
[Symbol]	LIGHTPOLE	[Symbol]	EXISTING BUILDING
[Symbol]	TELEPHONE PEDESTAL	[Symbol]	EXISTING FLOOD ZONE
[Symbol]	POWER DROP	[Symbol]	EXISTING ROAD STRIPING
[Symbol]	SEWER CLEANOUT	[Symbol]	EXISTING ROOF OVERHANG
[Symbol]	SEWER MANHOLE	[Symbol]	EXISTING SIDEWALK
[Symbol]	DRAIN MANHOLE	[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	WATER VALVE	[Symbol]	FENCE LINE
[Symbol]	WATER METER	[Symbol]	EXISTING PARKING SPACES
[Symbol]	FIRE HYDRANT	[Symbol]	
[Symbol]	HANDICAP PARKING SPOT	[Symbol]	
[Symbol]	SOIL	[Symbol]	
[Symbol]	AIR CONDITIONER	[Symbol]	
[Symbol]	BRICK WALK	[Symbol]	

**AREA ANALYSIS**  
 PARCEL B-4      3.566 +/- ACRES

REVISION	BY

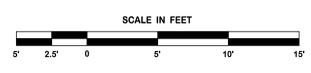
16564 E Browster Road,  
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 Duplantis Design Group, LLC

CAUSEWAY APPROACH SHOPPING CENTER  
 MANDEVILLE, LOUISIANA  
 ST. TAMMANY PARISH  
 FOR RICHARDS COLLECTION REALTY, LLC  
 COVINGTON, LOUISIANA

Not For Construction  
**CONCEPTUAL EXHIBIT**  
**SPACING BETWEEN FAT BOY'S PIZZA**  
**AND MANDEVILLE HIGH SCHOOL**

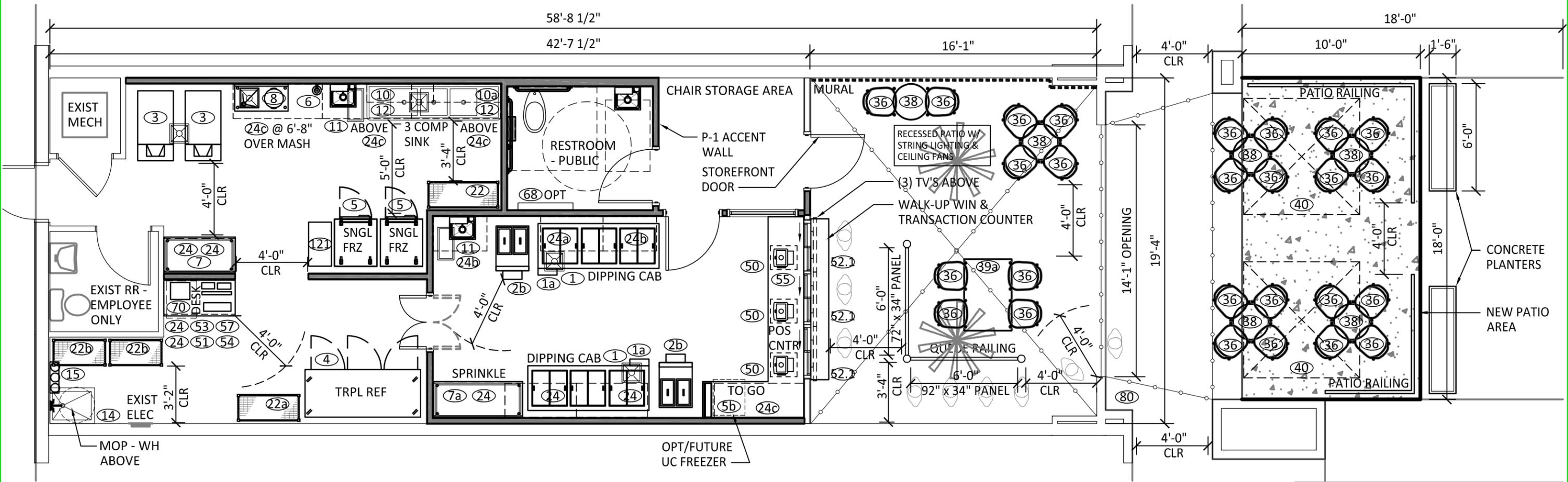


DRAWN	NLR
CHECKED	DAL
ISSUED DATE	3-3-2021
ISSUED FOR REVIEW	
PROJECT NO.	20-878
FILE	20-878 P-2
SHEET	P-2.2

Z:\2020\20-878\Civil\CAU\20-878 P-2.dwg

NOTES:

- 1200 SQ. FT. INLINE
  - 868 SQ FT CONDITIONED AREA
  - 332 SQ FT RECESSED PATIO AREA
- 10 RECESSED PATIO SEATS SHOWN
- 16 EXTERIOR SEATS SHOWN.
  - 4 TABLES / 16 SEATS REQUIRED
- RESTROOM(S) ARE REQUIRED TO HAVE 1 PER CODE (PUBLIC)
  - EXIST RESTROOM TO REMAIN AS ADDITIONAL (EMPLOYEE ONLY)
- INT FINISHES ARE DETERMINED BY GUIDE & EXIST CONDITIONS.
- NO DRIVE THRU SHOWN.
- WALK-UP WINDOWS SHOWN.



**1** NOTED AND EQUIPMENT PLAN  
 3/16" = 1'-0"

**APPROVED**  
 01/25/2023  
 J. Yagelski - Ivy Helix Inc.

**MANDEVILLE, LA**  
 PP #2 REV - 01/25/2023





1 RENDERING  
NTS



2 BEFORE  
NTS

**MANDEVILLE, LA**

01/25/2023





1 RENDERING  
NTS



2 BEFORE  
NTS

**MANDEVILLE, LA**

01/17/2023



## CASE SUMMARY SHEET

**CASE NUMBER: V23-03-10****DATE RECEIVED: February 15, 2023****DATE OF MEETING: March 14, 2023 and March 28, 2023****Address: 2635 Jefferson****Subdivision: Old Town of Mandeville, Square 88 Rear Portion of Lots 38 and 39****Zoning District: R-1 Single Family Residential****Property Owner: Wade Hickman Jr**

**REQUEST: V23-03-10 – Wade Hickman Jr requests a variance to CLURO Section 7.5.1.3. R-1 Site Development Regulations, Square 88 Rear Portion of Lots 38 and 39, R-1 Single Family Residential District, 2635 Jefferson**

**CASE SUMMARY:**

The property is located on the north side of Jefferson St., east of Carondelet St., and west of Wilkinson St. The property measures 70'x100' totaling 7,000 sq. ft. The property is improved with a single-family residence. The residence was constructed between 1930-40 and is listed as contributing on the Historic District Survey.

A permit has been applied for the elevation of the structure; the Historic District Commission has approved the elevation. The elevation requires new stairs to be constructed. The new stairs will encroach into the front yard setback to the front property line. The stairs and landing will be at the property line for a length of 15'.

The applicant is also requesting to build a new rear deck that will be elevated to the new height. The deck will be 17' from the rear property line, 13' deficient from the R-1 Rear setback requirements. The deck is proposed to be in line with the existing house. The deck will encroach into the side yard setback. The lot has a frontage of 70', requiring a 12' side setback or 8.4' and 15.6' allowing for the 30% flex. The existing house is approximately 7'6" from the property, and is on the property line for a length of 12' on the east side. The house is setback 27' from the west side property line.

**CLURO SECTIONS:****7.5.1.3. R-1 Site Development Regulations**

1. Minimum lot area	10,800 Square feet (except for legal non-conforming lots as provided)
2. Minimum building area (Square feet per unit)	1,200 Square feet
3. Minimum lot width	90'
4. Minimum lot depth	120'
5. Minimum Yard Setback Requirements	
a. Front yard	25'
b. Interior side yard*	
i. Frontage up to 50'	8' each side
ii. Frontage between 51' – 60'	10' each side
iii. Frontage between 61' – 75'	12' each side
iv. Frontage between 76' – 80'	13' each side
v. Frontage between 81' – 90'	15' each side
vi. Frontage between 91' – 100'	16' each side
vii. Frontage between 101' – 110'	18' each side
viii. Frontage between 111' +'	20' each side
c. Street side yard	15'
d. Rear yard	30'
6. Maximum Height of Structures	35'
7. Maximum Impervious Site Coverage	45%

\*The side yard setbacks of the site may be shifted into the opposite yard up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.



**GENERAL NOTES**

1. All pages contained herein are scaled for print on 11x17 paper (tabloid).
2. Contractor shall verify all dimensions and conditions shown on drawings at the job site and notify designer of any discrepancies, omissions, and/or conflicts before proceeding with the job.
3. Contractor shall comply with the rules and regulations of all agencies having jurisdiction and shall conform to all applicable city, county, state and federal laws, codes, statutes and ordinances.
4. All work shall be erected and installed plumb, level, square, true and in proper alignment.
5. All materials shall be new, unused and of the highest quality in every respect unless otherwise noted. Manufactured materials and equipment shall be installed per manufacturer's recommendations and instructions.
6. There shall be no substitution of materials where a manufacturer is specified. Where the terms "equal to" or "approved equal" are used, the designer shall determine equivalence based on information submitted by the contractor.
7. Contractors shall be responsible for distribution of all drawings for scope of work under his authority and control.
8. All work and materials shall be guaranteed against defects for a period of at least one (1) year from final purchase payment.
9. Contractor shall be responsible for any cutting and patching required for his work.
10. Upon completion of work, the contractor shall submit to walk through inspections with property owner and/or construction manager to compile a list of corrections and unsatisfactory and/or incomplete work. Final payment will be contingent on completion of these items.

**CONCRETE WORK**

1. Concrete cast in place shall have a minimum 28-day compressive strength of 4000 psi, maximum W/C ratio of 0.40, maximum slump of 5 inches, and normal weight of 145 pcf.
2. Welded wire fabric shall be electrically-welded wire fabric of cold drawn wire conforming to ASTM A185.
3. Anchor bolt material shall conform to ASTM A307 or ASTM A36, with a minimum embedment of 8 inches and a maximum embedment of 12 inches. Alternatively, epoxy anchor bolts may be installed using HAS-R anchor rods and HIS-RN internally threaded inserts set with Hilti HYU Capsule Adhesive.
4. Concrete cast against and permanently exposed to earth shall cover reinforcing bars a minimum of 3 inches at exposed surfaces.
5. Concrete reinforcing bars shall be deformed bars of Grade 60 steel conforming to ASTM A615, with deformations conforming to ASTM A305. Lap splices and embedment lengths for reinforcing steel shall be in accordance with ACI "Manual of Standard Practice, Details and Detailing of Concrete Reinforcement", ACI 318, 315, and in accordance with CRSI standards. Subject to the approval of the engineer, bars may be shifted slightly or bent in the field where necessary to accommodate openings, pipes, embedded items and other obstructions. Minimum lengths (inches) for contact lap splices applicable to construction detailed herein:

Location	Bar Size		
	#4	#5	#6
Top	25	31	37
Other	19	24	29

**DIRT WORK / SITE PREPARATION**

1. All secondary and ground-level vegetation shall be removed along with loose, unconsolidated, and organic-rich topsoils. Engineer shall be consulted if such soils are found at a depth of more than 20 inches below grade elevation.
2. Removed soil shall be backfilled with select structural fill with a maximum liquid limit of 40 and a plasticity index between 10 and 20. Foundation backfill shall be free of trash, lumps, humus, wood debris and any other deleterious material. Fill shall be placed in uniform layers not exceeding 8-inch loose thickness and dry compacted with bulldozer, specialized tamping implements or equivalent to 95% of maximum dry density per ASTM D698.
3. All excavated areas shall be kept free of standing water during foundation work. Fill placement and site grading shall be sufficient to ensure water shed away from the foundation and to prevent ponding.



**FRAMING LUMBER**

1. All wood framing, fabrication, connections and erection shall conform to the National Design Specification for Wood Construction by the American Forest and Paper Association, the Plywood Design Specification by American Plywood Association, Wood Frame Construction Manual for One and Two Family Dwellings by the American Forest and Paper Association, and the latest edition of the International Building Code.
2. Joists which frame into supporting beams at the same elevation shall be connected with LUS joist hangers manufactured by Simpson Strong-Tie Co., Inc. or an approved equal. Hangers and connectors shall be sized for the member supported, with fastening per manufacturer's recommendations.
3. Unless otherwise noted, all lumber permanently exposed to weather shall be pressure treated with copper zole-type B (CA-B) in accordance with current American Wood Protection Association (AWPA) Standard P5 and Section U1 for retention of preservative. All hardware in contact with treated lumber shall be hot-dip galvanized conforming to ASTM A653, Class G185 with a minimum of 1.85 oz of zinc coating per square foot. All fasteners shall be hot-dip galvanized conforming to ASTM A153.
4. Framing lumber shall be Southern Yellow Pine, S4S, No.2 kiln dried with a maximum moisture content of 19%.
5. Floor framing to include bridging of all floor joists at 8' O/C or as recommended by manufacturer.
6. Plywood and OSB flooring to be APA rated 24/16, 3/4" nominal thickness, fastened to joists with 8D nails spaced 6" O/C at panel edges and 12" O/C at intermediate supports.
7. Plywood and OSB roofing to be APA rated 32/16, 7/16" nominal thickness, fastened to rafters with 8D nails spaced 6" O/C at panel edges and 12" O/C at intermediate supports.
8. Plywood and OSB wall sheathing to be APA rated 24/16, 7/16" nominal thickness, fastened to wall studs with 8D nails spaced 6" O/C at panel edges and 12" O/C at intermediate supports. Provide solid blocking at all panel edges.

**STRUCTURAL STEEL**

1. All structural steel shall conform to the Allowable Stress Design (ASD) "Manual of Steel Construction" of the AISC (Ninth Edition).
2. Where continuous members are specified, the steel fabricator shall submit a bolted connection detail of proposed splicing for review and approval prior to fabricating.
3. Holes in steel shall be drilled or punched prior to loading the member. All slotted holes shall be provided with smooth edges. Burning of holes and torch cutting of members at the site is not permitted without prior approval.
4. Protective coatings damaged during transport, erection and any necessary field welding of members shall be repaired to match the shop-applied coating(s).

**DESIGN NOTES**

1. Louisiana State Uniform Construction Code, (1/1/2020)
2. International Residential Code (2015)
3. New construction designed for 130 mph wind speed (3 sec. gust), Exposure B in accordance with the provisions of ASCE 7-16.

**LOADING BASIS OF DESIGN [psf]**

Space	Live	Dead
Roof	20	15
Floor	40	10

**DRAWING INDEX**

- P-1 Project Cover / Notes / Index
- P-2 Project Overview
- P-3 Front Elevations
- P-4 Rear Elevations
- P-5 Left Side Elevations
- P-6 Right Side Elevations
- P-7 Foundation Plan
- P-8 Foundation Details



Prepared for:  
Clesi Foundations  
by Homepage LLC  
(985) 784-0426  
joe@homepage.com  
All rights reserved.

REV	DATE	DESCRIPTION
0	1/5/2023	IFC
1	1/31/2023	1/25 telecon pickups
2	2/6/2023	2/2 design review pickups
3	2/9/2023	2/9 design review pickups

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Elevation of Residence  
2635 Jefferson Street  
Mandeville, LA 70448

**HOMEPAGE LLC**  
PO Box 987  
Mandeville, LA 70470

DATE:

2/9/2023

SCALE:

SHEET:

P-1



Project Overview

**NOTES**

1. The property boundaries as shown were digitally excerpted from the St. Tammany Parish Assessor's Office geographic information system (GIS) at [https://atlas.geoportalmaps.com/st\\_tammany](https://atlas.geoportalmaps.com/st_tammany).
2. The existing residence will be raised vertically approximately 8 feet. The existing patio deck will be replaced as shown.

Prepared for:  
Clesi Foundations  
by Homepage LLC  
(985) 784-0426  
joe@homepage.com  
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REV	DATE	DESCRIPTION
0	1/5/2023	IFC
1	1/31/2023	1/25 telecon pickups
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Elevation of Residence  
2635 Jefferson Street  
Mandeville, LA 70448

**HOMEPAGE**  
LLC  
PO Box 987  
Mandeville, LA 70470



DATE:	2/9/2023
SCALE:	1 in = 16 ft
SHEET:	P-2



Front Elevations

Prepared for:  
Clesi Foundations  
by Homepage LLC  
(985) 784-0428  
joe@homepage.com  
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REV	DATE	DESCRIPTION
0	1/5/2023	IFC
1	1/31/2023	1/25 telecon pickups
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Elevation of Residence  
2635 Jefferson Street  
Mandeville, LA 70448

**HOMEPAGE**  
LLC  
PO Box 987  
Mandeville, LA 70470



DATE:	2/9/2023
SCALE:	1 in = 6 ft
SHEET:	P-3



Rear Elevations

Prepared for:  
Clesi Foundations  
by Homepage LLC  
(985) 784-0426  
joe@homepage.com  
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REV	DATE	DESCRIPTION
0	1/5/2023	IFC
1	1/31/2023	1/25 telecon pickups
2	2/6/2023	2/2 design review pickups
3	2/9/2023	2/9 design review pickups

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Elevation of Residence  
2635 Jefferson Street  
Mandeville, LA 70448

**HOMEPAGE**  
LLC  
PO Box 987  
Mandeville, LA 70470



DATE:	2/9/2023
SCALE:	1 in = 6 ft
SHEET:	P-4

REV	DATE	DESCRIPTION
0	1/5/2023	IFC
1	1/31/2023	1/25 telecon pickups
2	2/6/2023	2/2 design review pickups
3	2/9/2023	2/9 design review pickups

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Elevation of Residence  
2635 Jefferson Street  
Mandeville, LA 70448

**HOMEPAGE LLC**  
PO Box 987  
Mandeville, LA 70470

DATE:	2/9/2023
SCALE:	1 in = 6 ft
SHEET:	P-5



Left Side Elevations



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REV	DATE	DESCRIPTION
0	1/5/2023	IFC
1	1/31/2023	1/25 telecon pickups
2	2/6/2023	2/2 design review pickups
3	2/9/2023	2/9 design review pickups

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Elevation of Residence  
 2635 Jefferson Street  
 Mandeville, LA 70448

**HOMEPAGE**  
 LLC

PO Box 987  
 Mandeville, LA 70470

DATE:

2/9/2023

SCALE:

1 in = 6 ft

SHEET:

P-6



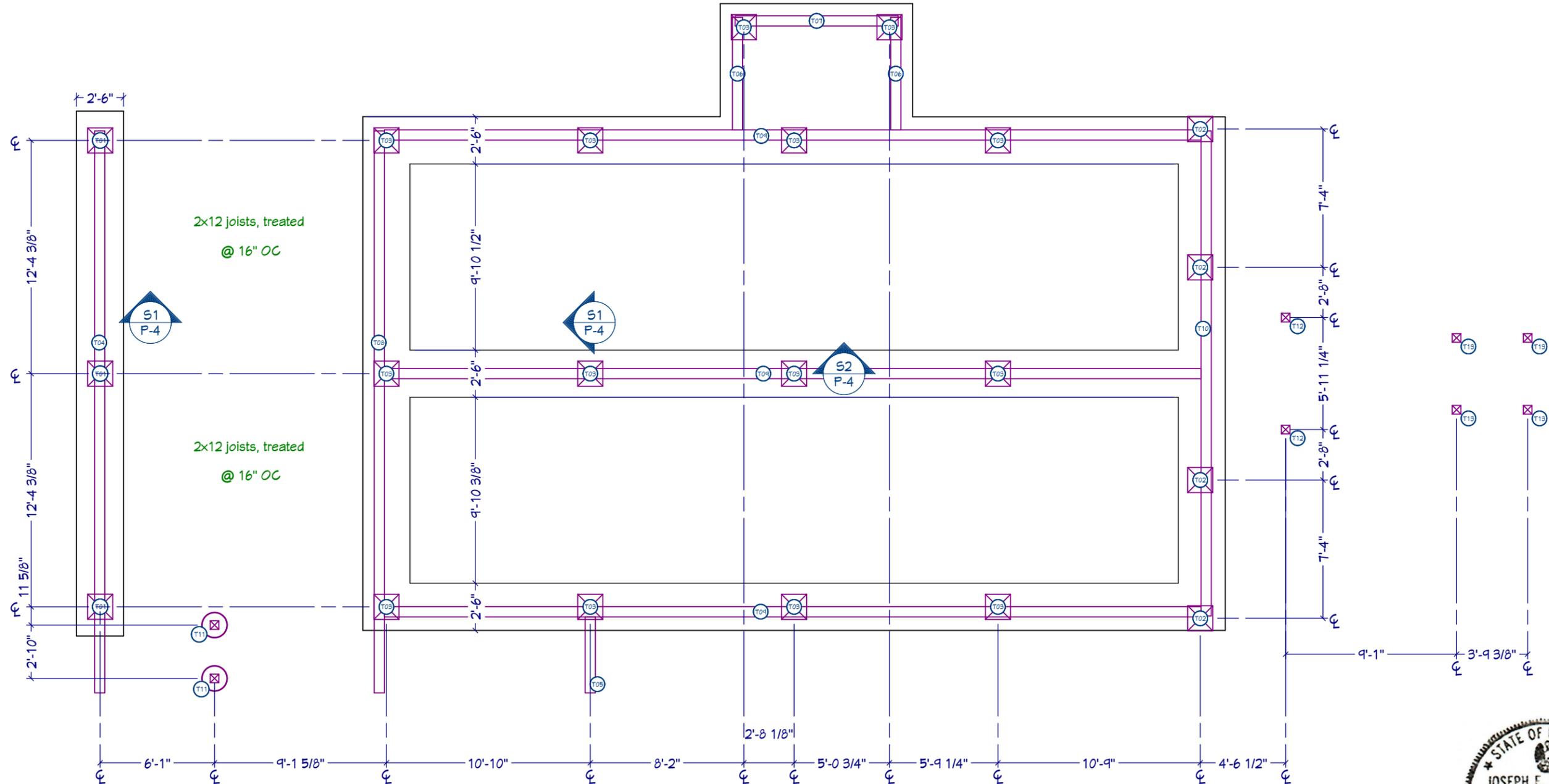
Right Side Elevations



FRAMING SCHEDULE								
#	QTY	NAME	TYPE	LENGTH	WIDTH	HEIGHT	TOP	BOTTOM
T01	3	CMU PIER, 16X16	SOLID CONCRETE	93 3/4"	16"	93 3/4"	-20 1/4"	-114"
T02	4	CMU PIER, 16X16	SOLID CONCRETE	99 7/8"	16"	99 7/8"	-14 1/8"	-114"
T03	14	CMU PIER, 16X16	SOLID CONCRETE	96 1/8"	16"	96 1/8"	-17 7/8"	-114"
T04	1	DECK BEAM, 8W24	STEEL-I	357 5/8"	6 1/2"	7 7/8"	-12 3/8"	-20 1/4"
T05	1	DECK BEAM, 8W24	STEEL-I	48 5/16"	6 1/2"	7 7/8"	-10"	-17 7/8"
T06	2	FLOOR BEAM, 8W24	STEEL-I	71 11/16"	6 1/2"	7 7/8"	-10"	-17 7/8"
T07	1	FLOOR BEAM, 8W24	STEEL-I	103 15/16"	6 1/2"	7 7/8"	-10"	-17 7/8"
T08	1	FLOOR BEAM, 8W24	STEEL-I	357 5/8"	6 1/2"	7 7/8"	-10"	-17 7/8"
T09	3	FLOOR BEAM, 8W24	STEEL-I	521"	6 1/2"	7 7/8"	-10"	-17 7/8"
T10	1	FLOOR BEAM, 8W24	STEEL-I	308 11/16"	6 1/2"	7 7/8"	-6 1/4"	-14 1/8"
T11	2	6X6 POST, TREATED	LUMBER	67 1/2"	5 1/2"	67 1/2"	-46 1/2"	-114"
T12	2	6X6 POST, TREATED	LUMBER	110 1/8"	5 1/2"	110 1/8"	-7 7/8"	-118"
T13	4	6X6 POST, TREATED	LUMBER	46"	5 1/2"	46"	-72"	-118"

**NOTES**

1. Minor adjustment of pier locations may be made after commencement of the work to accommodate existing floor beam (sill) bearings.
2. New 4-in concrete slabs to be poured inside footings and flush with top of footings. Fibre expansion joints (1/2 inch) by W.R. Meadows to be installed along footings prior to concrete placement. Welded wire fabric for concrete to be 6x12x0/1 held 2 inches above compacted fill using pedestals.
3. Cantilevered deck beam T05 to be welded to beam T09 with 1/4" fillet weld all around.
4. See page P-8 for pier and footing details.



Foundation Plan

REV	DATE	DESCRIPTION
0	1/5/2023	IFC
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Mandeville, LA 70448

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Mandeville, LA 70470



DATE:	2/9/2023
SCALE:	1 in = 6 ft
SHEET:	P-7

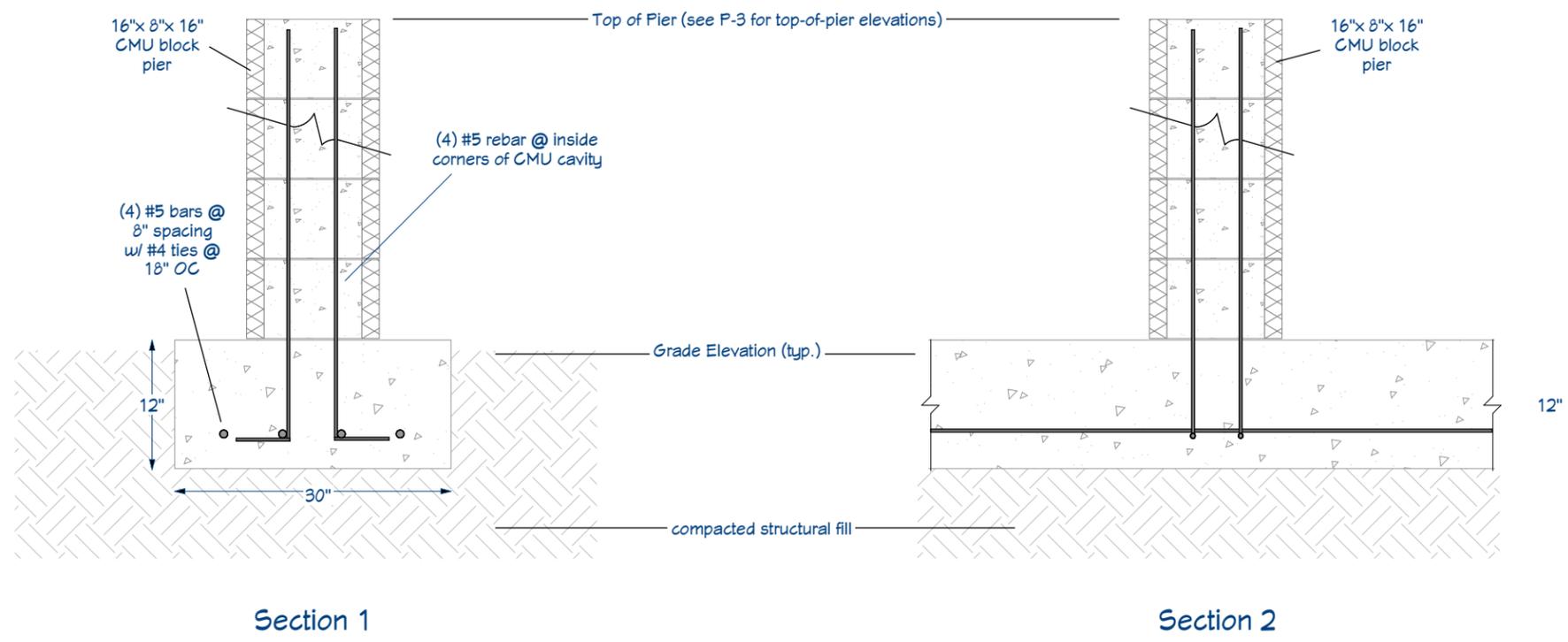
REV	DATE	DESCRIPTION
0	1/5/2023	IFC
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Elevation of Residence  
 2635 Jefferson Street  
 Mandeville, LA 70448

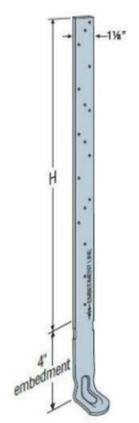
**HOMEPAGE**  
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DATE:	2/9/2023
SCALE:	
SHEET:	P-8

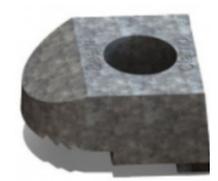


**NOTES**

1. Simpson HETA20 embedded truss anchors or approved equal to be installed at top of each perimeter pier for wood deck beam connections.
2. BeamClamp model BB flange anchors to be installed in pairs, one on each side of steel beams, to fasten beams to concrete-filled CMU piers. See Concrete Notes on P-1 for anchor bolt specifications.
3. Concrete reinforcing bars of footings to be spaced as noted and held in place 3 inches above compacted earth form with pedestals.
4. Piers at front of dwelling to have white stucco finish, or may be constructed of brick matching existing.



HETA20  
 Embedded Truss  
 Anchor



BeamClamp BB

**Foundation Details**

**CASE SUMMARY SHEET**

**CASE NUMBER: V23-03-11**

**DATE RECEIVED: February 17, 2023**

**DATE OF MEETING: March 14, 2023 and March 28, 2023**

**Address: 206 Marigny Avenue**

**Subdivision: Old Town of Mandeville, Square 9 Lots 4,5,6**

**Zoning District: R-1 Single Family Residential**

**Property Owner: Joe Sheffield**

**REQUEST: V23-03-11 – Joe Sheffield requests a variance to CLURO Section 9.2.5.2. Vegetation Protection Zones, Square 9 Lots 4,5,6, R-1 Single Family Residential District, 206 Marigny Avenue**

**CASE SUMMARY:**

The applicant owns the property at 206 Marigny Avenue located on the northwest corner of Marigny Avenue and Claiborne Street. The lot is an irregularly shaped lot measuring 150' along Marigny Avenue, 162.5' along Claiborne, 190' along the west side property line, then east for 29.3', south for 40', then east for another 133.6' containing 25,547 square feet. The property is currently unimproved. The applicants plan to construct a single-family residence. The plans have been approved by the Historic Preservation District Commission.

There are three live oaks on the property, two in the southeastern corner of the lot measuring 48" and 41" with the third located along the western property line measuring 32". There is an existing concrete drive that runs under the 32" live oak the applicants are requesting to connect to the proposed house with crushed gravel. The new gravel would be located inside the 82% dripline of the live oak and be approximately 145 sq ft.

The City Arborist met the applicants on site to discuss the requirements for installing the gravel drive as to not have an adverse impact on the Live Oak roots. The applicants have agreed to the arborist recommendations.

**CLURO SECTIONS:**

**9.2.5.2. Vegetation Protection Zones**

An area extending at least fifteen (15) feet in all directions from the trunk of any tree required or proposed to be preserved to meet the requirements of this or encompassing a minimum of two-thirds (2/3) of the entire canopy area of the tree, whichever is greater, shall be required to be maintained undisturbed under the provisions of this Article. This area is defined as the **Vegetation Protection Zone**. Exception: The Vegetation Protection Zone for live oaks will be a circle with a radius which is eighty-two (82) percent of the canopy of the tree, measured from the trunk to the drip line. A barrier shall be erected and maintained around this area at all times during construction. No soil deposits, construction materials, equipment, or other materials shall be temporarily or permanently stored in locations within or immediately adjacent to the Vegetation Protection Zone which would cause suffocation of root systems of trees required or proposed to be preserved. No paving with concrete, asphalt, or other impervious material shall be allowed within the Vegetation Protection Zone. No structure shall be placed or constructed at any time within the Vegetation Protection Zone.





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**INTER**  

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**MEMO****OFFICE**

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**To:** Cara Bartholomew  
**From:** Catherine Fuselier  
**Date:** March 9, 2023  
**Subject:** V23-03-11

The driveway encroachment in question is to be constructed of a pervious material that is labeled as limestone gravel. While the limestone drive is pervious and allows for water infiltration and minimal compaction there are five areas of concern and recommendations.

- 1) Most contractors will dig down to install a curbing to keep the gravel from spreading out from within the perimeter of the driveway. This can be corrected as simple as installing a landscape edging or by using a curbing that lies on top of the ground and anchored into the ground with a material such as rebar.
- 2) Normal practice of driveways is to compact the soil with red clay before laying the gravel. This step will need to be skipped completely and the gravel should be laid directly on top of the uncompacted soil.
- 3) As the existing driveway is also the access into the site the drivers of all heavy equipment, machinery, and vehicles will need to take extreme caution when driving under and around the live oaks to make sure they do not damage any of the branches or the root systems when entering or exiting the lot. A maximum

height clearance should be established based on the lowest limb to ensure that vehicles or equipment do not damage any of the limbs of the tree. While the driveway is feasible from a normal day to day access it could run into problems being the access drive during construction. If the homeowners/contractors take extreme caution while around this tree and follow a proper tree preservation plan it is possible for the driveway to work. If extreme caution is not taken then the trees could potentially be damaged by tall trucks accessing the site or the soil could be deeply compacted if proper tree protection fencing is not used.

- 4) The aggregate limestone driveway should be size #57. This sizing offers multiple aggregate sizing that are the least likely to compact. Aggregates of the same size can over time compact down and cause the same issues that a non-pervious material type can cause. The use of multiple aggregate sizing will help prevent this from happening and should be used.

Simplified Notes for Conditions:

1. Curbing shall be installed at grade and anchored into the ground with material such as rebar. No digging shall be done to install curbing.
2. Driveway materials shall be laid directly on top of the uncompacted soil. No digging or compacting of the soil shall be allowed under the canopy of the live oak.
3. A maximum height clearance should be established based on the lowest limb to ensure that vehicles or equipment do not damage any of the limbs of the tree.
4. The aggregate limestone driveway should be size #57 or a comparable product, to be approved by the Landscape Inspector.