

**CASE SUMMARY SHEET****CASE NUMBER: V23-02-03****DATE RECEIVED: January 12, 2023****DATE OF MEETING: February 14, 2023 and February 28, 2023****Address: 499 Devon Drive****Subdivision: Golden Glen, Sq. H Lot 99****Zoning District: R-1 Single Family Residential District****Property Owner: Juan Fonseca****REQUEST: V23-02-03 – Juan Fonseca requests a variance to CLURO Section 8.1.3. Supplemental Fence and Wall Regulations, Square H Lot 99A, R-1 Single Family Residential District, 499 Devon****CASE SUMMARY:**

The applicant owns the property located at 499 Devon Dr. The property is located on the northeast corner of Florida Extension and North Causeway Blvd. The property is irregular in shape, measuring 73.41' along Devon Dr., 180' along West Florida Extension, 104.83' along North Causeway Blvd, 100.91' along the north side of the lot, and 158.79' along the interior side containing approximately 22,279 sq ft according to the final plat of the Golden Glen subdivision, dated 12.19.1973. The property is improved with a single-family residence.

The applicant constructed a 7' privacy fence as a replacement for the subdivision fence which has fallen into disrepair. The existing subdivision fence is constructed of wood and measures 7'. The applicant's fence is parallel to the subdivision fence. The fence begins at the entrance stone columns at Devon Drive, runs along the Florida Extension, and continues along the rear property line stopping equal with the front façade of the house on the interior property line. The fence is constructed of metal and painted white.

**CLURO Sec. 8.1.3(d)** states that no fence wall exceeding four feet 4'0 in height shall be erected or constructed within a required side or rear yard fronting a street. The applicant is requesting an exception to the height and location a fence within the street side setback.

Fences are not typically permitted to be located along the street side property line unless they are setback 15' or are a maximum of 4' in height, an exception to this regulation is boundaries of a subdivision. When approving the subdivision the Planning Commission can approve the fencing along the boundary where the subdivision abuts hazardous condition. The lots located within Golden Glen Subdivision that are located along Florida Extension, N. Causeway and E. Causeway all have 7' fences along their property lines.

The fence is compliant with the required sight triangle per Sec. 8.1.1.8. Sight Triangles Required.

The applicant stated the fence provides privacy, security, acts as a sound barrier and will be more durable than the existing fence.

**CLURO SECTIONS:****8.1.3. Supplemental Fence and Wall Regulations**


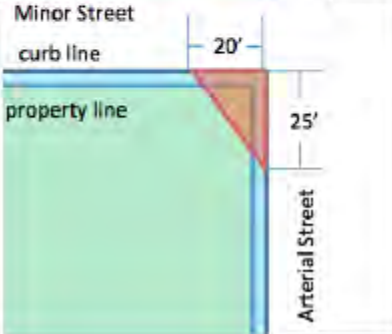
1. Fences in required setbacks.
  - a. Except as provided in paragraph 1.b of this section, no fence or wall shall exceed four (4) feet in height if located between the front of a structure and the front property line.
  - b. Decorative wrought iron fences may be allowed within required front setbacks and within required side and rear setbacks facing streets if they do not exceed five and one-half (5 ½) feet in height, supporting structure (columns) cannot exceed 6.5' in height and are no more than fifteen (15) percent opaque when measuring all fence components higher than two (20 feet above grade excluding support columns. Fence height shall be measured from average grade to the tallest component of the fence, excluding gates and lighting on the top of support columns that do not exceed seven and one-half (7 ½) feet in height. The Planning Director may approve the use of other materials that have a substantially similar appearance to wrought iron and are at least as durable.
  - c. Fences or walls located in the rear or side yards shall not exceed seven feet (7') in height.
  - d. No fence wall exceeding four feet (4'0) in height shall be erected or constructed within a required side or rear yard fronting a street, except as provided in paragraph 1.b of this section.
  - e. Any fence or wall located on a street intersection shall conform to sight triangle requirements.
2. Electrical fences in any form are prohibited.
3. Barb wire for fences shall be prohibited in all districts except B-2, B-4, M-1 or M-2 and when allowed shall only be used on fences in an area higher than six (6) feet above ground.
4. No fence or wall shall be constructed within a utility servitude without prior written approval of the affected utilities. Approval may be withheld by any utility upon its determination that the proper size or location of the fence or wall would adversely affect the operation, maintenance, or function of the servitude. Approval of the construction by a utility shall create no obligation to repair or replace a fence or wall damaged or removed by the utility in the course of its lawful use of the servitude.

**8.1.1.8. Sight Triangles Required**

Visibility of and between pedestrians, bicyclists, and motorists shall be assured at all intersections in accordance with this section.

- a. Measurement of Sight Triangles. The legs of sight triangles involving arterial streets shall be measured from the projected intersection of curb lines or edges of pavement.
- b. Sight Triangles to be Free From Visual Obstructions. Sight visibility triangles shall be maintained free of visual obstructions to between the height of three (3) and seven (7) feet above street grade. No building, fence, wall, hedge or other structure or planting more than three (3) feet in height other than posts, columns or trees separated by not less than six (6) feet from each other, shall be erected, placed or maintained these areas.
- c. Dimensions of Sight Triangles. Sight triangles shall be based on the dimensions shown in Table 8-1-1 unless the City Engineer or Public Works Director finds that greater sight distances are called for due to traffic speeds or other intersection characteristics at intersections involving arterials.

**Exhibit 8-1-1: Sight Triangle Design**

Intersection Type	Dimensions	Diagrams
Two Arterials	At least 25 feet along each arterial street	 <p>The diagram shows a T-junction where a horizontal Arterial Street meets a vertical Arterial Street. A red triangle is drawn at the intersection. The horizontal leg of the triangle is labeled '25'' and is measured from the 'Arterial Street curb line' to the 'property line'. The vertical leg is also labeled '25'' and is measured from the 'Arterial Street' to the 'property line'. The area between the property line and the curb line is shaded green.</p>
Arterial and Collector or Local Street	At least 25 feet along the arterial street and 20 feet along the local or collector (minor) street	 <p>The diagram shows a T-junction where a horizontal Minor Street meets a vertical Arterial Street. A red triangle is drawn at the intersection. The horizontal leg of the triangle is labeled '20'' and is measured from the 'Minor Street curb line' to the 'property line'. The vertical leg is labeled '25'' and is measured from the 'Arterial Street' to the 'property line'. The area between the property line and the curb line is shaded green.</p>

**13.2. SUBDIVISION LAYOUT DESIGN**

**13.2.1.5. Special Requirements**

1. Debris and Waste - No cut trees, timber, junk, rubbish or other waste materials of any kind shall be buried in any land, or left or deposited on any lot or street adjacent to a lot for which there is sought the issuance of a certificate of occupancy in the subdivision; nor shall any be left or deposited in any area of the subdivision at the time of expiration of the performance bond or dedication of public improvements, whichever is sooner.
2. Fencing Under Hazardous Conditions - Each subdivider and/or developer shall be required to furnish and install fences wherever the Planning Commission determines that a hazardous condition may exist. The fences shall be constructed according to the Mandeville Building Code. No certificate of occupancy shall be issued until said fence improvements have been duly installed or a performance bond covering such fencing has been submitted and accepted by the City Council in an amount recommended by the City Engineer or Public Works Director.



# ArcGIS Web Map



2/4/2023, 9:23:11 AM

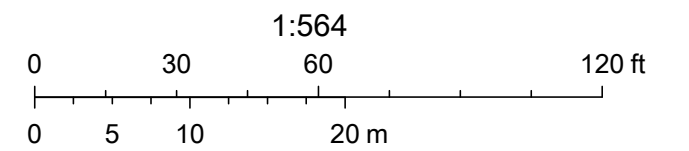
□ Lots

2021 Imagery

■ Red: Red

■ Green: Green

■ Blue: Blue



Data provided to DOTD by a commercial vendor.



WARNING  
BURIED  
FIBER OPTIC  
CABLE

GOLDEN GLEN

WARNING  
BURIED  
FIBER OPTIC  
CABLE  
Uniti  
Fiber  
IN  
EMERGENCY  
CALL  
1-877-652-2311  
811







491 Devon Dr



Google

(30°22'41"N 90°05'25"W) 20 ft







Warning  
No Digging  
Call 811  
Before Digging  
Call 811  
Before Digging  
Call 811  
Before Digging

OLDEN GLEN

WARNING  
NO DIGGING  
CALL 811  
BEFORE DIGGING  
CALL 811  
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EMERGENCY  
CALL 811  
BEFORE DIGGING





4043 W Florida St



Google



Google

(30°22'40"N 90°05'26"W) 21 ft





491 Devon Dr

(30°22'41"N 90°0

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## CASE SUMMARY SHEET

**CASE NUMBER: V23-02-04****DATE RECEIVED: January 18, 2023****DATE OF MEETING: February 14, 2023 and February 28, 2023****Address: 2640 Monroe St****Subdivision: Town of Mandeville, Sq. 87A Lot 15A****Zoning District: R-1 Single Family Residential District****Property Owner: Cayman Sinclair****REQUEST: V23-02-04 – Cayman Sinclair requests a variance to CLURO Section 8.1.3. Supplemental Fence and Wall Regulations, Square 87A Lot 15A, R-1 Single Family Residential District, 2640 Monroe****CASE SUMMARY:**

The applicant owns the property located at 2640 Monroe located on the south side of Monroe St., west of Wilkinson St., and east of Carondelet St. The property is a flag lot, measuring 260' along Monroe St., 204.17' along the eastern property line, 349.87' along the southern property line, 80' along Carondelet St., 90' along the north west property line, and 120' along the western property line containing approximately 58,450 sq ft according to a survey prepared by Randall Brown & Associates, Inc. and dated 7.29.2021. The property is improved with a single-family residence and is zoned R-1, Single Family Residential.

The applicant constructed a 6' privacy fence that runs along Monroe St. for 260'. The fence is constructed of wood.

**CLURO Sec. 8.1.3(a)** states that no fence or wall shall exceed four (4) feet in height if located between the front of a structure and the front property line. The applicant is requesting an exception to the height and location a fence within the front setback.

**CLURO SECTIONS:****8.1.3. Supplemental Fence and Wall Regulations**

1. Fences in required setbacks.
  - a. Except as provided in paragraph 1.b of this section, no fence or wall shall exceed four (4) feet in height if located between the front of a structure and the front property line.
  - b. Decorative wrought iron fences may be allowed within required front setbacks and within required side and rear setbacks facing streets if they do not exceed five and one-half (5 ½) feet in height, supporting structure (columns) cannot exceed 6.5' in height and are no more than fifteen (15) percent opaque when measuring all fence components higher than two (20 feet above grade excluding support columns. Fence height shall be measured from average grade to the tallest component of the fence, excluding gates and lighting on the top of support columns that do not exceed seven and one-half (7 ½) feet in height. The Planning Director may approve the use of other materials that have a substantially similar appearance to wrought iron and are at least as durable.
  - c. Fences or walls located in the rear or side yards shall not exceed seven feet (7') in height.
  - d. No fence wall exceeding four feet (4'0 in height shall be erected or constructed within a required side or rear yard fronting a street, except as provided in paragraph 1.b of this section.
  - e. Any fence or wall located on a street intersection shall conform to sight triangle requirements.
2. Electrical fences in any form are prohibited.
3. Barb wire for fences shall be prohibited in all districts except B-2, B-4, M-1 or M-2 and when allowed shall only be used on fences in an area higher than six (6) feet above ground.
4. No fence or wall shall be constructed within a utility servitude without prior written approval of the affected utilities. Approval may be withheld by any utility upon its determination that the proper size or location of the fence or wall would adversely affect the operation, maintenance, or function of the servitude. Approval of the construction by a utility shall create no obligation to repair or replace a fence or wall damaged or removed by the utility in the course of its lawful use of the servitude.















2640



2640

**CASE SUMMARY SHEET****CASE NUMBER: V23-02-05****DATE RECEIVED: January 18, 2023****DATE OF MEETING: February 14, 2023 and February 28, 2023****Address: 2646 Monroe Street****Subdivision: Old Town of Mandeville, Sq. 87A Lot 21A****Zoning District: R-1 Single Family Residential District****Property Owner: Cayman Sinclair****REQUEST: V23-02-05 – Cayman Sinclair requests a variance to CLURO Section 8.1.3. Supplemental Fence and Wall Regulations, Square 87A Lot 21A, R-1 Single Family Residential District, 2646 Monroe****CASE SUMMARY:**

The applicant owns the property located at 2646 Monroe located on the corner of Monroe St. and Carondelet St. The property measures 90'x120' containing 10,800 sq ft according to a survey prepared by Surveys Incorporated. The property is improved with a single-family residence and is zoned R-1, Single Family Residential.

The applicant constructed a 4' fence running along Monroe St. The fence along Monroe St, is currently compliant, however the applicant would like to construct a 6' fence for 40' from the neighboring property. The fence along Carondelet St. is compliant for 44' from the corner of Monroe St. running south. A 6' fence has been constructed for 75' along Carondelet St. The fence is constructed of wood.

CLURO Section 8.1.3(a) states that no fence or wall shall exceed four (4) feet in height if located between the front of a structure and the front property line and Section 8.1.3(e) states that any fence or wall located on a street intersection shall conform to sight triangle requirements. The fence is compliant with the sight triangle regulations. The applicant is requesting an exception to the height and location a fence within the street side setback.

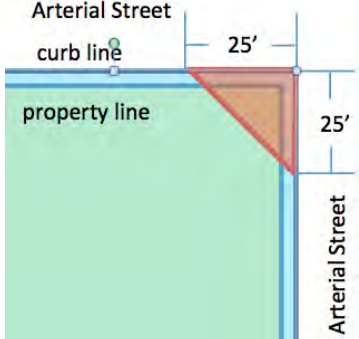
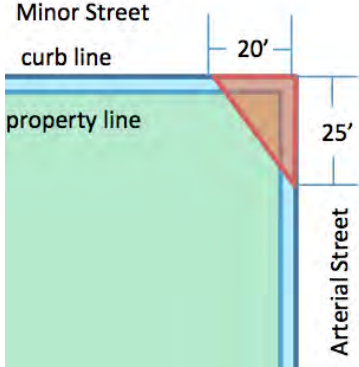
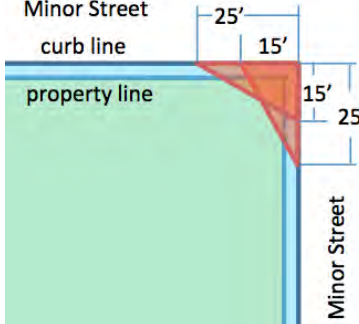
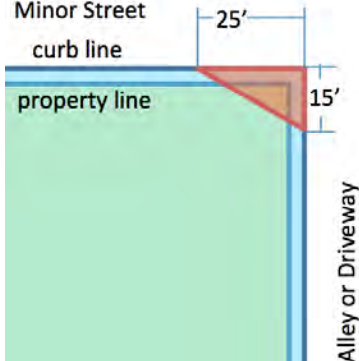
**CLURO SECTIONS:****8.1.3. Supplemental Fence and Wall Regulations**

1. Fences in required setbacks.
  - a. Except as provided in paragraph 1.b of this section, no fence or wall shall exceed four (4) feet in height if located between the front of a structure and the front property line.
  - b. Decorative wrought iron fences may be allowed within required front setbacks and within required side and rear setbacks facing streets if they do not exceed five and one-half (5 ½) feet in height, supporting structure (columns) cannot exceed 6.5' in height and are no more than fifteen (15) percent opaque when measuring all fence components higher than two (20 feet above grade excluding support columns. Fence height shall be measured from average grade to the tallest component of the fence, excluding gates and lighting on the top of support columns that do not exceed seven and one-half (7 ½) feet in height. The Planning Director may approve the use of other materials that have a substantially similar appearance to wrought iron and are at least as durable.
  - c. Fences or walls located in the rear or side yards shall not exceed seven feet (7') in height.
  - d. No fence wall exceeding four feet (4'0 in height shall be erected or constructed within a required side or rear yard fronting a street, except as provided in paragraph 1.b of this section.
  - e. Any fence or wall located on a street intersection shall conform to sight triangle requirements.
2. Electrical fences in any form are prohibited.
3. Barb wire for fences shall be prohibited in all districts except B-2, B-4, M-1 or M-2 and when allowed shall only be used on fences in an area higher than six (6) feet above ground.
4. No fence or wall shall be constructed within a utility servitude without prior written approval of the affected utilities. Approval may be withheld by any utility upon its determination that the proper size or location of the fence or wall would adversely affect the operation, maintenance, or function of the servitude. Approval of the construction by a utility shall create no obligation to repair or replace a fence or wall damaged or removed by the utility in the course of its lawful use of the servitude.

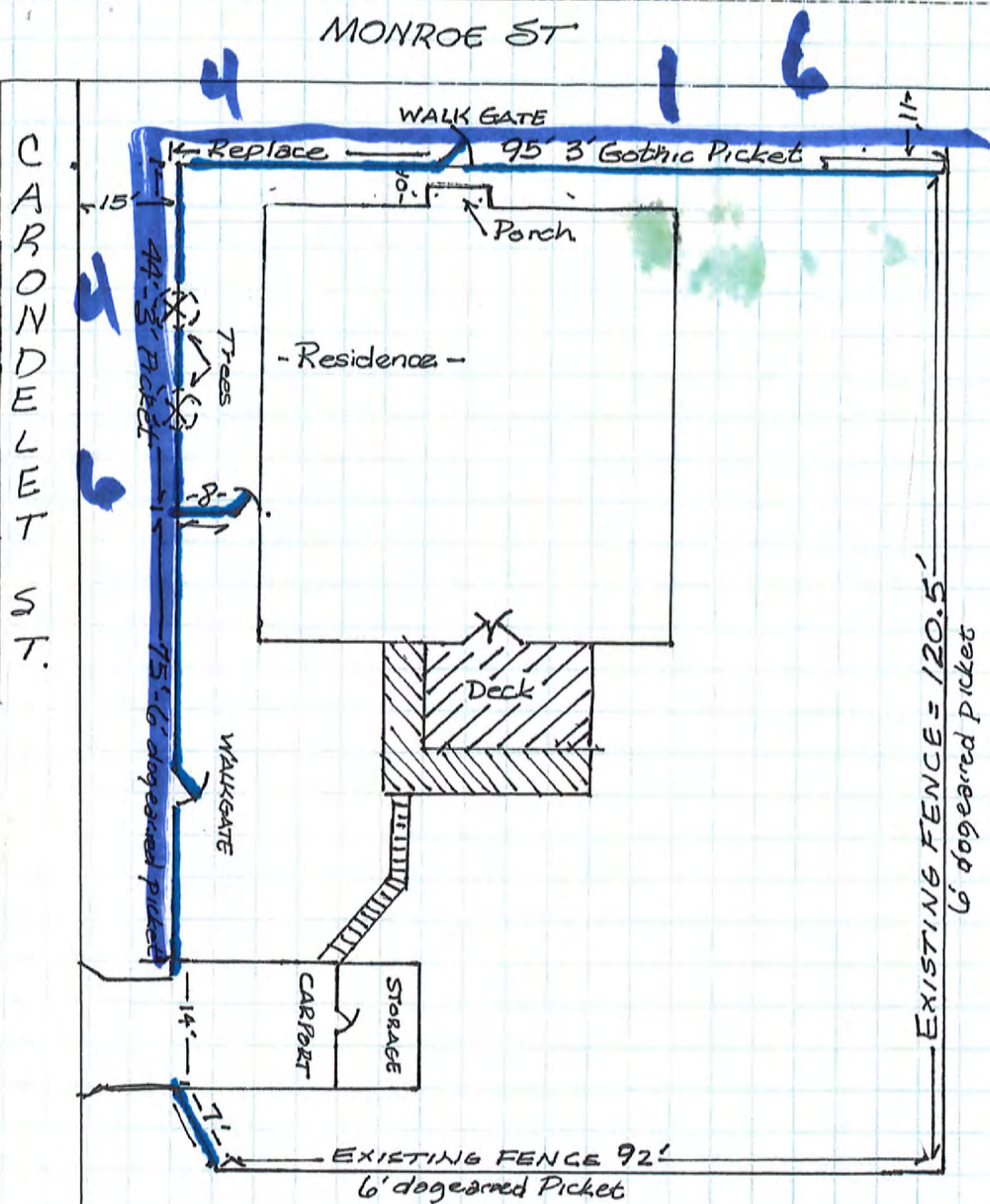
**8.1.1.8. Sight Triangles Required**

Visibility of and between pedestrians, bicyclists, and motorists shall be assured at all intersections in accordance with this section.

- a. Measurement of Sight Triangles. The legs of sight triangles involving arterial streets shall be measured from the projected intersection of curb lines or edges of pavement.
- b. Sight Triangles to be Free From Visual Obstructions. Sight visibility triangles shall be maintained free of visual obstructions to between the height of three (3) and seven (7) feet above street grade. No building, fence, wall, hedge or other structure or planting more than three (3) feet in height other than posts, columns or trees separated by not less than six (6) feet from each other, shall be erected, placed or maintained these areas.
- c. Dimensions of Sight Triangles. Sight triangles shall be based on the dimensions shown in Table 8-1-1 unless the City Engineer or Public Works Director finds that greater sight distances are called for due to traffic speeds or other intersection characteristics at intersections involving arterials.

Intersection Type	Dimensions	Diagrams
Two Arterials	At least 25 feet along each arterial street	 <p>The diagram shows a 90-degree intersection of two arterial streets. A green shaded area represents the property line, which is set back 25 feet from the blue curb line of both streets. A red shaded triangular area is shown in the corner, representing the required setback. The dimensions are labeled as 25 feet along the top curb line and 25 feet along the right curb line.</p>
Arterial and Collector or Local Street	At least 25 feet along the arterial street and 20 feet along the local or collector (minor) street	 <p>The diagram shows a 90-degree intersection of a minor street and an arterial street. The green shaded area represents the property line. Along the arterial street (right side), the setback is 25 feet. Along the minor street (top side), the setback is 20 feet. A red shaded triangular area is shown in the corner. Labels include 'Minor Street curb line', 'property line', '20'', '25'', and 'Arterial Street'.</p>
All Other Street Intersections, including all intersections in the B-3 and T-C districts	Two overlapping triangles measuring 15 feet by 25 feet	 <p>The diagram shows a 90-degree intersection of a minor street and another minor street. The green shaded area represents the property line. Two overlapping triangles are shown in the corner, each measuring 15 feet by 25 feet. Labels include 'Minor Street curb line', 'property line', '25'', '15'', '15'', '25'', and 'Minor Street'.</p>
Intersection of Alleys or Driveways with Streets	25 feet along the minor street and 15 feet along the alley or driveway	 <p>The diagram shows a 90-degree intersection of a minor street and an alley or driveway. The green shaded area represents the property line. A 25-foot setback is shown along the minor street (top side), and a 15-foot setback is shown along the alley or driveway (right side). A red shaded triangular area is shown in the corner. Labels include 'Minor Street curb line', 'property line', '25'', '15'', and 'Alley or Driveway'.</p>
Intersections of streets with driveways from multi-occupancy centers	To be determined by the Public Works Director based on projected traffic loads and intersection design	





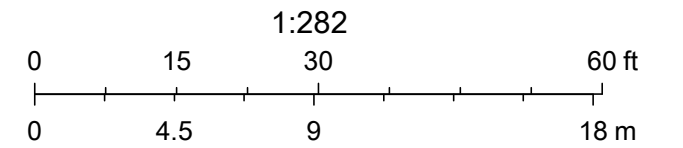
- TOTALS = 139'-3" Gothic Picket Cedar fence, w/metal Post  
 82'-6" Dog Earred Picket Cedar w/4x4x8 Acq. Post  
 2 - 3' Walk Gates  
 1 - 2' Access Walk Gate

# ArcGIS Web Map



2/4/2023, 11:09:20 AM

- Major Roads
- 2021 Imagery
- Blue: Blue
- Major Road
- Red: Red
- Lots
- Green: Green



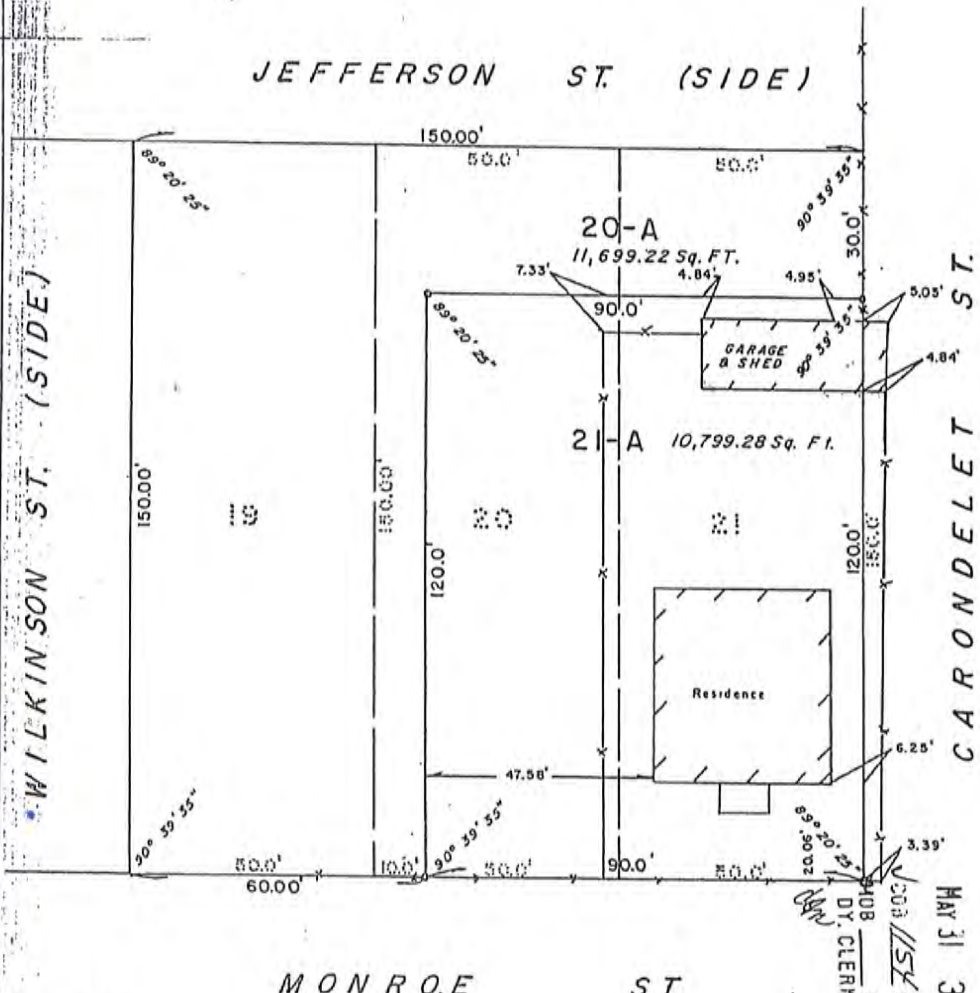
Data provided to DOTD by a commercial vendor.



APPROVED as per Article 3.3, Item D, City of Mandeville Subdivision Regulations.

*Ken Sollberger* 5/31/84  
Ken Sollberger, Chairman Planning Commission District

#544692



NOTE  
NO IMPROVEMENTS LOCATED  
IN 20-A.

FILED  
MAY 31 3 29 PM '84  
HOBBS  
DY. CLERK OF COURT

RESUBDIVISION OF LOTS 19, 20 & 21  
INTO LOTS 20-A & 21-A  
SQUARES 87 & 88  
CITY OF MANDEVILLE  
ST. TAMMANY PARISH, LA.

CERTIFIED CORRECT TO:

Roy L. Gregory, M.D.



Surveys  
INCORPORATED



CERTIFIED CORRECT

*Richard T. Dading*  
SURVEYOR

SCHOOL

SPEED  
LIMIT  
25

7AM TO 9AM  
2PM TO 4PM

HANDS-FREE  
ZONE

A 386-4000  
FENCES PATIOS





**SCHOOL**

SPEED  
LIMIT  
**25**

7AM TO 9AM  
2PM TO 4PM

HANDS-FREE  
ZONE



**A**  
FENCE



City of Mandeville  
 2646  
 12/23/23  
 Request for Fence  


NOTICE OF PUBLIC HEARING  
 CITY OF MANDEVILLE  
 PLANNING & ZONING COMMISSION  
 2646  
 Meeting  
 MEETING DATE 2/14/28  
 CASE # V23-02-05  
 REQUEST Fence Regulations  
 For More Information Contact the Planning  
 Department at 624-3103 or email  
 permit@cityofmandeville.com  
 www.cityofmandeville.com



**A** 624-5258 **1**  
FENCES PATIOS



**CASE SUMMARY SHEET****CASE NUMBER: V23-02-06****DATE RECEIVED: January 20, 2023****DATE OF MEETING: February 14, 2023 and February 28, 2023****Address: 2032 Woodrow Street****Subdivision: Town of Mandeville, Sq. 47 Lot 47C-1A****Zoning District: TC Town Center District****Property Owner: Layton Fernandez**

**REQUEST: V23-02-06 – Layton Fernandez requests a variance to CLURO Section 5.2.3.2. Drainage Overlay District and Fill Sub-Area A and Section 7.5.18.3 Town Center Site Development Regulations, Square 47 Lot 47C1A, TC Town Center District, 2032 Woodrow**

**CASE SUMMARY:**

The property at 2032 Woodrow St. is located on the south side Woodrow St., west of Girod St., east of Lafitte St., and south of General Pershing St. The property measures 64.81'x105.79' having a square footage of 6,856 per a survey prepared by Lowe Engineers and dated 4.19.2022. The lot is currently undeveloped and a permit for new mixed-use structure has been applied for.

The applicant submitted a letter from Howard Engineering, LLC by Ashley Austin, PE states that more than 6" of fill would be required within the parking area to achieve proper drainage. A grading and drainage plan was submitted, the plan includes the explanation of requests. The plan was prepared by Howard Engineering, LLC.

The applicant is requesting more than 6" of fill for the courtyard, rear parking, and the southeast corner of driveway. The drainage plan highlights the northeast corner of the development in orange. This area is the courtyard and is not considered under the roof shed, therefore no more 6" of fill is permitted. The applicant states the additional fill is requested in order to have the courtyard and the required sidewalk be at the same elevation.

The applicant is requesting 1.6' of fill for the required on-site parking area (highlighted in green). The rear access drive is proposing 1.5' of fill. The drainage plan explanation states this area is a low spot and requires more fill to bring it up to the grade of the rest of the lot.

The site plan submitted by Piazza Architecture dated 2.16.22 Sheet A02.2, states the maximum impervious coverage is 93%, 21% over the maximum allowable 75%. The Commission previously approved site plan by KVS Architecture dated 2.5.21 Sheet A1.0 depicted a 29% pervious calculation; this calculation did include permeable paving within the vehicle use area.

**CLURO SECTIONS:****5.2.3.2. Drainage Overlay District and Fill Sub-Area A**

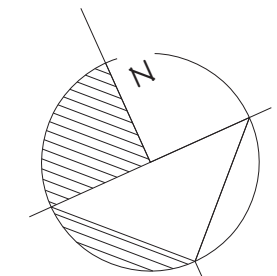
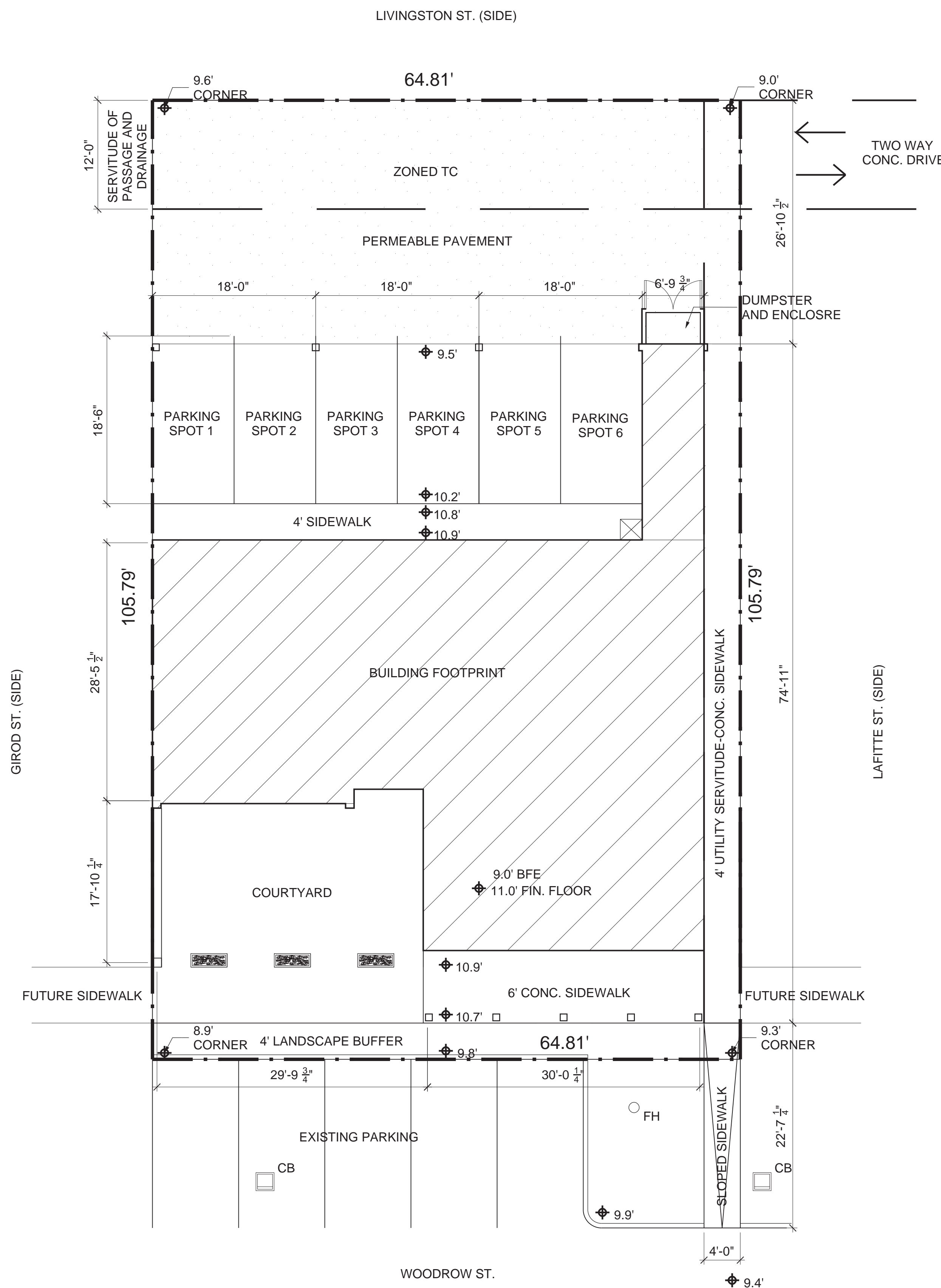
The following standards shall apply to all development falling within the mapped boundaries of the drainage overlay district as established in section 7.6.1 of this CLURO and fill sub-area A, which includes the areas located between Monroe Street, Bayou Castain, Lakeshore Drive and Galvez Street. Where the DO district overlaps with other areas described in this section 5.2.3, the provisions of the DO district shall apply.

1. Grading and Fill. No change in elevation from natural grades shall be allowed except follows:
  - a. Up to six (6) inches of fill may be placed under the perimeter of the soffit or roof line of structures to achieve positive drainage from under the structure.
  - b. Existing sites may be graded, or surface or subsurface conveyances may be established to meet the City's requirement to convey water to the City's stormwater management system.
  - c. Grading changes shall not have an adverse impact on adjacent properties in accordance with State law.
  - d. Fill shall not be allowed within the dripline of existing trees required to remain or any vegetative protection area.
3. Driveways.
  - a. Driveways shall be built at existing grade except that driveways may be elevated no more than six (6) inches if necessary to access a garage or parking areas beneath the building and to help convey water to the City's stormwater conveyance system.

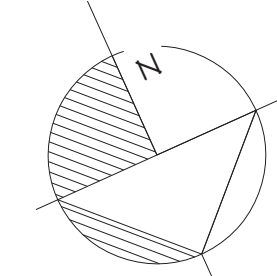








**1 SITE PLAN**  
1/8" = 1'-0"



**2 VICINITY MAP**  
NO SCALE

**TOWN CENTER DISTRICT ZONING REGULATIONS:**

CLASS #	TENANT SPACE	AREA (SF)	USE CLASSIFICATION	TC-PERMITTED USES
6.2.6	CONDO UNIT R-1	1,290 SF	CONDOMINIUM RESIDENTIAL	PERMITTED BY RIGHT
6.2.6	CONDO UNIT R-2	1,665 SF	CONDOMINIUM RESIDENTIAL	PERMITTED BY RIGHT
6.2.6	CONDO UNIT R-3	2,590 SF	CONDOMINIUM RESIDENTIAL	PERMITTED BY RIGHT
6.4.67	RESTAURANT A-1	867 SF	TAVERN- BAR/LOUNGE	SPECIAL USE
6.4.67	RESTAURANT A-2	1,386 SF	REST. SIT DOWN W/ LOUNGE	SPECIAL USE

**PARKING FIGURES:**

3 DWELLING UNITS X 2 PER UNIT = 6 PARKING SPACES  
 2,260 SF RESTAURANT/250 = 9 SPACES  
 15 PARKING SPACES REQUIRED

ON-SITE PARKING SPACES = 6 PARKING SPACES  
 ADJACENT PARKING SPACES = 5 PARKING SPACES  
 PARKING SPACES BY RIGHT = 11 PARKING SPACES PROVIDED

EXCEPTION REQUESTED FOR 15-11 = 4 PARKING SPACES

PARKING SPACES IN SURROUNDING AREA = 244 PARKING SPACES

**PROJECT DATA:**

OCCUPANCY: IBC- ASSEMBLY A-2  
 RESIDENTIAL R-2

NFPA- ASSEMBLY  
 RESIDENTIAL

CONST. TYPE: VB

FIRE PROTECTION:  
 BUILDING SPRINKLER SYSTEM PER NFPA 13  
 FIRE ALARM SYSTEM PER NFPA 72  
 1-HOUR FIRE SEPARATIONS BETWEEN EACH UNIT

	REQUIRED	PROPOSED
PROPERTY AREA:	25.0%	29.11%
PERVIOUS AREA (LANDSCAPE):		6,856.25 SF
PERVIOUS AREA (PAVEMENT):		259.25 SF
		1,736.91 SF

DENSITY CALCULATOR: 6856 SF/ 2000 SF = 3.4 UNITS PERMITTED

SITE DEVELOPMENT REGULATIONS TO BE IN COMPLIANCE WITH THE TOWN VISUAL PERFORMANCE STANDARDS

# Howard Engineering, LLC

Engineering Consultants  
Commercial \* Industrial \* Residential

708 Perrilloux Trace Avenue  
Madisonville, LA 70447  
504-289-5268

LA Firm License # 6340

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January 26, 2023

Mr. Layton Fernandez

RE: Trailhead Live Work Building – Non-Adverse Fill Impact  
2032 Woodrow St  
Mandeville, LA

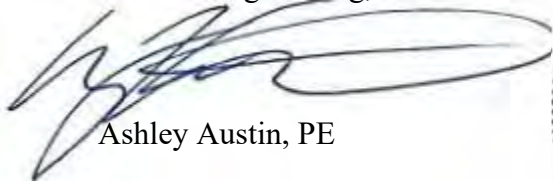
Dear Mr. Fernandez,

Pursuant to your request we have provided the civil engineering services for the referenced project. The project consists of a building and parking area at the rear of the site. The building has a first floor area of approximately 3000 square feet and extends to the property lines on each side. The parking lot in the rear of the site consist of paving.

Our design for the parking in the rear consist of a drain line and two drain inlets. Paving will be sloped to provide a positive flow to the inlets. CLURO Section 5.2.3.3 indicates that no more than 6 inches of fill can be used to elevate the area. In order to provide proper drainage of this area more than 6 inches of fill will be required. Based on our calculations the water on the site should drain properly with the additional fill and not adversely affect the property or surrounding properties.

If you have any questions or comments do not hesitate to contact us.

Sincerely,  
Howard Engineering, LLC



Ashley Austin, PE



## MEMORANDUM

TO: City of Mandeville Planning Department

FROM: Digital Engineering

DATE: February 13, 2023

SUBJECT: 2032 Woodrow Street Fill Variance Request

The City of Mandeville Planning Department has requested the City Engineer's (Digital Engineering) opinion of the fill variance request for the development at 2032 Woodrow Street.

The undeveloped property at 2032 Woodrow Street is relatively flat. Stormwater currently drains towards the north and southeast to exit the property. FEMA requirements for flood zone AE require the development's finished floor elevation to be elev. 11.2'. The site's existing elevations range from 8.6' to 9.5'. The courtyard area on the northeast part of the property has been designed to be at elev. 10.9'-11.2' to provide a smooth transition into the building and a smooth transition between the two units of the development, which requires more fill than what is allowed by the CLURO. ADA access is required for the site and is proposed at the entrances of both units at the front (Woodrow Street side) of the property where existing sidewalks are present.

Portions of the parking lot on the rear side of the property are proposed to meet CLURO fill requirements, however some portions do not meet the CLURO fill requirements and will require a variance to be approved to be constructed as its currently designed. This parking lot is designed for the stormwater to be collected in two inlets and conveyed via 8" pipe to the City's existing stormwater drainage system that is under Woodrow Street. The invert of the subsurface drainpipe on Woodrow Street is at elev. 7.2' and the new pipe is designed to slope upward from there at a rate of 0.4% with minimal cover, which is a reasonable slope per industry standards. This drainage design controls the minimum elevation of the top of the parking lot slab where the drainage inlets are located. The rest of the parking lot will need to be elevated slightly above the inlets to direct stormwater to drain towards them for positive drainage.

Currently this parking lot is designed to slope upward from the drain inlet elevation of 9.51' to transition to the finished floor elevation at elev. 11.13' in the area shown in green in the applicant's drawing. As the parking lot is currently designed, there is inadequate space for stairs to transition from the parking lot slab elevation to the finished floor elevation. However, there appears to be space for stairs if one parking spot can be removed from this parking lot which could eliminate the need for a fill variance in this general area. This design change would need to be coordinated with the project's architect for modifications to the door layout and addition

of handrails, which may cause conflicts. There are no handicapped parking spots in the back parking lot and therefore no requirements to meet ADA slopes in this area as all ADA access is in the front of the property (Woodrow Street side).

In summary, the applicant is requesting a fill variance for the front courtyard area (5% of property), the area of parking spots highlighted in green on the applicant's drawing (13% of property), and the portion of the parking lot around the drain inlet highlighted in orange on the applicant's drawing (6% of property), for a sum of approximately 24% of the total property area.

As the development is proposed, there do not appear to be negative drainage impacts to the neighboring properties with this development.

**CASE SUMMARY SHEET**

**CASE NUMBER: V23-02-07**

**DATE RECEIVED: January 25, 2023**

**DATE OF MEETING: February 14, 2023 and February 28, 2023**

**Address: 2711 Monroe Street**

**Subdivision: Pine Place, Sq. B Lot 23A**

**Zoning District: R-1 Single Family Residential District**

**Property Owner: Nicholas and Jessika Cressy**

**REQUEST: V23-02-07 – Nicholas and Jessika Cressy request a variance to CLURO Section 9.2.5.2. Vegetation Protection Zones, Square B Lot 23A, R-1 Single Family Residential District, 2711 Monroe St**

**CASE SUMMARY:**

The applicants own the property at 2711 Monroe St., located on the corner of Monroe St. and Carondelet St. The property measures 150'x176.6' having a square footage of 26,490 per a survey prepared by John E. Bonneau & Associates, Inc. and dated 6.18.2009, revised on 7.23.2009. The property is improved with a single-family residence.

The applicants poured footings for an exterior porch and stair addition. The deck and stair addition is 8'x 22'11". The existing rear porch and addition are proposed to be enclosed. The new deck and stairs are compliant with the setback regulations; however the location is inside the 82% dripline of an 84" live oak. The new deck foundation encroaches approximately 66 sq ft into the 82% drip line. The existing foundation encroaches approximately 53 sq ft into the 82% drip line. The plans submitted are by KVS Architecture, Sheets A1.0, A2.2, S1.0, S1.1 dated 1.23.2023.

The City Consulting arborist, Malcolm Guidry, submitted a report dated January 28, 2023. The report concluded that he construction within the 82% drip line will not adversely affect the condition of the Live Oak tree as the tree is in exceptional health.

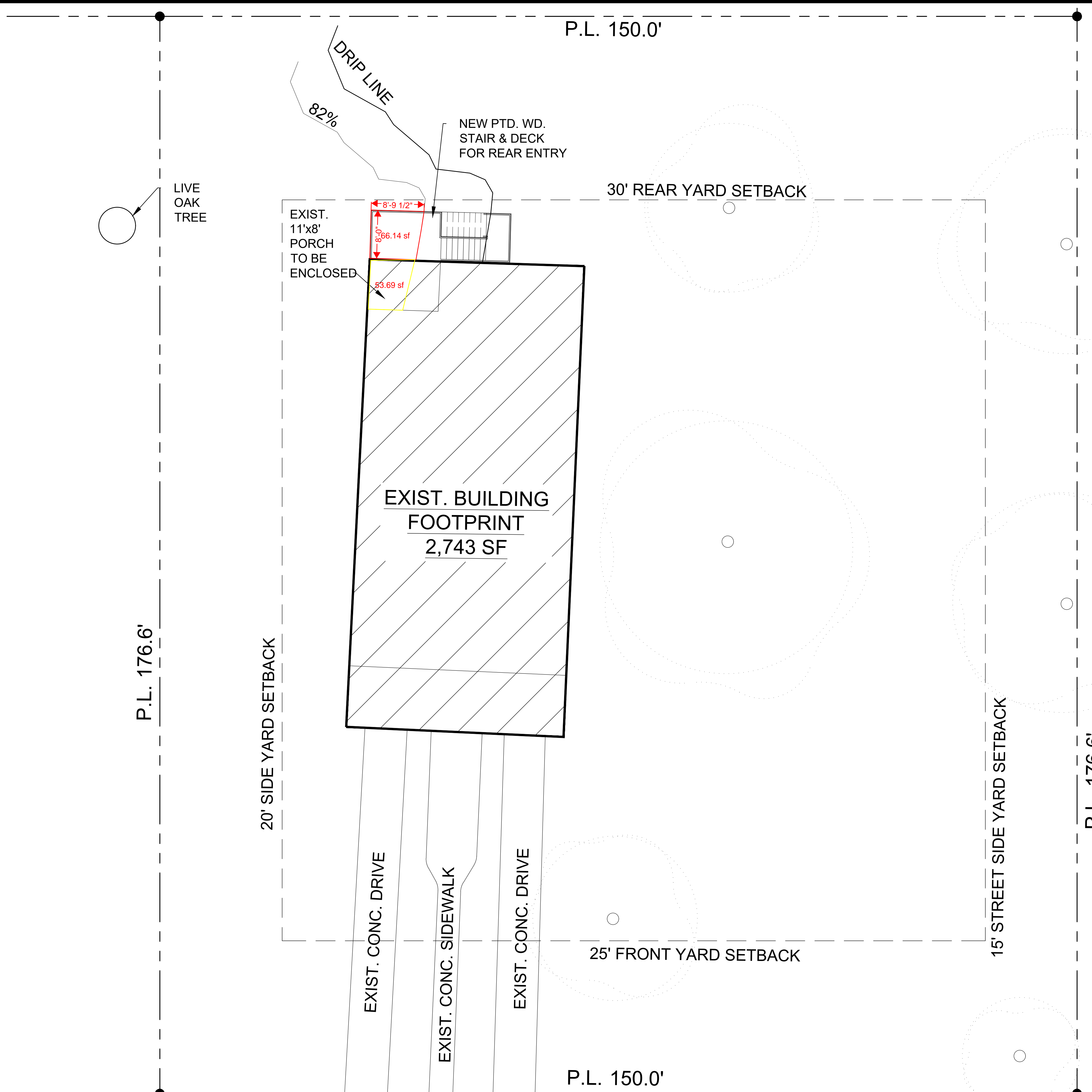
The applicant is requesting a variance to CLURO Section 9.2.5.2. Vegetation Protection Zones in order to construct a new deck with concrete slab within the 82% dripline of a live oak.

**CLURO SECTIONS:**

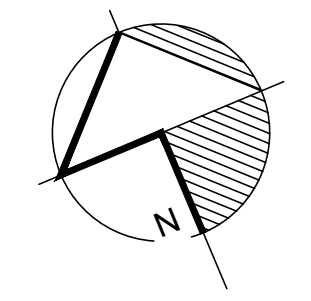
**9.2.5.2. Vegetation Protection Zones**

An area extending at least fifteen (15) feet in all directions from the trunk of any tree required or proposed to be preserved to meet the requirements of this or encompassing a minimum of two-thirds (2/3) of the entire canopy area of the tree, whichever is greater, shall be required to be maintained undisturbed under the provisions of this Article. This area is defined as the **Vegetation Protection Zone**. Exception: The Vegetation Protection Zone for live oaks will be a circle with a radius which is eighty-two (82) percent of the canopy of the tree, measured from the trunk to the drip line. A barrier shall be erected and maintained around this area at all times during construction. No soil deposits, construction materials, equipment, or other materials shall be temporarily or permanently stored in locations within or immediately adjacent to the Vegetation Protection Zone which would cause suffocation of root systems of trees required or proposed to be preserved. No paving with concrete, asphalt, or other impervious material shall be allowed within the Vegetation Protection Zone. No structure shall be placed or constructed at any time within the Vegetation Protection Zone.



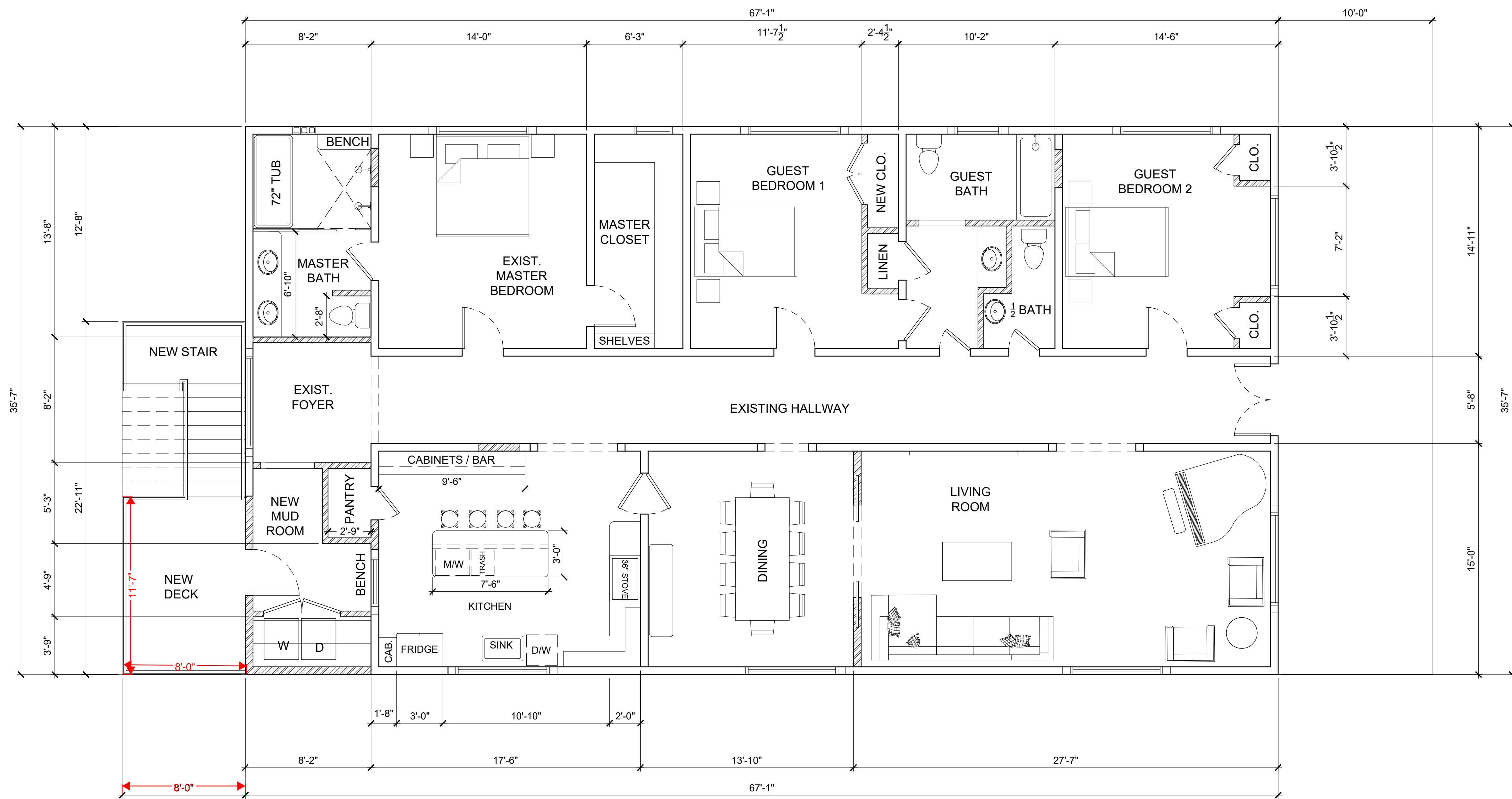


**1** SITE PLAN  
 1/8" = 1'-0"

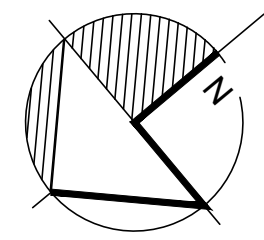


REVISIONS:
DATE: 1.16.23
PROJECT No: 22###
DRAWING:





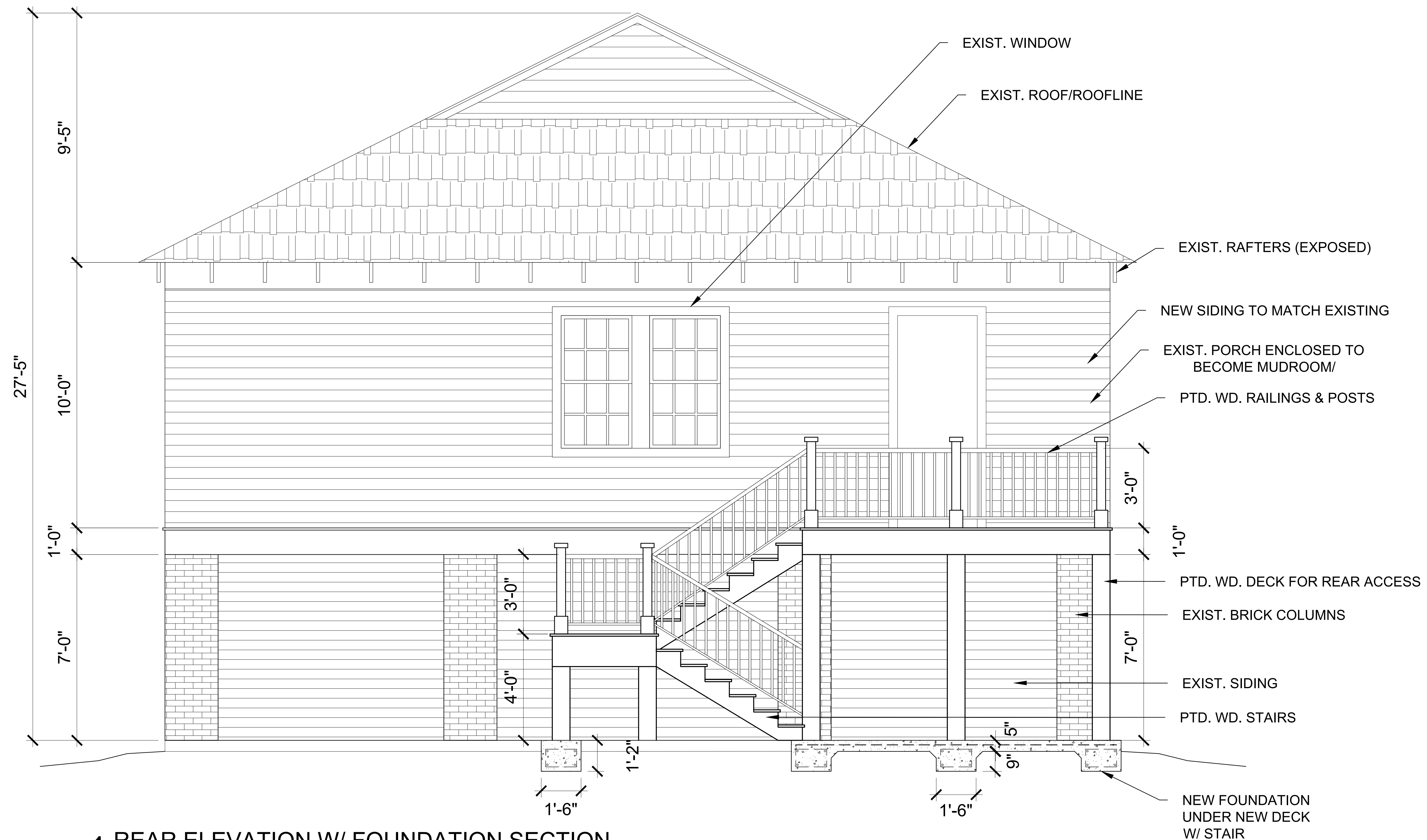
**1** PROPOSED FLOOR PLAN  
 1/2" = 1'-0"



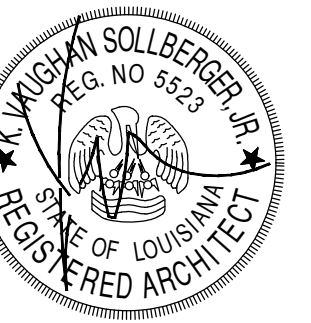
**CRESSY RESIDENCE**  
 MONROE ST. MANDEVILLE, LA 70448

REVISIONS:
DATE: 1.16.23
PROJECT No: 22###
DRAWING:

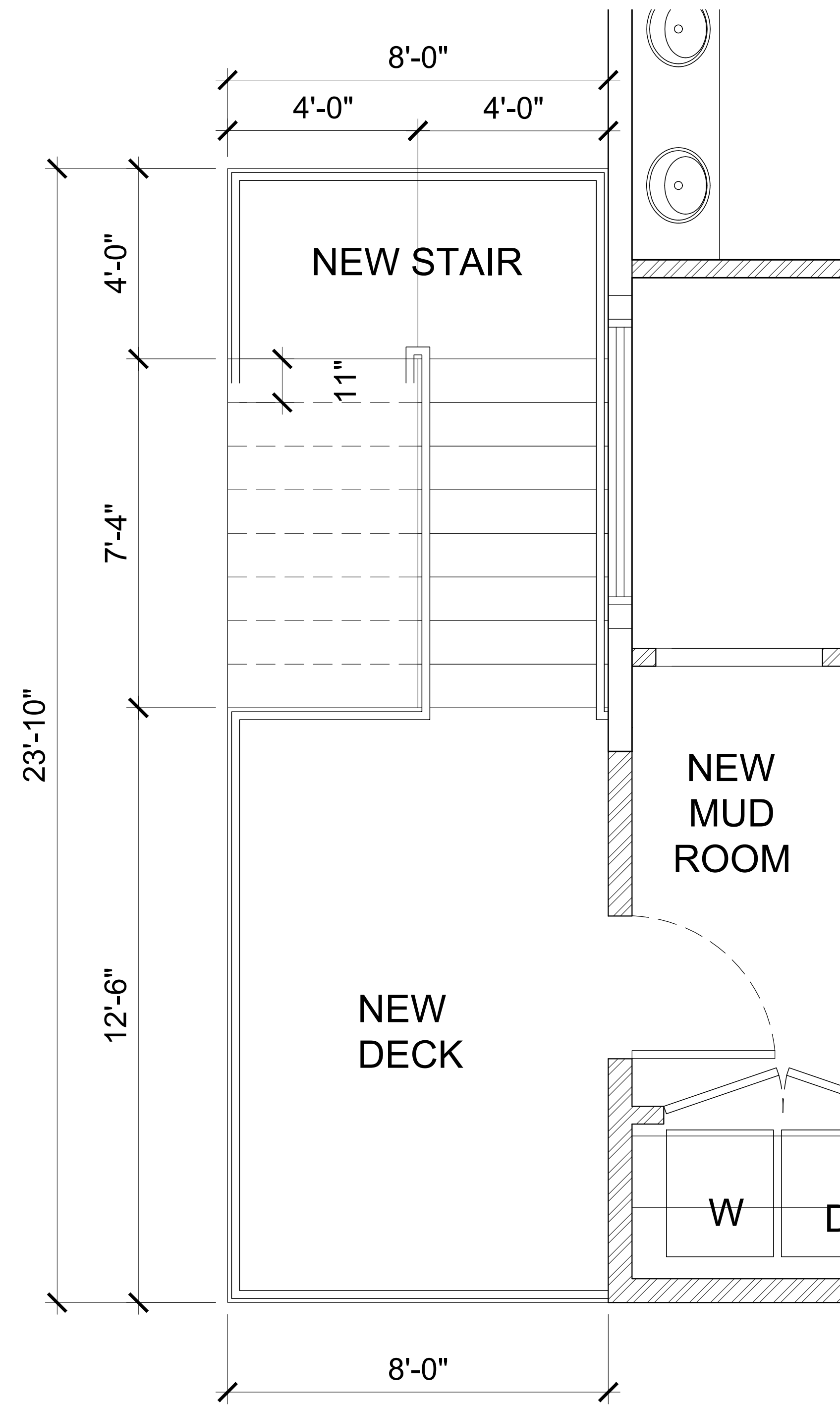
**A2.2**



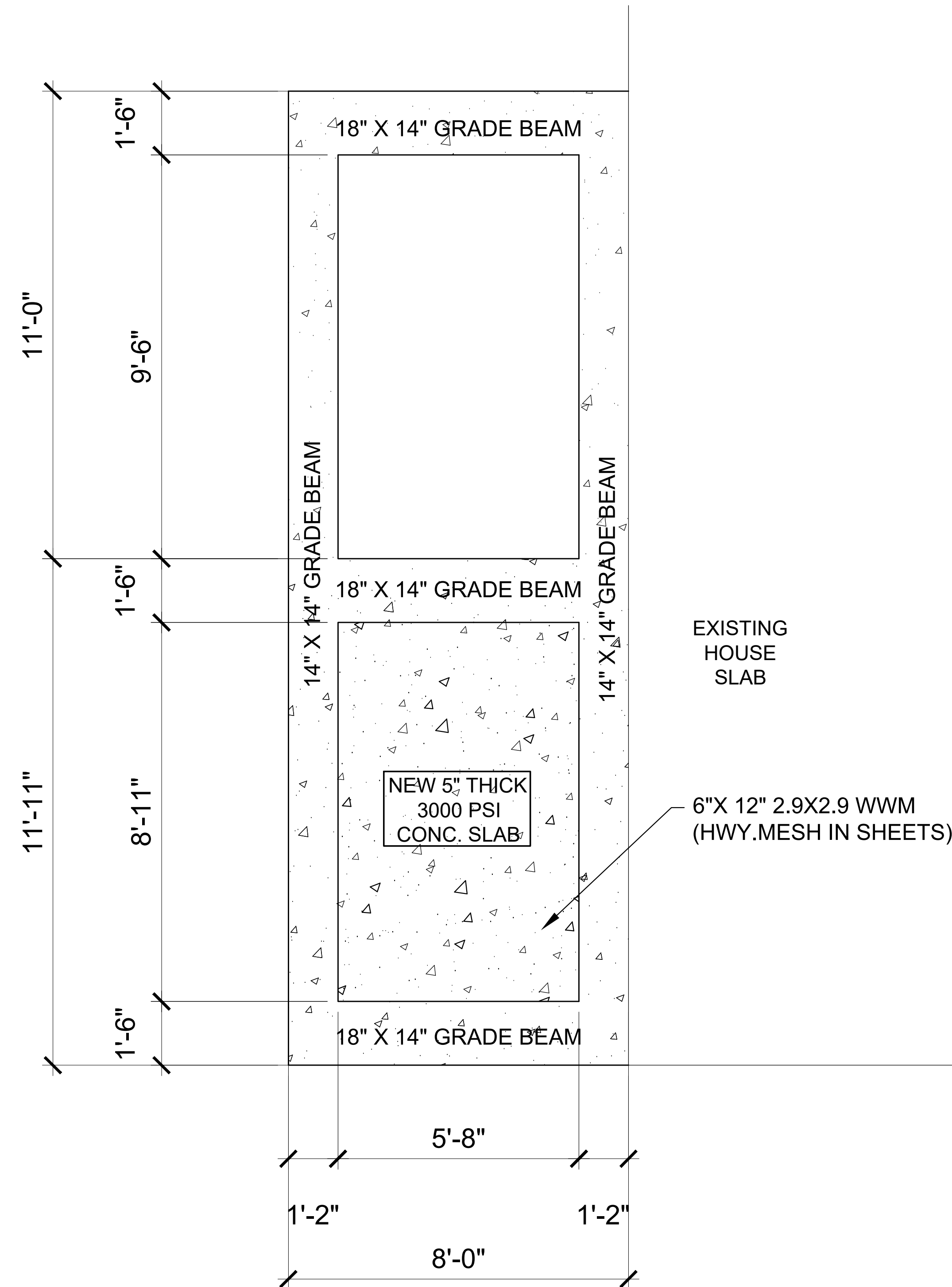
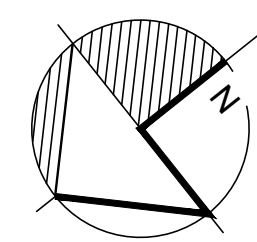
**1** REAR ELEVATION W/ FOUNDATION SECTION  
 1/2" = 1'-0"



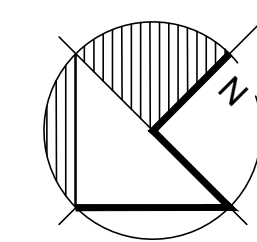
REVISIONS:
DATE: 1.16.23
PROJECT No: 22###
DRAWING:



**1** ENLARGED STAIR PLAN  
1/2" = 1'-0"

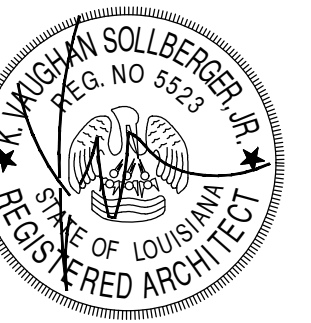


**2** FOUNDATION PLAN  
1/2" = 1'-0"

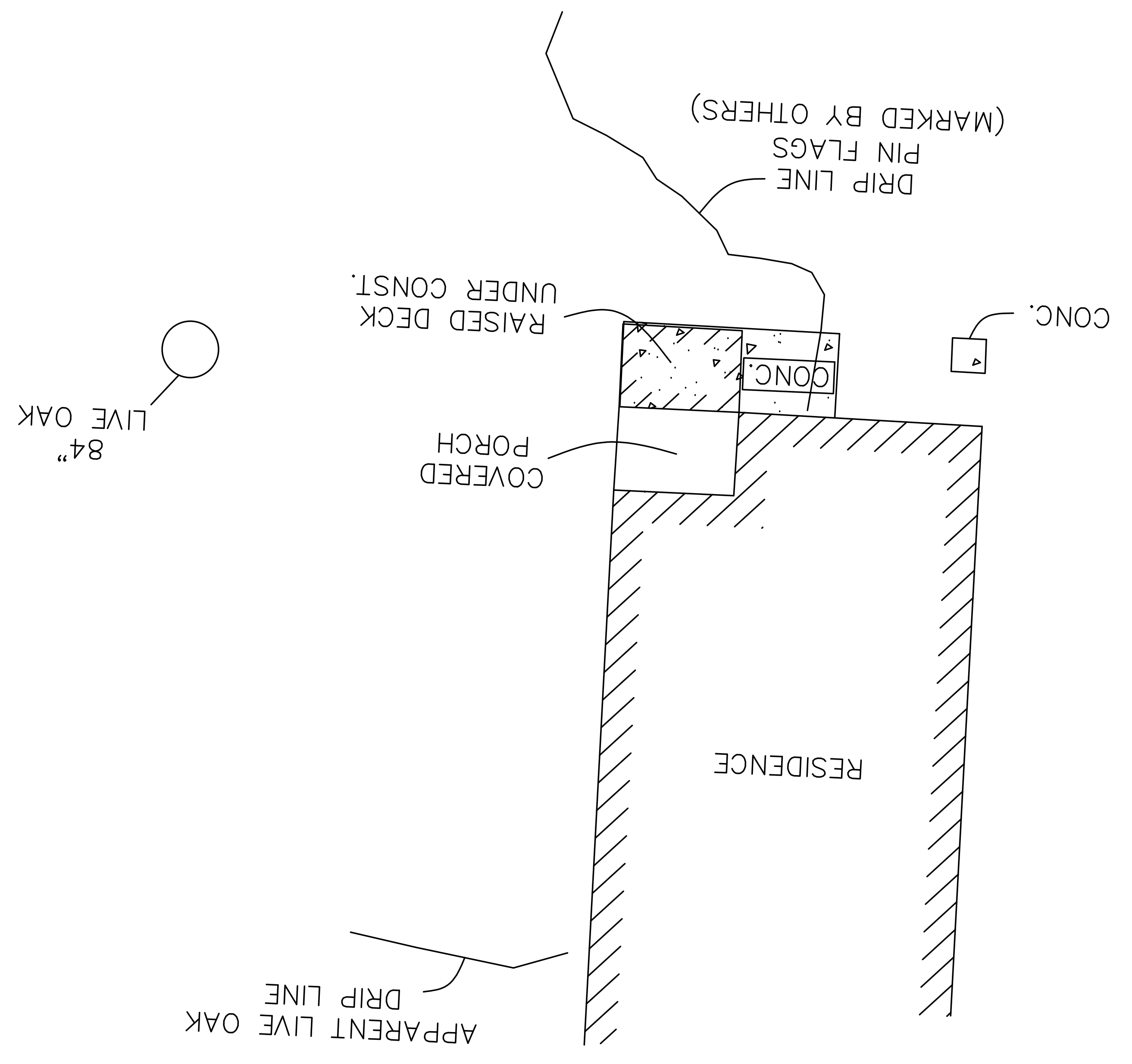


**FOUNDATION NOTES:**

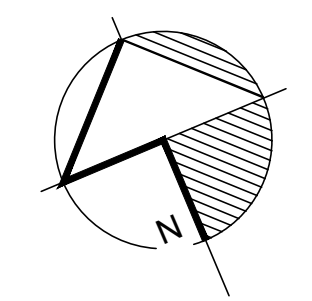
1. THE BEARING PRESSURE DESIGN FOR THIS STRUCTURE IS 1,500 PSF FOR SPREAD FOOTINGS & 2,000 PSF FOR CONTINUOUS FOOTINGS WHICH IS ACCOUNTED FOR AT APPROXIMATELY 2'-0" IN DEPTH. WE HAVE OBSERVED THE AREAS INFRASTRUCTURE DEVELOPMENT & DETERMINE THAT THE SOILS ARE NOT QUESTIONABLE AS PER ARTICLE 18022.1 OF THE 2012 IBC.
2. CONCRETE SHALL BE STANDARD WEIGHT & TEST AT 3,000 PSI AT 28 DAYS, IN ACCORDANCE WITH ACI 301 & 318. SUBMIT A DETAILED MIX DESIGN FOR REVIEW PRIOR TO CONSTRUCTION.
3. REINFORCING STILL SHALL BE NEW BILLET ASTM A 615 GRADE 60. DETAIL REINFORCING & PROVIDE ACCESSORIES IN ACCORDANCE WITH THE LATEST ACI MANUAL OF STANDARD PRACTICE. PROVIDE STANDARD 90 DEGREE HOOKS AT ALL TOP REINFORCEMENT. SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION.
4. ALL WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM D 185 & SHALL BE PROVIDED IN SHEETS. THE MESH SHALL BE LAPPED TWO WIRE SPACES IN EACH DIRECTION & SHALL BE SUPPORTED BY 2 INCH CONCRETE BRICKS SPACED AT 36 INCHES APART EACH WAY.
5. PRIOR TO SITE PREPARATION, VERIFY THE LOCATION OF UTILITIES. RELOCATE UTILITIES WHICH ARE IN THE CONSTRUCTION AREA & CLEARLY MARK ANY UTILITIES ON OR NEAR THE SITE.
6. CONSTRUCTION & EXPANSION JOINTS DOWELED OR KEYED FOR GOOD TRANSFER OF LOAD MUST BE PROPERLY SEALED TO PREVENT INTRUSION OF SURFACE WATERS INTO THE PAVEMENT BASE & NATURAL SUB.
7. ALL WORK TO BE IN ACCORDANCE WITH IRC, 2012 EDITION. ANY QUESTIONS OR CLARIFICATIONS REQUIRED TO BE SUBMITTED TO ARCHITECT FOR REVIEW.
8. STEEL STRUCTURE, PLATES, ANGLES, TUBES, PIPES, & MISCELLANEOUS SECTIONS TO COMPLY WITH CURRENT AISC MINIMUM STANDARDS.
9. EXPOSED STEEL COMPONENTS MUST BE HOT DIPPED GALVANIZED & PAINTED.
10. ALL WOOD FOUNDATION FRAMING, SILLS, JOISTS, STAIR COMPONENTS, BLOCKING, & TRIM, EXPOSED OR IN CONTACT WITH WOOD OR MASONRY TO BE PRESSURE TREATED WITH HOT DIPPED GALVANIZED STRAPS & FASTENERS & TO BE KILN DRIED #2 SOUTHERN YELLOW PINE.
11. CONCRETE TO PLATE OR HORIZONTAL BEAM SHALL BE SIMPSON STRONG TIE # MGT OR LMA 4 EACH MEMBER.



REVISIONS:
DATE: 1.16.23
PROJECT No: 22###
DRAWING:



1 LINE WORK BY RANDY BROWN  
 1/8" = 1'-0"



**Malcolm Guidry**  
**Professional Consulting Arborist, LLC**  
**P.O. Box 503**  
**Covington, LA 70434**

January 28, 2023

Catherine Casanova, Inspector  
Landscape and Urban Forestry  
Department of Planning and Development  
City of Mandeville  
3101 East Causeway Approach  
Mandeville, LA 70448

Re: The distance of the live oak tree located on adjacent property west of new construction of a stairway of residence 2711 Monroe St, Mandeville, Louisiana

Dear Ms. Casanova:

Regarding the matter as referenced above, as I understand, there exists concern that the new construction is within the regulated 82% of the branch radius of the tree's canopy. Within the past two weeks I have visited the site, observed the new construction of the stairway, additionally, inspected the tree, its canopy spread and the distance of the tree from the new construction.

### **Discovery**

My observations regarding this matter are noted as follows:

- Tree at issue-----Live oak
- Size -----Mature/fully grown
- Health -----Excellent condition
- Structural integrity-----Excellent condition
- Location of tree-----Due west of new construction
- Distance of trunk to  
corner of residence -----38'8" (KVS Architects)
- Dripline of tree to canopy-----57'5" (KVS Architects)
- New construction, foundation of stairway is located within the regulated 82%  
branch radius of the tree----- (KVS Architects)

Note: KVS Architectural sheet A1.0 which shows measurements, is attached to this report. With respect to KVS Architecture measurements I agree the distance from tree to residence and that of the new construction are correct.

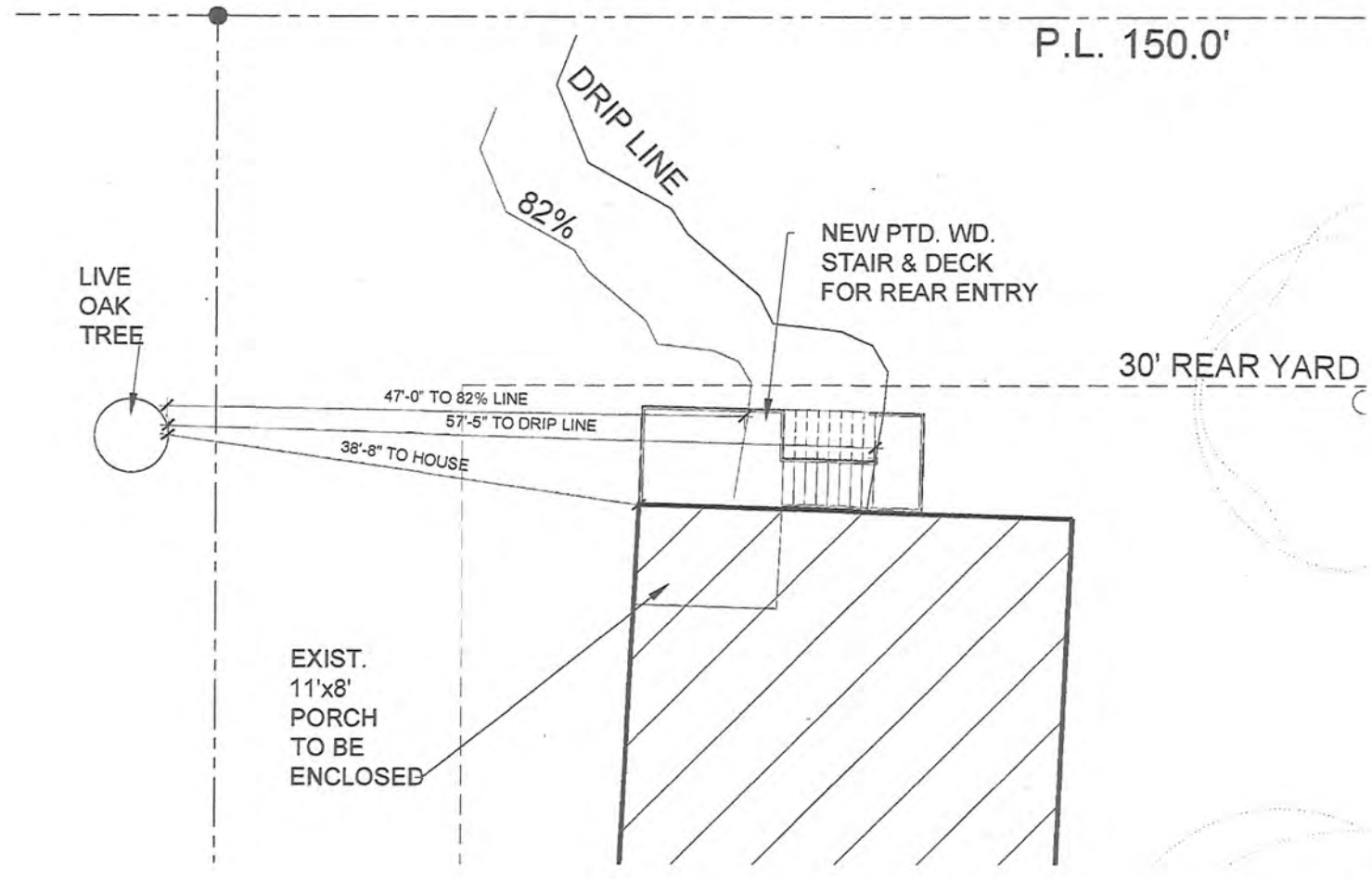
### **Discussion/Conclusion**

My recent inspection of the tree included its state of health, branched architecture, soil conditions within the area of root spread of the tree and the distance of newly constructed stairway foundation to the trunk of the tree. Based upon my observations, it is my opinion that the construction of the foundation of the stairway caused no harm to the root system of the tree. The health condition of the tree is exceptionally good, the tree is strong, its root system is exceptionally good, the chemical, physical and biological components of the soil I found to be very good.


Finally, it is my opinion, the construction at issue, although located within the area of 82% of the dripline of the tree has not caused any harm to the tree. It is also my opinion, no treatments and or after care are not needed for all is well with the soil, the tree and its root system.

Sincerely,

Malcolm Guidry  
Consulting Arborist



1 SITE PLAN  
 1/4" = 1'-0"

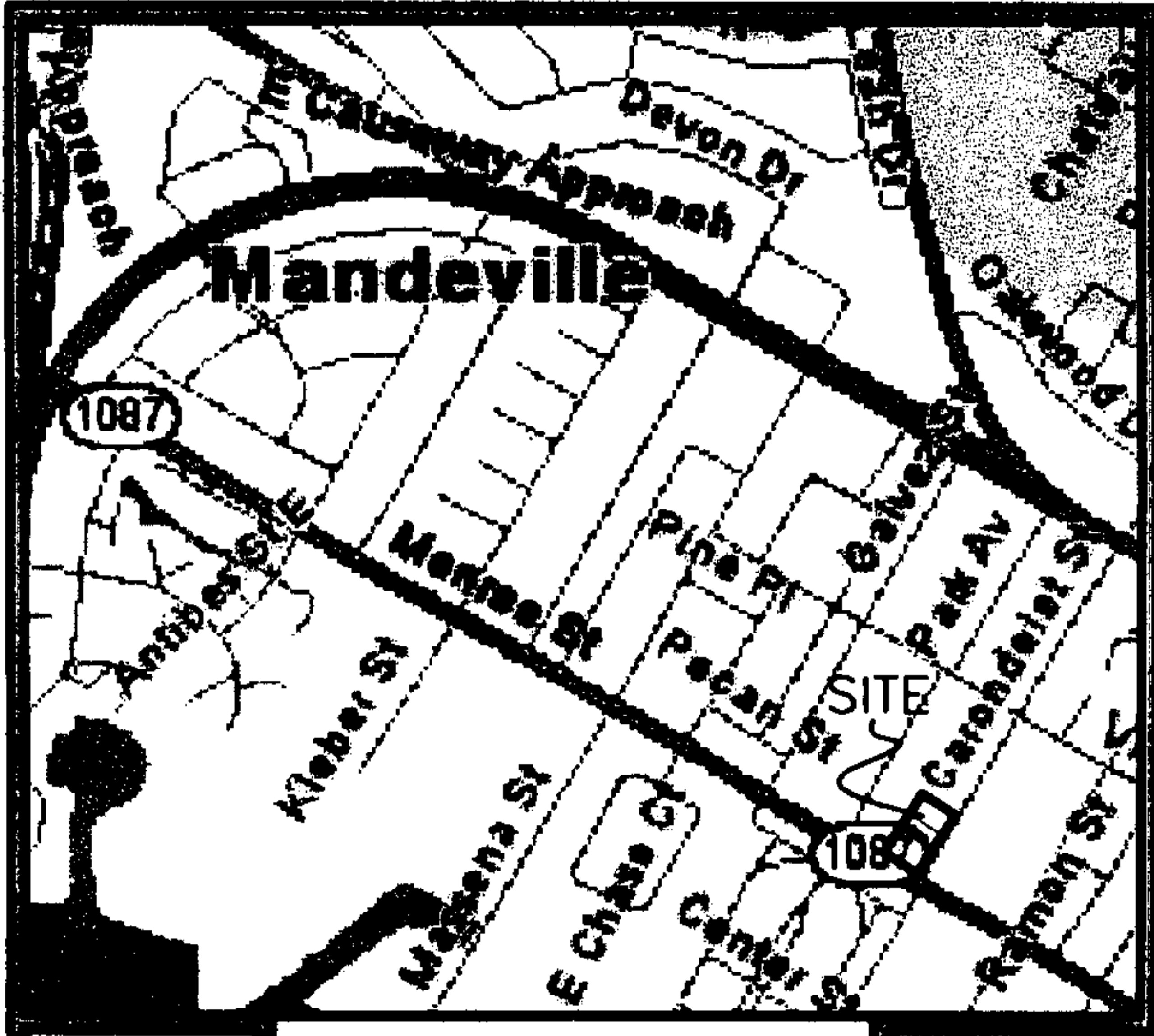


**KVS** architecture  
 235 Girard Street, Mandeville, Louisiana  
 985.674.3077 www.kvsarchitecture.com

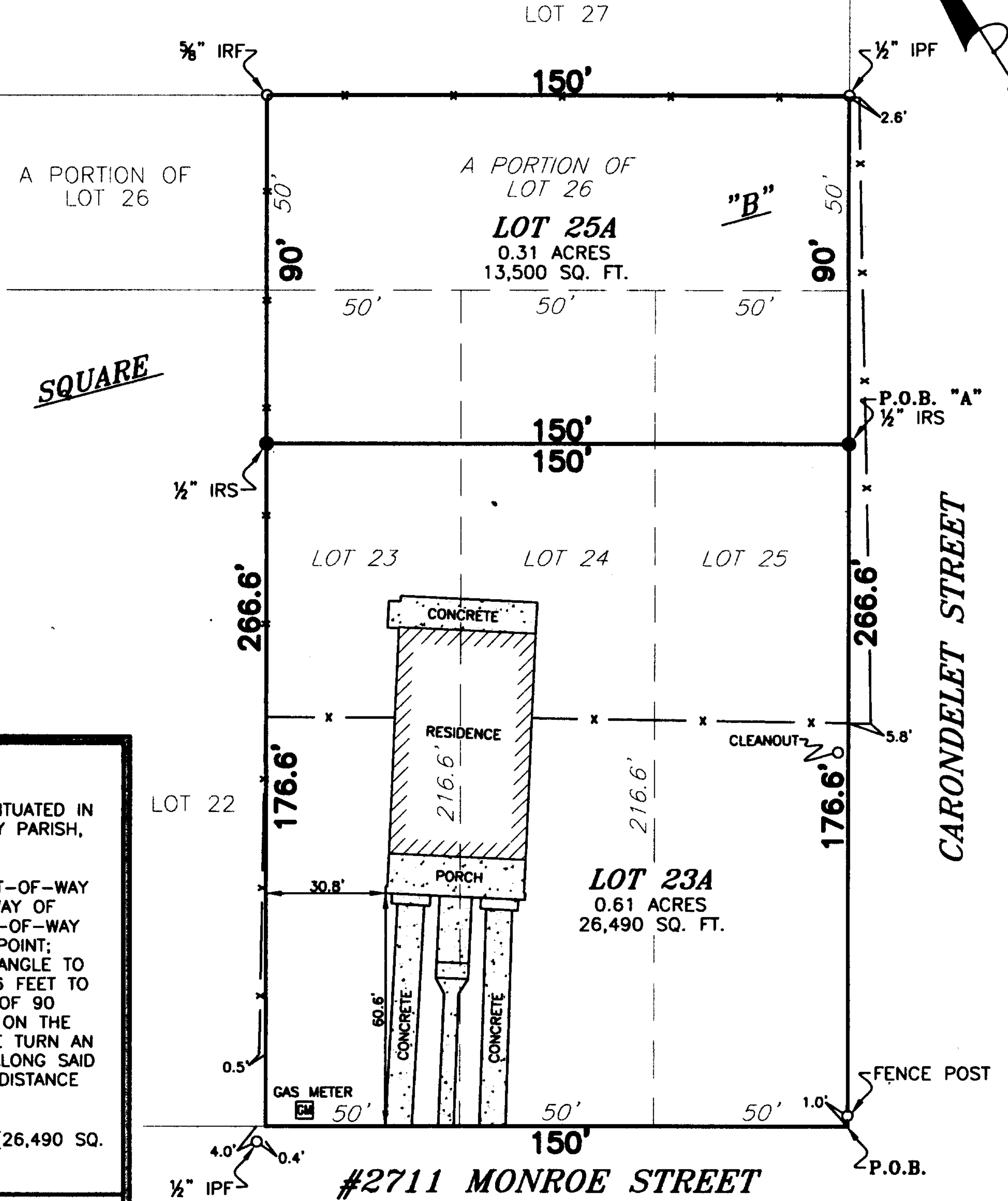
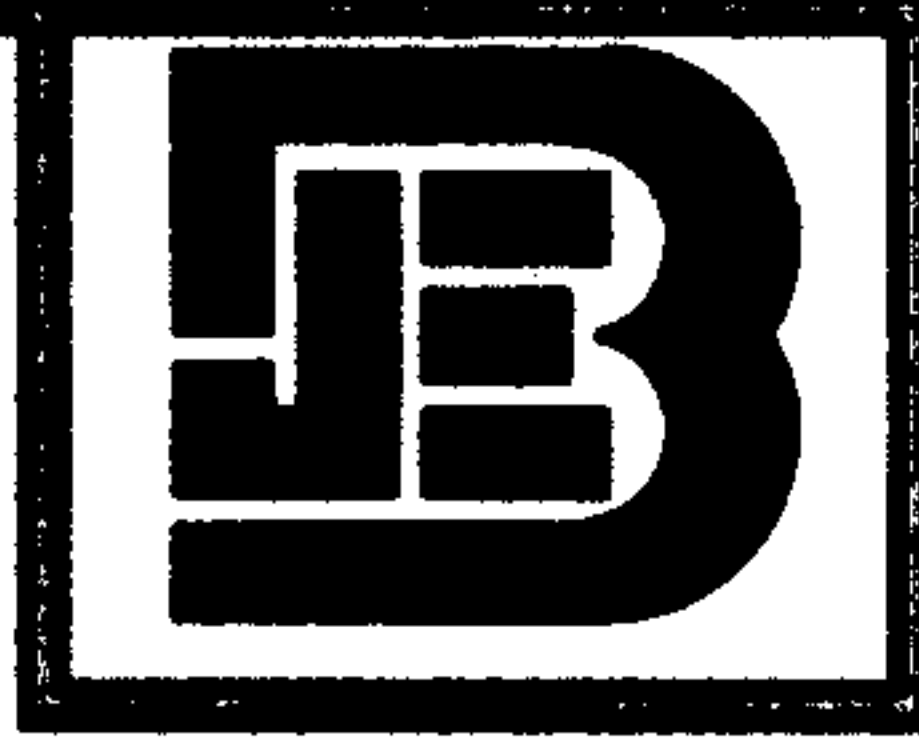


**CRESSY RESIDENCE**  
 MONROE ST., MANDEVILLE, LA 70448

REVISION:
DATE: 1.10.23
PROJECT#: 22289-R
DRAWING: A1.0



VICINITY MAP



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JOHN E. BONNEAU & ASSOCIATES, INC.

**LEGAL DESCRIPTIONS**

**LOT 23A**  
A CERTAIN PIECE OR PORTION OF LAND BEING LOT 23A SITUATED IN SQUARE B, PINE PLACE, CITY OF MANDEVILLE, ST. TAMMANY PARISH, LOUISIANA AND IS MORE FULLY DESCRIBED AS FOLLOWS:  
**BEGINNING** AT THE INTERSECTION OF THE WESTERLY RIGHT-OF-WAY OF CARONDELET STREET AND THE NORTHERLY RIGHT-OF-WAY OF MONROE STREET, RUN WESTERLY ALONG NORTHERLY RIGHT-OF-WAY OF MONROE STREET FOR A DISTANCE OF 150 FEET TO A POINT; THENCE LEAVING SAID RIGHT-OF-WAY, TURN AN INTERIOR ANGLE TO THE LEFT OF 90 DEGREES AND RUN A DISTANCE OF 176.6 FEET TO A POINT; THENCE TURN AN INTERIOR ANGLE TO THE LEFT OF 90 DEGREES AND RUN A DISTANCE OF 150 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF CARONDELET STREET; THENCE TURN AN INTERIOR ANGLE TO THE LEFT OF 90 DEGREES AND RUN ALONG SAID WESTERLY RIGHT-OF-WAY OF CARONDELET STREET FOR A DISTANCE OF 176.6 FEET BACK TO THE POINT OF BEGINNING.  
SAID PIECE OR PORTION OF LAND CONTAINS 0.61 ACRES (26,490 SQ. FT.) MORE OR LESS.

**LOT 25A**  
A CERTAIN PIECE OR PORTION OF LAND BEING LOT 25A SITUATED IN SQUARE B, PINE PLACE, CITY OF MANDEVILLE, ST. TAMMANY PARISH, LOUISIANA AND IS MORE FULLY DESCRIBED AS FOLLOWS:  
**COMMENCING** AT THE INTERSECTION OF THE WESTERLY RIGHT-OF-WAY OF CARONDELET STREET AND THE NORTHERLY RIGHT-OF-WAY OF MONROE STREET RUN NORTHERLY ALONG SAID WESTERLY RIGHT-OF-WAY OF CARONDELET STREET FOR A DISTANCE OF 176.6 FEET TO THE POINT OF BEGINNING "A".  
**FRONT** FROM THE POINT OF BEGINNING "A" AND LEAVING SAID RIGHT-OF-WAY TURN AN EXTERIOR ANGLE TO THE RIGHT OF 90 DEGREES AND RUN A DISTANCE OF 150 FEET TO A POINT; THENCE TURN AN INTERIOR ANGLE TO THE LEFT OF 90 DEGREES AND RUN A DISTANCE OF 90 FEET TO A POINT; THENCE TURN AN INTERIOR ANGLE TO THE LEFT OF 90 DEGREES AND RUN A DISTANCE OF 150 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF CARONDELET STREET; THENCE TURN AN INTERIOR ANGLE TO THE LEFT OF 90 DEGREES AND RUN ALONG SAID WESTERLY RIGHT-OF-WAY OF CARONDELET STREET FOR A DISTANCE OF 90 FEET BACK TO THE POINT OF BEGINNING "A".  
SAID PIECE OR PORTION OF LAND CONTAINS 0.31 ACRES (13,500 SQ. FT.) MORE OR LESS.

**NOTE:** There are no Elevations below the 5' MSL Contour on either Lot 23A or 25A per the City of Mandeville's Topographic Files.

**APPROVALS**

*[Signature]*  
MAYOR OF THE CITY OF MANDEVILLE  
*[Signature]*  
PLANNING DIRECTOR  
*[Signature]*  
CHAIRMAN - MANDEVILLE PLANNING COMMISSION  
*[Signature]*  
PUBLIC WORKS DIRECTOR  
7-27-2009 4811A  
DATE FILED MAP FILE NO.  
*[Signature]*  
CLERK OF COURT

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "C" SURVEY.

**REFERENCE SURVEY:** A Survey of Lots 23, 24, 25 and a portion of Lot 26, Square B, Pine Place by WILSON POPE, INC. job no. 9788 dated June 17, 2003.  
**NOTE:** All interior property angles are 90°.  
**BASIS FOR ANGLES:** The Reference Survey.  
**NOTE:** City water & sewer is available to these Lots, per dept. public works.

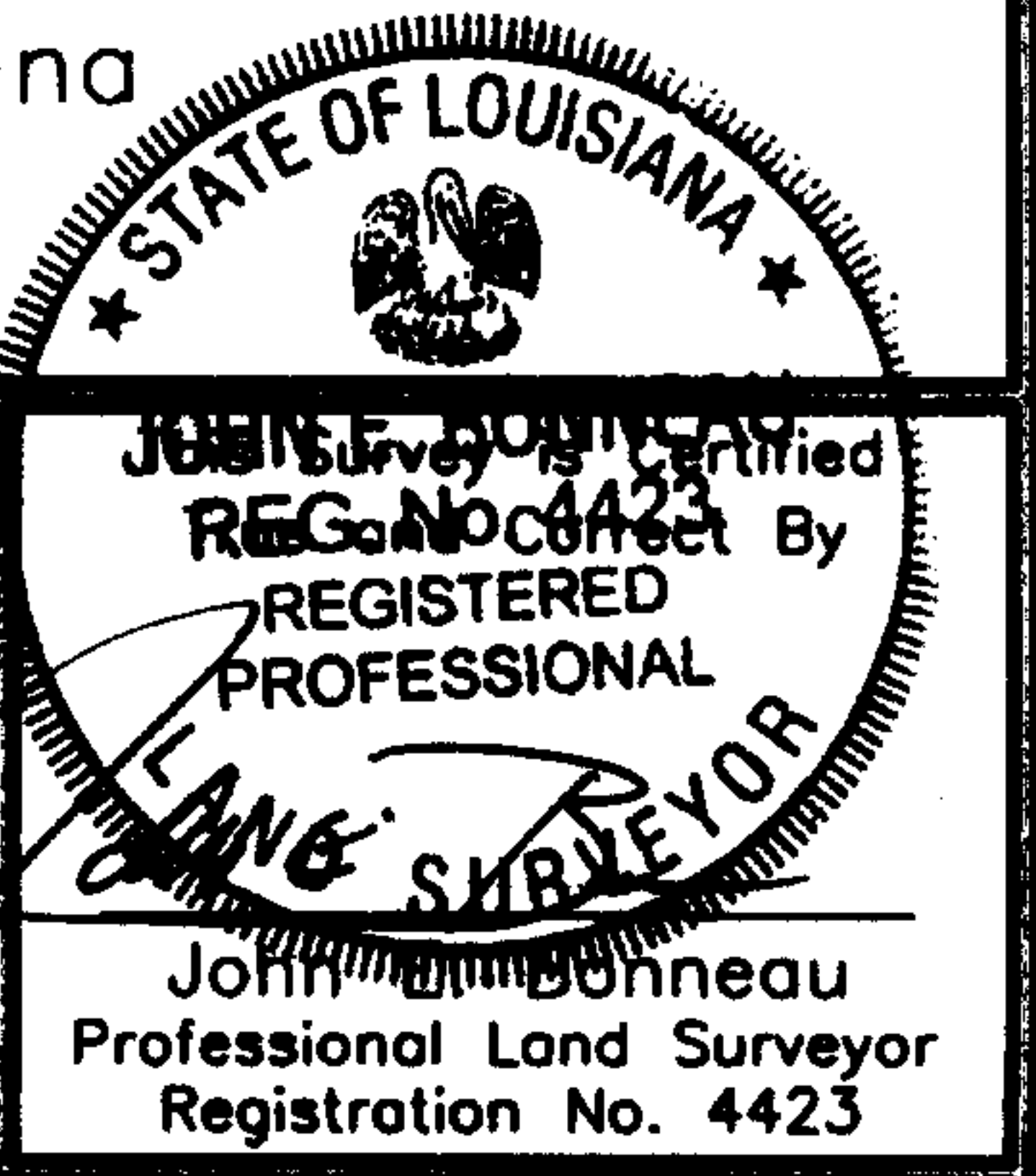
**FLOODZONE NOTE:** This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "A10" with a Base Flood Elevation of 12'+1'=13' in accordance with Community Panel No. 220202 0002 C ; Revised: APRIL 4, 1983

A RESUBDIVISION MAP OF  
**LOTS 23, 24, 25 AND A PORTION OF 26, SQ. B, PINE PLACE**  
into  
**LOTS 23A & 25A, SQ. B, PINE PLACE**  
situated in  
CITY OF MANDEVILLE  
St. Tammany Parish, Louisiana  
for  
**BARRETT C. McGUIRE**

Survey No. 2009188 Drawn by: SPH Scale: 1" = 40'  
Date: JUNE 18, 2009 Revised: 7/23/09(OFFICE)

**JOHN E. BONNEAU & ASSOCIATES, INC.**  
Professional Land Surveyors • Planners and Consultants  
420 HWY. 1085, EXIT #57 • MADISONVILLE, LA. 70447  
(985)845-1012 • (985)845-1013 • (985)845-1351 • FAX NO. (985)845-1778  
www.JEBCOLandSurveying.com • e-mail: jebco1@bellsouth.net

**NOTE:** This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.  
**NOTE:** Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.  
Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.





**CASE SUMMARY SHEET****CASE NUMBER: V23-02-08****DATE RECEIVED: January 26, 2023****DATE OF MEETING: February 14, 2023 and February 28, 2023****Address: 216 Lamarque St****Subdivision: Old Town of Mandeville, Sq. 8 Lot 6****Zoning District: R-1 Single Family Residential District****Property Owner: Allison and Heath Moss****REQUEST: V23-02-08 – Allison and Heath Moss request a variance to CLURO Section 5.2.3.2. Drainage Overlay District and Fill Sub-Area A, Square 8 Lot 6, R-1 Single Family Residential District, 216 Lamarque****CASE SUMMARY:**

The property at 216 Lamarque St. is located on the west side of Lamarque St., north of Claiborne St., and south of Jefferson St. The property measures approximately 63.5x202'. The lot is currently improved with a single-family residence.

The residence is located 20' from the front property line, 90' from the rear, 5' from the north side property line, and 25' from the south side property line. A pool is proposed to be located in the rear of the property. The pool will be 54' from the rear property line, 6' from the north side, and 25' from the south side property line. The setbacks for the pool comply with the minimum accessory setback of 3' from the property line.

The pool equipment is proposed to be located with the north side setback. There is existing mechanical equipment located within the same setback therefore the equipment can be located there without a variance.

The application states "The customer wants to raise the pool wall elevation by 14" to avoid being flooded by the lake water during big storm events. The deck will be a ground level slab. One side of the pool will have a raised wooden deck".

The request is to allow the construction of a pool 14" from existing grade. The following request for elevated pools have been approved by the Commission based on proposed elevations and no adverse effects to drainage:

V22-02-06 - 130 Lamarque – 24" from grade

V22-08-25 - 1709 Lakeshore – 30" from grade

V22-03-05 – 2239 Lakeshore - 18" from grade

V22-06-20 – 2047 Lakeshore - 24" from grade

The applicant is requesting an exception to the CLURO Section 5.2.3.2 Drainage Overlay District and Fill Sub-Area A, in order to construct an elevated pool. CLURO allows for a maximum of 6" of fill within Fill Sub Area A. The pool is proposed to be elevated 2' from grade.

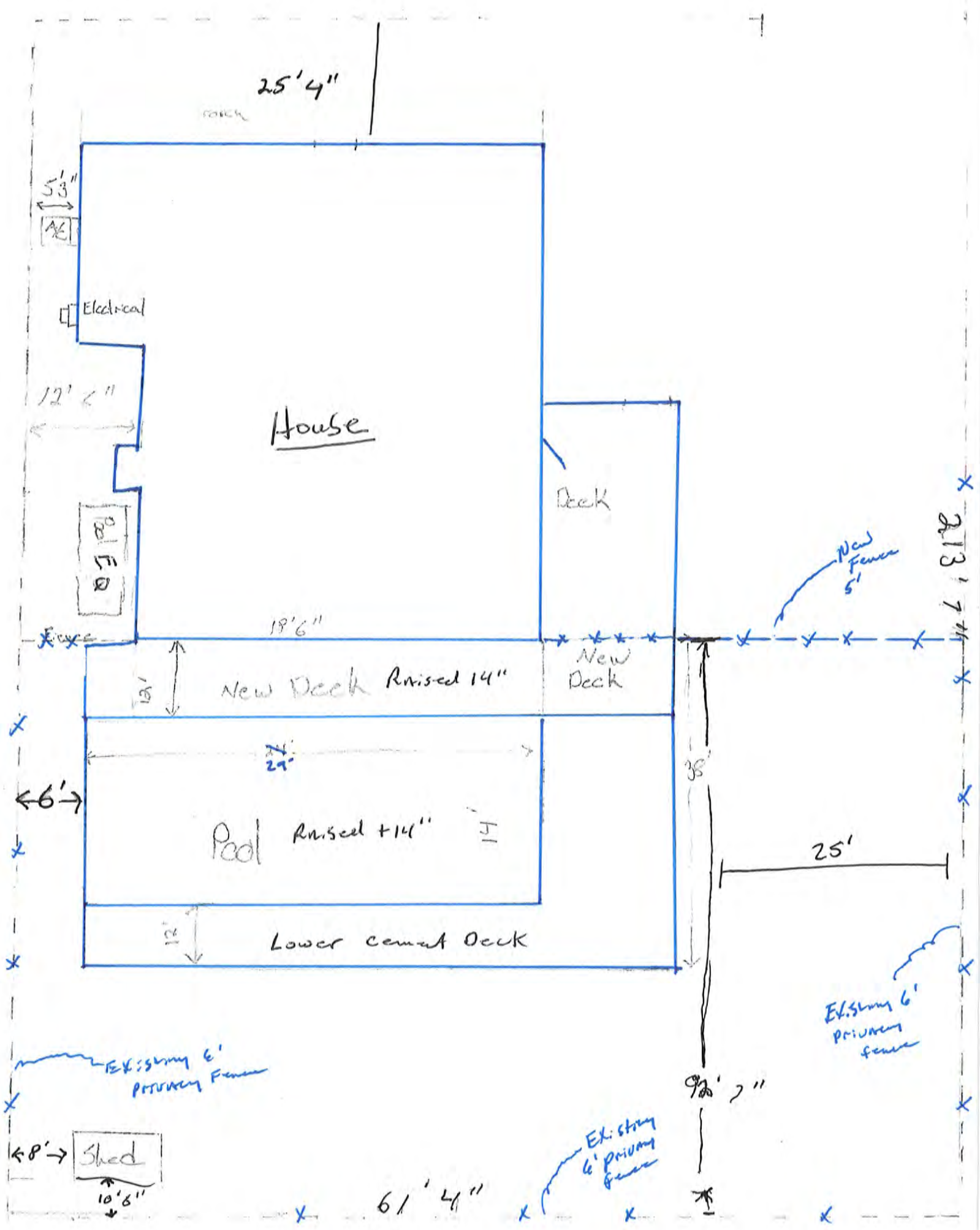
**CLURO SECTIONS:****5.2.3.2. Drainage Overlay District and Fill Sub-Area A**

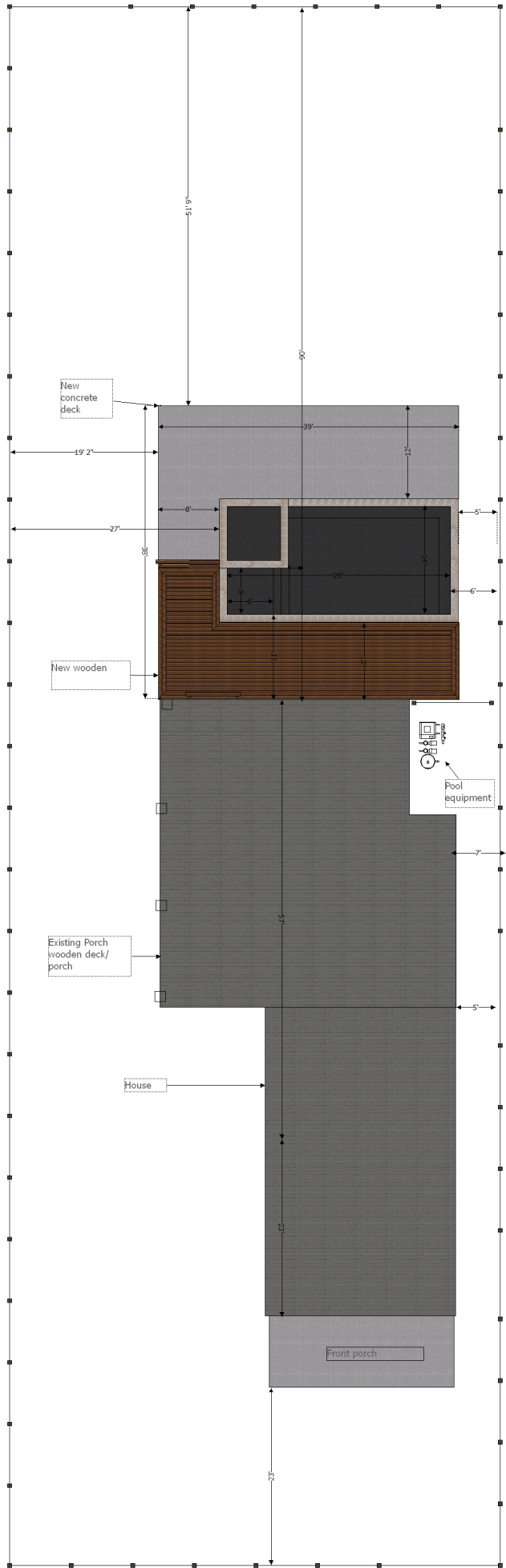
The following standards shall apply to all development falling within the mapped boundaries of the drainage overlay district as established in section 7.6.1 of this CLURO and fill sub-area A, which includes the areas located between Monroe Street, Bayou Castain, Lakeshore Drive and Galvez Street. Where the DO district overlaps with other areas described in this section 5.2.3, the provisions of the DO district shall apply.

1. Grading and Fill. No change in elevation from natural grades shall be allowed except follows:
  - a. Up to six (6) inches of fill may be placed under the perimeter of the soffit or roof line of structures to achieve positive drainage from under the structure.
  - b. Existing sites may be graded, or surface or subsurface conveyances may be established to meet the City's requirement to convey water to the City's stormwater management system.
  - c. Grading changes shall not have an adverse impact on adjacent properties in accordance with State law.
  - d. Fill shall not be allowed within the dripline of existing trees required to remain or any vegetative protection area.
3. Driveways.
  - a. Driveways shall be built at existing grade except that driveways may be elevated no more than six (6) inches if necessary to access a garage or parking areas beneath the building and to help convey water to the City's stormwater conveyance system.

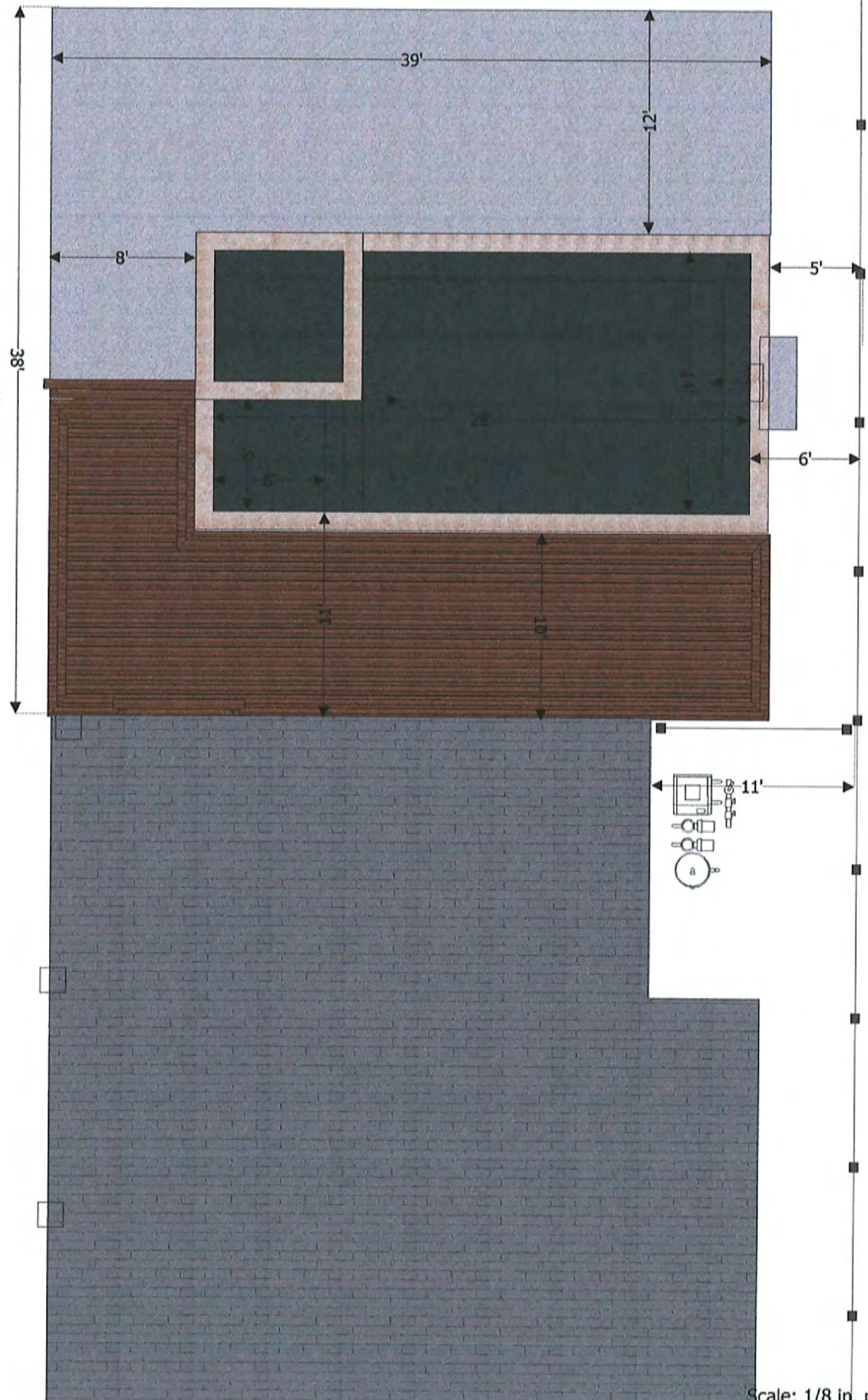
**111. Impervious Cover.** Impervious coverage of a site shall include the total horizontal area of all buildings, roofed or covered spaces, paved surface areas, walkways and driveways. Pools of water including but not limited to swimming pools, reflecting ponds and fountains are excluded from this calculation.



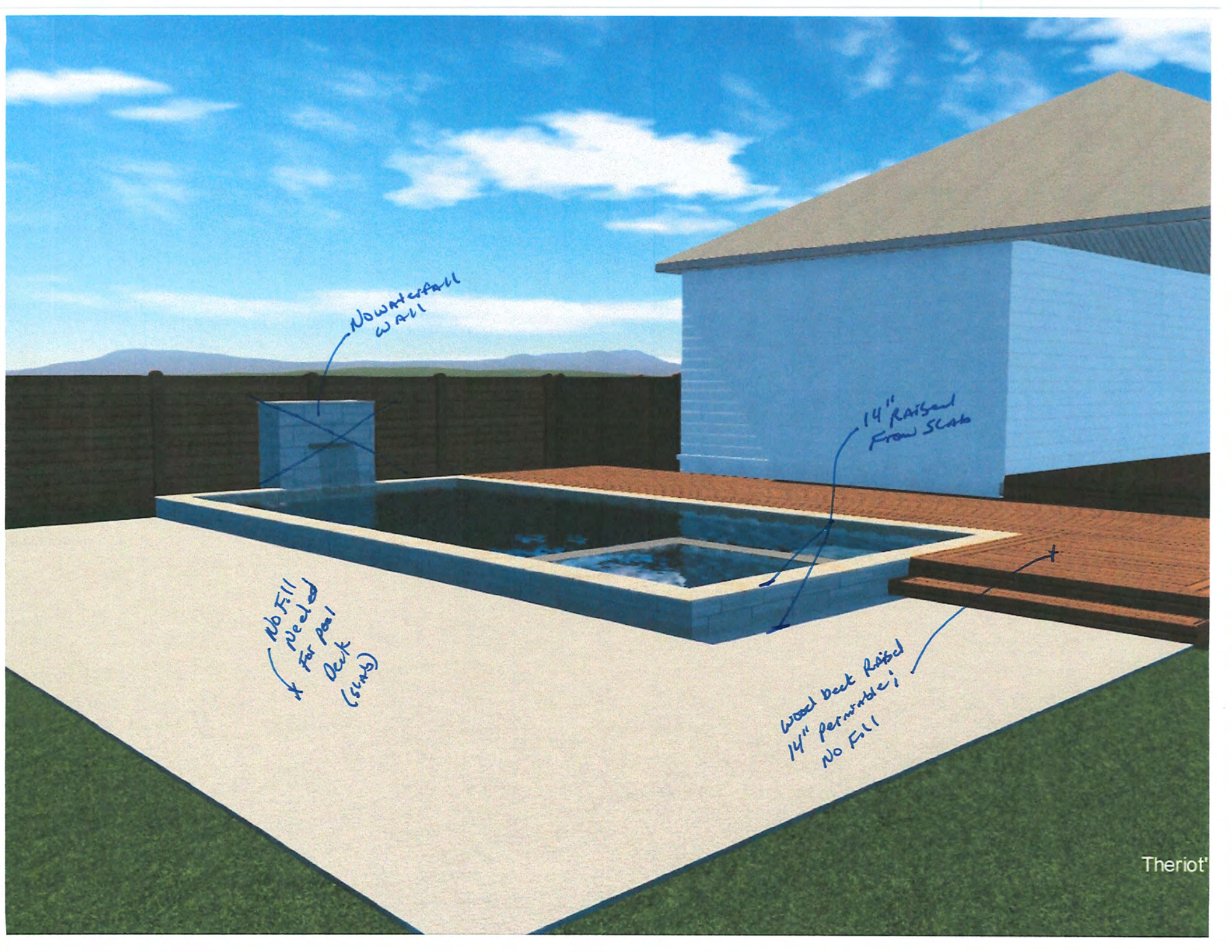




Scale: 0.05 in. per ft.



Scale: 1/8 in. per ft.



No waterfall wall

14" Raised From Slab

No Fill Needed For Pool Deck (slabs)

Wood Deck Raised 14" Permitted No Fill

JEFFERSON

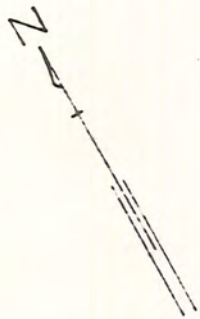
STREET

53.3'

106.6'

AVENUE

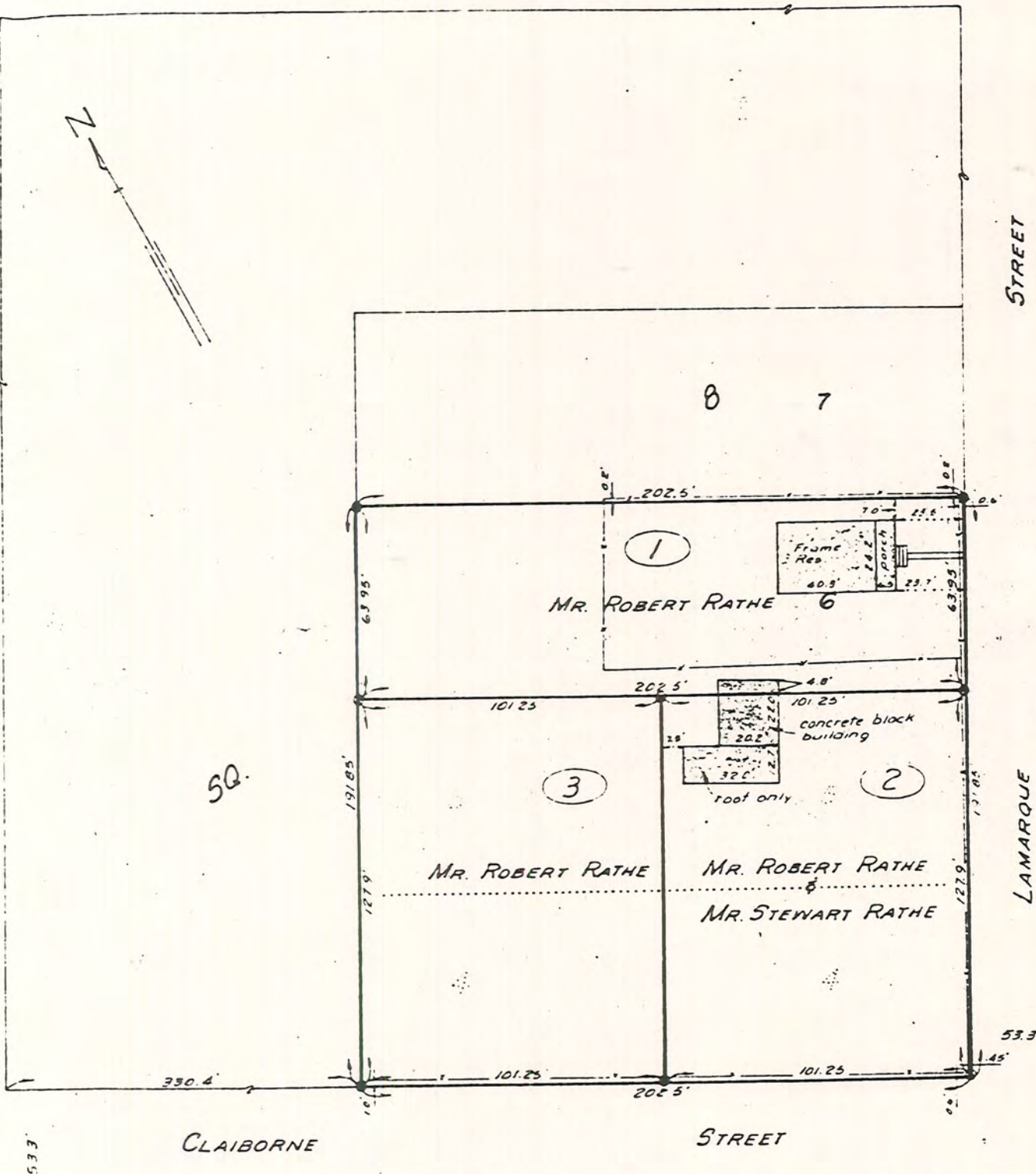
STREET



MARIGNY

SQ.

LAMARQUE



PLAT OF LAND SURVEYED FOR

MR. ROBERT RATHE

MR. STEWART RATHE

Being Lots 4, 5 & 6 Square 8, Mondeville,  
St. Tammany Parish, Louisiana

*Eddie J. Champagne*

Surveyed by, Eddie J. Champagne, Surveyor

Scale: 1" = 50' Dwg. No. 4411

Date: September 28, 1978

Revised: February 21, 1979



**CASE SUMMARY SHEET**

**CASE NUMBER: Z23-02-01**

**DATE RECEIVED: January 20, 2023**

**DATE OF MEETING: February 14, 2023 and February 28, 2023**

**Address: Square 76 Lots 76-C-1 and 76-C-2**

**Subdivision: Magnolia Ridge, Sq. 76A Lots 76-C-1 and 76-C-2**

**Zoning District: B-1 Neighborhood Business District**

**Property Owner: Allen and Selene Tingle**

**REQUEST: Z23-02-01 – Allen and Selene Tingle requests the rezoning of two lots designated B-1 Neighborhood Business District to R-3 Multi-Family Residential District, Square 76 Lots 76-C-1 and 76-C-2, B-1 Neighborhood Business District, Square 76 Lots 76-C-1 and 76-C-2**

**CASE SUMMARY:**

The applicant owns the property being Lots 76-C-1 and 76-C-2, located on the corner of Magnolia Ridge Dr. and East Causeway Approach. Lot 76-C-1 is irregular in shape, measuring 109.09’ along the southern property line, 154.70’ along the eastern property line, 85.72’ along the northern property line and the western property line measures 85.80’ and 72.62’ along the diagonal line, with a square footage measuring 16,846. Lot 76-C-2 measures 109.09’x145.29’ with a square footage of 15,878. These measurements are per a survey prepared by Randall Brown & Associates, Inc. and dated 9.16.2020. A administrative resubdivision was approved in October 2020 creating the 2 lots. The two lots are currently unimproved.

The property to the east and west is zoned B-1 Neighborhood Business District, the property to the south is zoned R1-X.

The applicant is requesting to rezone the property to R-3 to construct townhomes. Residential uses are not permitted in the B-1 District. The R-3 Site development criteria allows for 75’ lot frontage, 120’ in depth and a minimum of lot area of 9,000 square feet. Lot 76-C-1 is a corner lot with 85.75’ of frontage on E. Causeway Approach and 154.7’ in depth. The R-3 District requires 3000 sq ft of land area per unit, allowing for a maximum of 5 units. Lot 76-C-2 is 145’ along Magnolia Ridge Blvd and 109.47’ in depth. The Lot meets the frontage and area not the depth. The lot area is 15,878 sq ft allowing for a maximum of 5 units.

The R-2 District requires the same lot size as the R-3 District however, the R-1 district requires 5,000 sq ft of land area per unit and allows a maximum of 2 units per lot. The use table allows for townhomes in the R-3 District not the R-2 Districts.

**CLURO SECTIONS:**

Use Classification	R.1	R.1X	R.2	R.3
6.2 Residential Use Classification				
6.2.1 Single Family	P	P	P	P
6.2.2 Cluster Resid.*			C	C
6.2.3 Duplex Resid.			P	P
6.2.4 Two Family *			S	S
6.2.5 Townhouse *				S
6.2.6 Condo. Res.			P	P
6.2.7 Multi-Family				P

**7.5.4.1. Purpose of the R-3 Multi-Family Residential District**

The purpose of the R-3 Multi-Family Residential district shall be to provide moderate to high density residential neighborhoods for individual buildings on individual lots or for more than one building on one lot. The R-3 district shall accommodate single-family attached dwellings that have common walls, including town houses, condominiums, congregate and cluster developments as well as multi-family structures ranging in type from tri-plexes to apartment buildings.

**6.2.5. Townhouse Residential**

The use of a site for two or more townhouse dwelling units, constructed with common or abutting walls and with each unit located on a separate subdivided parcel of ground within the total development site, providing for the individual ownership of each unit and the parcel of ground upon which it rests, as well as the direct or indirect ownership by all the unit owners on a proportional, undivided basis the common areas and facilities serving all dwelling units within the townhouse group.

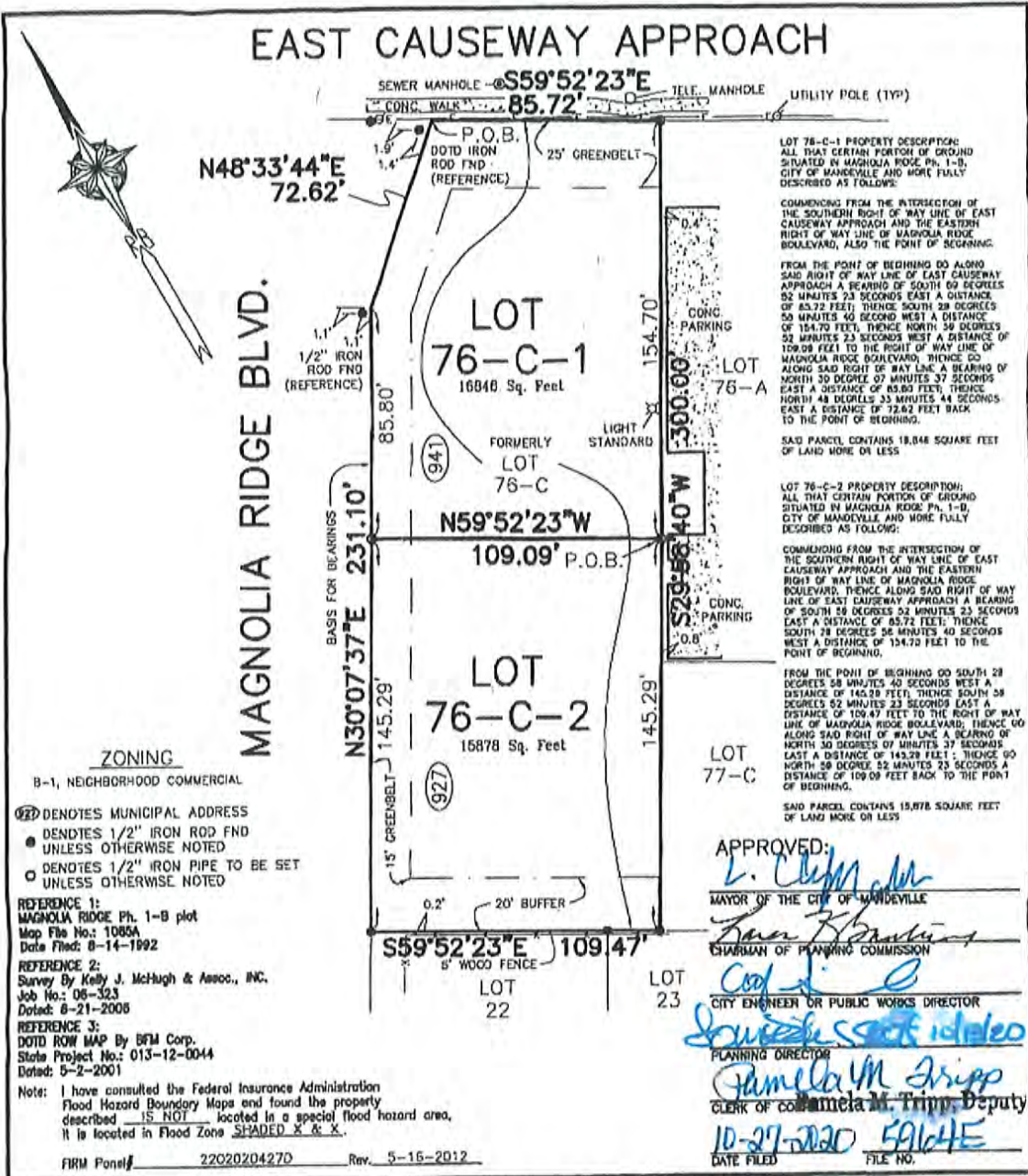


### 6.2.6. Condominium Residential

The use of a site for a building or group of buildings forming a series of attached dwelling units constructed with common or abutting walls and located on a commonly owned site, where the units are owned individually and the land, structure(s), common areas and facilities are owned directly or indirectly by all the unit owners on a proportional, undivided basis.



# EAST CAUSEWAY APPROACH



N48°33'44"E  
72.62'

MAGNOLIA RIDGE BLVD.

LOT 76-C-1  
16846 Sq. Feet

LOT 76-C-2  
15878 Sq. Feet

LOT 76-C-1 PROPERTY DESCRIPTION:  
ALL THAT CERTAIN PORTION OF GROUND SITUATED IN MAGNOLIA RIDGE PH. 1-B, CITY OF MANDEVILLE AND MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING FROM THE INTERSECTION OF THE SOUTHERN RIGHT OF WAY LINE OF EAST CAUSEWAY APPROACH AND THE EASTERN RIGHT OF WAY LINE OF MAGNOLIA RIDGE BOULEVARD, ALSO THE POINT OF BEGINNING FROM THE POINT OF BEGINNING GO ALONG SAID RIGHT OF WAY LINE OF EAST CAUSEWAY APPROACH A BEARING OF SOUTH 09 DEGREES 52 MINUTES 23 SECONDS EAST A DISTANCE OF 85.72 FEET; THENCE SOUTH 28 DEGREES 58 MINUTES 40 SECONDS WEST A DISTANCE OF 154.70 FEET; THENCE NORTH 30 DEGREES 52 MINUTES 23 SECONDS WEST A DISTANCE OF 109.09 FEET TO THE RIGHT OF WAY LINE OF MAGNOLIA RIDGE BOULEVARD; THENCE GO ALONG SAID RIGHT OF WAY LINE A BEARING OF NORTH 30 DEGREE 07 MINUTES 37 SECONDS EAST A DISTANCE OF 85.80 FEET; THENCE NORTH 48 DEGREES 33 MINUTES 44 SECONDS EAST A DISTANCE OF 72.62 FEET BACK TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 18,848 SQUARE FEET OF LAND MORE OR LESS

LOT 76-C-2 PROPERTY DESCRIPTION:  
ALL THAT CERTAIN PORTION OF GROUND SITUATED IN MAGNOLIA RIDGE PH. 1-B, CITY OF MANDEVILLE AND MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING FROM THE INTERSECTION OF THE SOUTHERN RIGHT OF WAY LINE OF EAST CAUSEWAY APPROACH AND THE EASTERN RIGHT OF WAY LINE OF MAGNOLIA RIDGE BOULEVARD, THENCE ALONG SAID RIGHT OF WAY LINE OF EAST CAUSEWAY APPROACH A BEARING OF SOUTH 09 DEGREES 52 MINUTES 23 SECONDS EAST A DISTANCE OF 85.72 FEET; THENCE SOUTH 28 DEGREES 58 MINUTES 40 SECONDS WEST A DISTANCE OF 154.70 FEET TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING GO SOUTH 28 DEGREES 58 MINUTES 40 SECONDS WEST A DISTANCE OF 145.29 FEET; THENCE SOUTH 58 DEGREES 52 MINUTES 23 SECONDS EAST A DISTANCE OF 109.47 FEET TO THE RIGHT OF WAY LINE OF MAGNOLIA RIDGE BOULEVARD; THENCE GO ALONG SAID RIGHT OF WAY LINE A BEARING OF NORTH 30 DEGREE 07 MINUTES 37 SECONDS EAST A DISTANCE OF 145.29 FEET; THENCE GO NORTH 58 DEGREE 52 MINUTES 23 SECONDS WEST A DISTANCE OF 109.09 FEET BACK TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 15,878 SQUARE FEET OF LAND MORE OR LESS

APPROVED:  
*L. Clemens*  
MAYOR OF THE CITY OF MANDEVILLE  
*Roger K. Brantley*  
CHAIRMAN OF PLANNING COMMISSION  
*Coop*  
CITY ENGINEER OR PUBLIC WORKS DIRECTOR  
*J. M. Tripp*  
PLANNING DIRECTOR  
*Jamela M. Tripp*  
CLERK OF COMMISSION  
10-27-2020 59164E  
DATE FILED FILE NO.

**ZONING**  
B-1, NEIGHBORHOOD COMMERCIAL

② DENOTES MUNICIPAL ADDRESS  
● DENOTES 1/2" IRON ROD FND UNLESS OTHERWISE NOTED  
○ DENOTES 1/2" IRON PIPE TO BE SET UNLESS OTHERWISE NOTED

REFERENCE 1:  
MAGNOLIA RIDGE PH. 1-B plot  
Map File No.: 1085A  
Date Filed: 8-14-1992

REFERENCE 2:  
Survey By Kelly J. McHugh & Assoc., INC.  
Job No.: 06-323  
Dated: 8-21-2008

REFERENCE 3:  
DOTD ROW MAP By BFM Corp.  
State Project No.: 013-12-0044  
Dated: 5-2-2001

Note: I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS NOT located in a special flood hazard area. It is located in Flood Zone SHADED X & X.

FIRM Panel# 2202020427D Rev. 5-16-2012

Resubdivision of  
LOT 76-C \* MAGNOLIA RIDGE \* PHASE 1-B  
CITY OF MANDEVILLE  
ST. TAMMANY PARISH, LOUISIANA  
INTO  
LOTS 76-C-1 & 76-C-2

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

**Randall W. Brown & Associates, Inc.**  
Professional Land Surveyors  
228 W. Causeway Approach, Mandeville, LA 70448  
(985) 624-5368 FAX (985) 624-5309  
info@brownsurveys.com

Randall W. Brown, P.L.S.  
Professional Land Surveyor  
LA Registration No. 04586

Date: SEPTEMBER 16, 2020  
Survey No. 20583  
Project No. (CRS) D20583.TXT

Scale: 1" = 50' ±  
Drawn By: J.E.D.  
Revised:

adm 20-10-02

Copyright 2020 - Randall W. Brown & Associates, Inc.

Use Classification	B.1	R.3			
6.2 Residential Use Classification					
6.2.1 Single Family		P			
6.2.2 Cluster Resid.*		C			
6.2.3 Duplex Resid.		P			
6.2.4 Two Family *		S			
6.2.5 Townhouse *		S			
6.2.6 Condo. Res.		P			
6.2.7 Multi-Family		P			
6.2.8 Congregate * Living Residential		S			
6.2.9 Commun. Res.*		S			
6.2.10 Mobile Home					
6.2.11 Acces. Res.					
6.2.12 Boathouse Res.					
6.3 Civic Use Classifications					
6.3.2 Cemetery		P			
6.3.3 Club/Lodge	S				
6.3.4 Educational Facilities	S				
6.3.5 Commun. Parking – surface					
6.3.6 Commun. Parking - Multi-Story					
6.3.7 Commun. Rec.	C	P			
6.3.8 Convaless. Ser.	S				
6.3.9 Cultural Serv.	S	P			
6.3.10 Daycare Center (Public)	S				
6.3.11 Essential Ser	P	P			
6.3.12 Guidance Ser.	S				
6.3.13 Group Care Facilities *	C				
6.3.14 Hospital (General)					
6.3.15 Hospital (Limited)	C				
6.3.16 Major Impact Utilities *					
6.3.17 Minor Impact Utilities *	S	S			
Communication Towers	P	S			
6.3.18 Postal & Parcel Del. Ser.	S				
6.3.19 Pub. & Priv. Primary Educ.*	S	S			
6.3.20 Pub. & Priv. Secondary Educ. *	S				
6.3.21 Public Rec. & Park Service	C	C			
6.3.22 Pub. Safety Services	P				
6.3.23 Religious	S				
6.4 Commercial Use Classifications					
6.4.1 Admin. and Bus. Offices	P				

6.4.2 Adult Uses *					
6.4.3 Agr. Sales & Services	S				
6.4.4 Art & Craft Studio (Limited)	P				
6.4.5 Art & Craft Studio (General)	S				
6.4.6 Animal Ken.					
6.4.7 Animal Sales & Ser. (Limited)	P				
6.4.8 Animal Sales & Ser. (General)					
6.4.9 A&E-Wash					
6.4.10 A&E-Fuel *					
6.4.11 A&E Services					
6.4.12 A&E-Truck Service Station					
6.4.13 A&E Ser.Commercial Parking - Surface					
6.4.14 A&E Ser. Commercial Parking – Multi-Story					
6.4.15 A&E Ser. Sales & Rentals*					
6.4.16 A&E Ser. Equipment Sales					
6.4.17 A&E Ser.-Auto Repair (Enclosed)					
6.4.18 A&E Repair					
6.4.19 A&E Vehicle Storage (Enclosed)					
6.4.20 Building Maintenance	P				
6.4.21 Business Support-General	S				
6.4.22 Business Support-Limited	P				
6.4.23 Business or Trade School	S				
6.4.24 Comm. Rec. Indoor Sports	S				
6.4.25 Comm. Rec. Outdoor Sports					
6.4.26 Comm. Rec. Indoor Entertainment					
6.4.27 Comm. Rec. Outdoor Entertainment					
6.4.28 Communications Services					
6.4.29 Construction Sales & Services					
6.4.30 Construction Sales & Ser. (Encl.)					
6.4.31 Consumer Repair Services	P				
6.4.32 Convenience Mini-Storage*					
6.4.33 Daycare *	S	S			

6.4.34 Exterm. Ser.					
6.4.35 Finan. Ser.	P				
6.4.36 Food Sales	P				
6.4.37 Funeral Ser.					
6.4.38 General Retail Sales Conven.	P				
6.4.39 General Retail Sales General	S				
6.4.40 General Retail Sales Bulk	S				
6.4.42.1 Lodging - Bed & Breakfast Res.		P			
6.4.42.2 Lodging - Bed & Breakfast Inn	C				
6.4.42.3 Lodging – Whole House Rental	C	C			
6.4.43 Lodging - * Campground					
6.4.44 Lodging. (Trans) Hotel Motel	C				
6.4.45 Laundry Ser. Coin Operated	P				
6.4.46 Laundry Ser. Neighborhood	P				
6.4.47 Laundry Ser. Commercial					
6.4.48 Marine Ser. Boat Fuel Area					
6.4.49 Marine Ser. Boat Sales/Service					
6.4.50 Marine Ser. Boat Repairs					
6.4.51 Marine Ser. Comm. & Chart. Fish.					
6.4.52 Marine Ser. Incidental Storage					
6.4.53 Marine Ser. * Marinas					
6.4.54 Marine Ser. Retail					
6.4.55 Marine Ser. Rest./Lodging					
6.4.56 Marine Ser. Yacht Clubs					
6.4.57 Medical Ser.	P				
6.4.58 Medical Lab - Non-Patient					
6.4.60 Personal Improvement	P				
6.4.61 Personal Ser.	P				
6.4.62 Research Ser.					
6.4.63 Rest. Drive-in					
6.4.64.1 Rest. Limited Service - Drive Thru	C				
6.4.64.2 Rest. Limited Service	S				

6.4.65 Restaurants Limited Service	S				
6.4.66 Restaurants Sit Down	P				
6.4.67 Restaurants Sit Down with Lounge					
6.4.68 Swap Meets Enclosed					
6.4.69 Swap Meet Unenclosed					
6.4.70.1 Shopping Center Neighborhood	P				
6.4.70.2 Shopping Center Minor					
6.4.70.3 Shopping Center Major					
6.4.71* Special Events Center					
6.4.73 Tavern, * Bar or Lounge					
6.5 Industrial Use Classification					
6.5.1 Basic Ind.					
6.5.2 Custom Manuf.					
6.5.3 Light Manuf. (Enclosed)					
6.5.4 Light Manuf. (Open)					
6.5.5 Old Town Manuf					
6.5.6 Research Ser.Hazardous					
6.5.7 Resource Ext.					
6.5.8 Wholes. Stor. & Dist. Light					
6.5.9 Wholes. Stor. & Dist. Heavy					
6.6 Agricultural Use Classification					
6.6.1 Animal Prod.					
6.6.2 Animal Waste Processing					
6.6.3 Aquaculture					
6.6.4 Horticulture Cultivation					
6.6.5 Horticulture Storage					
6.6.6 Horticulture Storage (Encl.)					
6.6.7 Packing & Processing – Limited					
6.6.8 Packing & Processing – General					
6.6.9 Row & Field Crops					
6.6.10 Tree Crops					
6.7 Combined Use Classification					
6.7.1 Comb. Uses - Residential/Office	P				
6.7.2 Comb. Uses - Residential/Comm.	P				
6.7.3 Planned Comb.Uses					
6.8 Accessory Use Classification					
6.8.1 Accessory Uses (General)	P				
6.8.2 Accessory * Uses (Home Occ)	P	P			

6.8.3 Accessory Uses (Residential)		P			
6.8.4 Acces. Uses **					
Signs – On premise	P	P			
6.8.5 Acces. Uses **					
Signs – Off prem.					
6.8.6 Accessory Outdoor Dining On-Site	S				
6.8.6 Accessory Outdoor Dining In Right-of Way					