

CASE SUMMARY SHEET**CASE NUMBER: SUP22-12-04****DATE RECEIVED: November 14, 2022****DATE OF MEETING: December 13, 2022 and January 10, 2023****Address: 201 Carroll St****Subdivision: Old Town of Mandeville****Zoning District: B-3 Old Mandeville Business District****Property Owner: Lisa Keiffer, LLC****Previous Cases: P16-01-01 Conditional Use (Ord. 15-35) – Outdoor dining in the Right of Way.****Z12-12-07 – Zoning Approval – Sit Down Restaurant****Z12-08-05 – Zoning Approval – Sit Down Restaurant****Z12-02-03 – Zoning Approval – Food Sales****V00-07-16 - Variance - Parking, Landscape Requirements****V00-01-02 – Variance – Parking, Landscape****V00-02-05 Variance – Non-Conforming Development Site****Z00-02-06 - Combined Uses****REQUEST: SUP22-12-04 – Thomas and Lisa Keiffer request a Special Use Permit to allow Lodging (Transient) – Hotel/Motel per the Table of Permitted Uses, CLURO Section 7.8, Sq. 25B Lot 10A, B-3 Old Mandeville Business District, 201 Carroll St.****CASE SUMMARY:**

201 Carroll is located on the corner of Carroll St. and Claiborne St. The property measures 93.5' on Carroll St. and 90.7' on Claiborne St., having a square footage of 8,480. The applicant is requesting to convert an existing commercial building into a 10 room hotel. The use requires special use approval in the B-3 District. The existing food sales will continue to operate on the ground floor.

The applicant has submitted a site plan prepared by KVS Architecture and dated 11.08.22 the plan incorporates the property to the east that measures 90'x147', 2137 Claiborne St., and zoned B-3 Old Mandeville Business District. The property is improved with a single-family residence.

July 2000, a variance was granted for the B-3 site development criteria, as the building sits on the Claiborne St. and Carroll St. property lines. The variance approval also included Parking and Loading, Periphery Landscaping (Greenbelt), Interior Site Planting Regulations, Buffer Zone requirements

In 2012 the Commission approved a variance of 13 spaces from the required 27 spaces required for food sales and restaurant – sit down. The applicant provided 11 spaces on site and 2 on street spaces.

The applicant is proposing to provide the required number of parking spaces by included the rear of the adjacent lot into the site.

Parking:

A Hotel/Motel requires 1 parking space per each lodging unit plus 1 space per 200 sq ft of gross area including restaurant, Lobby & meeting rooms excluding guest rooms and access halls. There are 10 units planned, 1 space per unit and 385 sq ft of lobby and office space, 1 space per 200 sq ft., requiring 12 parking spaces.

Food Sales requires 1 space per 200 sq ft of gross floor area. There is 1,085 sq ft of food sale space requiring 6 spaces.

Business Support Services – General requires 1 space per 400 sq ft of gross floor area. There is 2,700 sq ft of support space requiring 7 spaces. This square footage includes unoccupied spaces, elevator, storage and laundry room.

The total amount of parking spaces required for all the uses is 25 spaces. There are 27 spaces proposed on the site plan, 22 are provided on site and 5 on street parking spaces on Claiborne St.

75% impervious site coverage is the maximum allowable in the B-3 District, previously a variance was granted for the site. The applicant has increased the site development area and is now compliant with the impervious coverage. The site is 21520 sq ft, 7085 sq ft is pervious (33%) and 14435 sq ft impervious (67%).

The applicant has provided the 5' landscape buffer required with special use approval.

CLURO SECTIONS:**4.3.2.7. Review and Evaluation**

1. **Site plans for uses subject to the Special Use Criteria as provided in Article 8 shall be reviewed and evaluated for consistency with such standards.**
2. **Site plans shall be reviewed and evaluated for consistency with all applicable regulations of this Comprehensive Land Use Regulations Ordinance.**
3. **In the event that a proposed site plan does not satisfy the applicable criteria established for review by this Section, modifications to the site plan by the applicant that would result in increased compatibility or would mitigate unfavorable impacts or would cause the site plan to conform to applicable requirements may be considered.**
4. **The Zoning Commission may require modification of a site plan as a condition for approval when required by the Special Use Criteria of Article 8 or Special District Criteria for the district in which the use is proposed, or other provisions of these regulations or other City, state or federal regulations; or, when the site plan is reviewed in connection with a special use permit application, they may recommend such modifications as may be reasonably necessary to achieve the purposes of these regulations. Such modifications may include, but shall not be limited to:**
 - a. **Provision for special yards, open spaces, buffers, fences, walls, and screening; for installation and maintenance of landscaping and drainage control measures; improvements of access and circulations; rearrangements of structures, site improvements or activities within the site; location and character of signs; and such other site plan features as necessary to ensure compatibility with surrounding uses and to support the findings required by this section**
 - b. **Required modifications may exceed the minimum standards established in these regulations to achieve these regulations' purposes.**

4.3.2.8. Findings for Special Use Permit Approvals

The Zoning Commission shall make the following findings before approving a Special Use Permit:

1. **The proposed plan is consistent with the Comprehensive Plan and the purposes of the applicable zoning district.**
2. **That the Special Use Permit application and site plan comply with the standards of these Comprehensive Land Use Regulations.**
3. **That any required modifications to the site plan are reasonable and are the minimum necessary to minimize potentially unfavorable impacts and protect the public health, safety and welfare as follows:**
 - a. **That the proposed use and site development, together with any modifications applicable thereto, will be compatible with existing conforming or permitted uses on adjacent sites or sites across from the proposed development site in terms of building height, bulk, scale, setbacks, open spaces, lighting, signage, landscaping, parking, access and circulation.**
 - b. **The site development provides for the safe and convenient circulation of pedestrians, motorists and bicyclists and adequately addresses the volume and traffic and other transportation impacts of the proposed development.**
 - c. **Proposed parking is designed to minimize negative impacts on surrounding property and provide safe and convenient access to the site.**
 - d. **The proposed design and use of the development adequately protects people and property from the negative impacts of erosion, flood or water damage, fire, odors, noise and glare anticipated to be generated by the proposed development.**

6.4.44. Lodging (Transient) - Hotel/Motel

A facility offering transient lodging accommodations on a daily or weekly rate to the general public with or without providing additional services, such as restaurants, meeting rooms, and recreational facilities available to guests of the facility or the general public. Typical uses include hotels, motels, and transient boarding houses.



PARKING CALCULATIONS:

FOOD SALES: 1 SPACE
 REQ. PER 200 SF
 1,085 SF FOOD SALE SPACE / 200 =
 5.42 - 6 SPACES REQ.

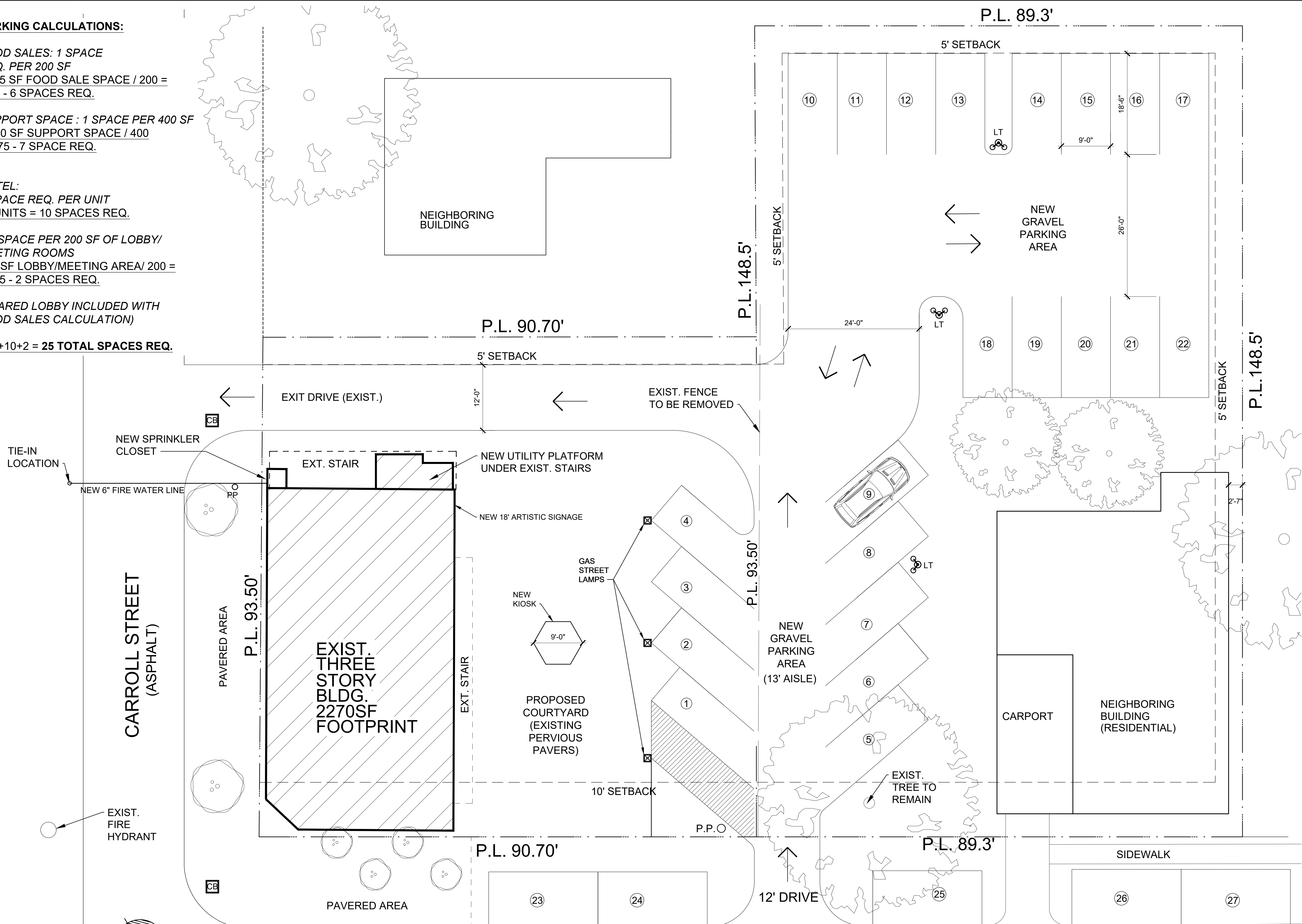
SUPPORT SPACE : 1 SPACE PER 400 SF
 2,700 SF SUPPORT SPACE / 400
 = 6.75 - 7 SPACE REQ.

HOTEL:
 1 SPACE REQ. PER UNIT
 10 UNITS = 10 SPACES REQ.

+ 1 SPACE PER 200 SF OF LOBBY/
 MEETING ROOMS
 385 SF LOBBY/MEETING AREA / 200 =
 1.925 - 2 SPACES REQ.

(SHARED LOBBY INCLUDED WITH
 FOOD SALES CALCULATION)

6+7+10+2 = 25 TOTAL SPACES REQ.



1 SITE PLAN
 1/8" = 1'-0"

KVS architecture
 235 Girod Street, Mandeville, Louisiana
 985.674.3077 www.kvsarchitecture.com

**OLD MANDEVILLE
 GUESTHOUSE**
 201 CARROLL ST. MANDEVILLE, LA 70448

REVISIONS:
 DATE: 11.8.22
 PROJECT No: 20035
 DRAWING:

A1.0

PARKING CALCULATIONS:

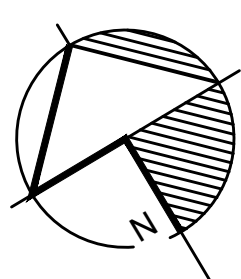
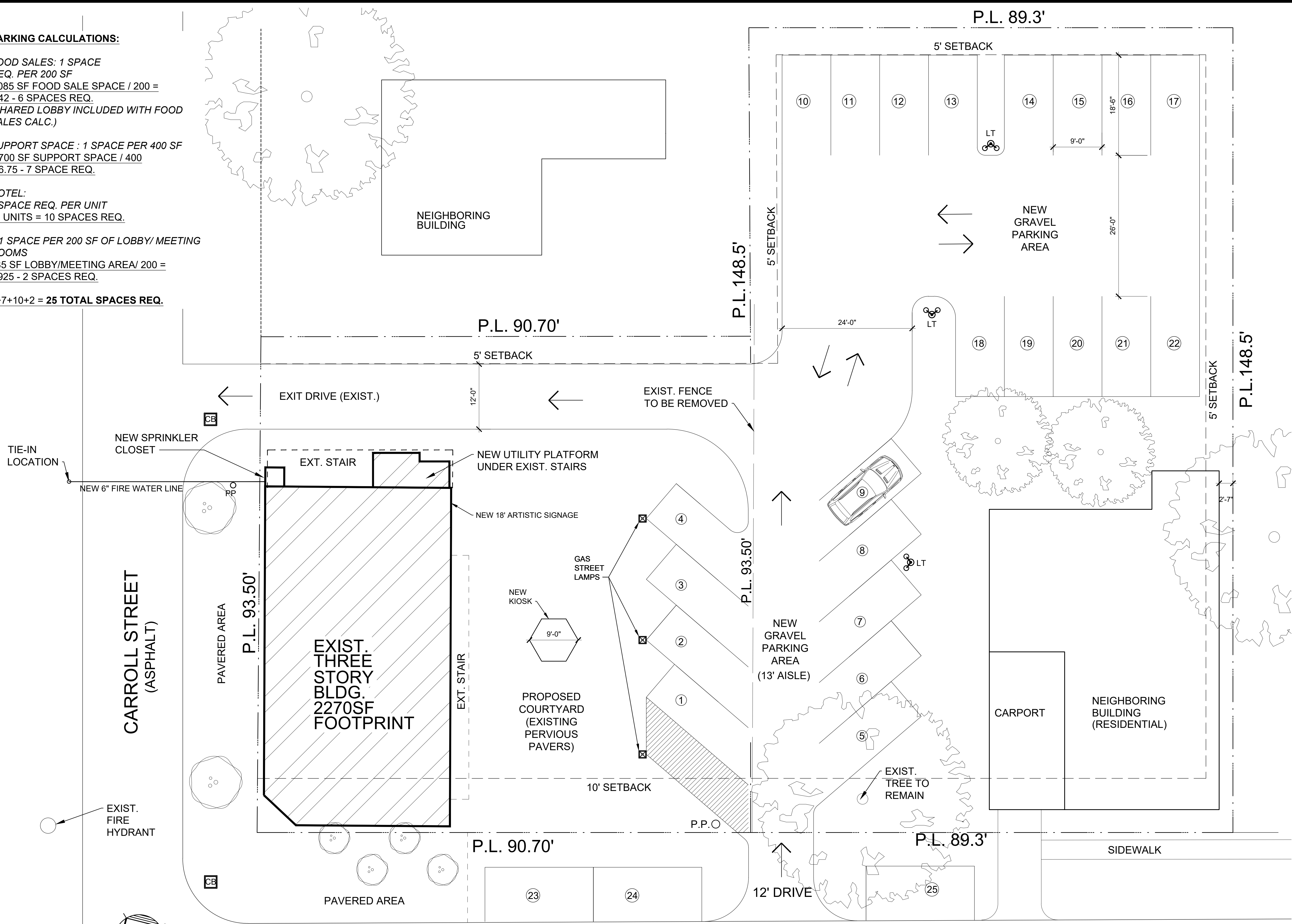
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SALES CALC.)

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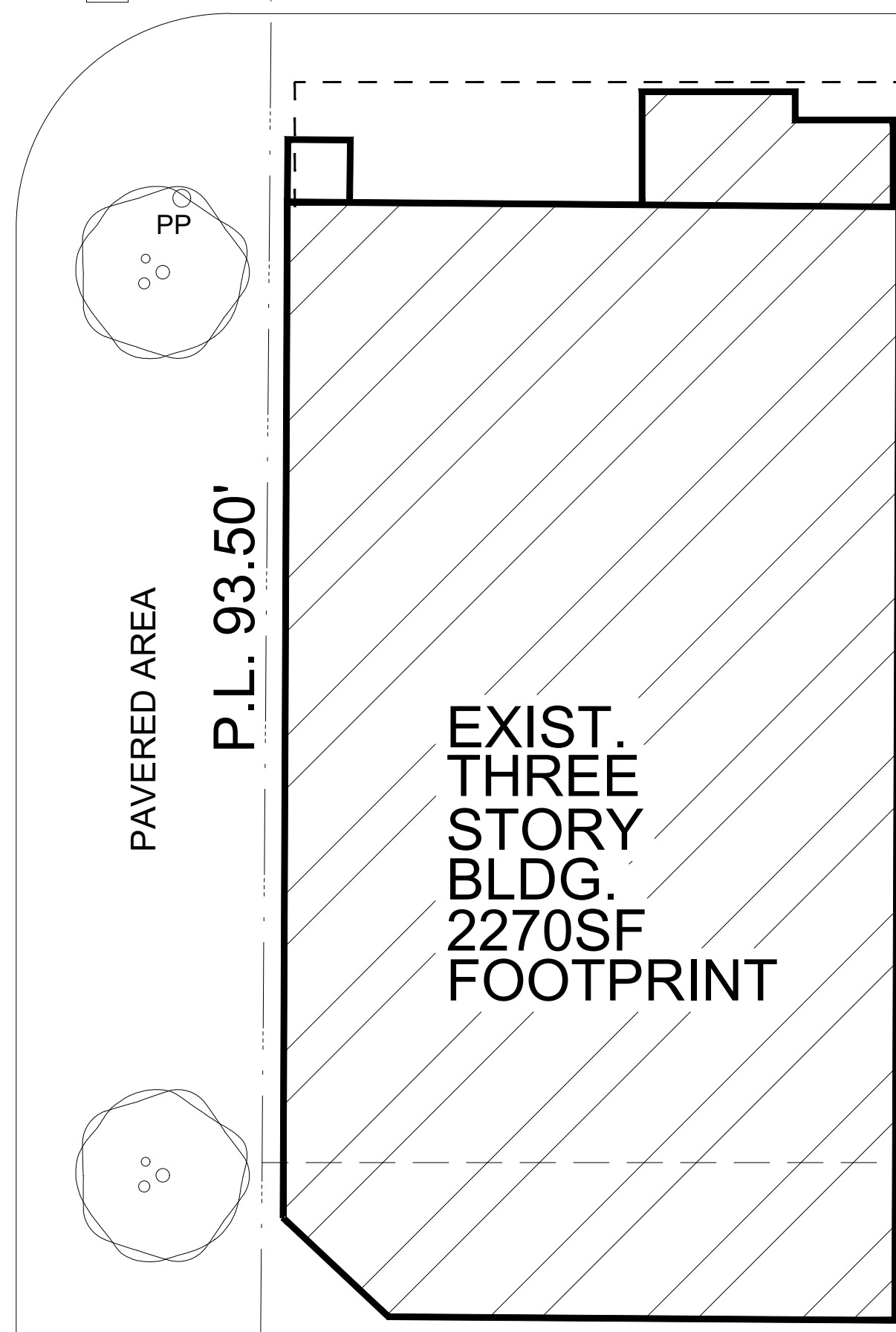
KVS architecture
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**OLD MANDEVILLE
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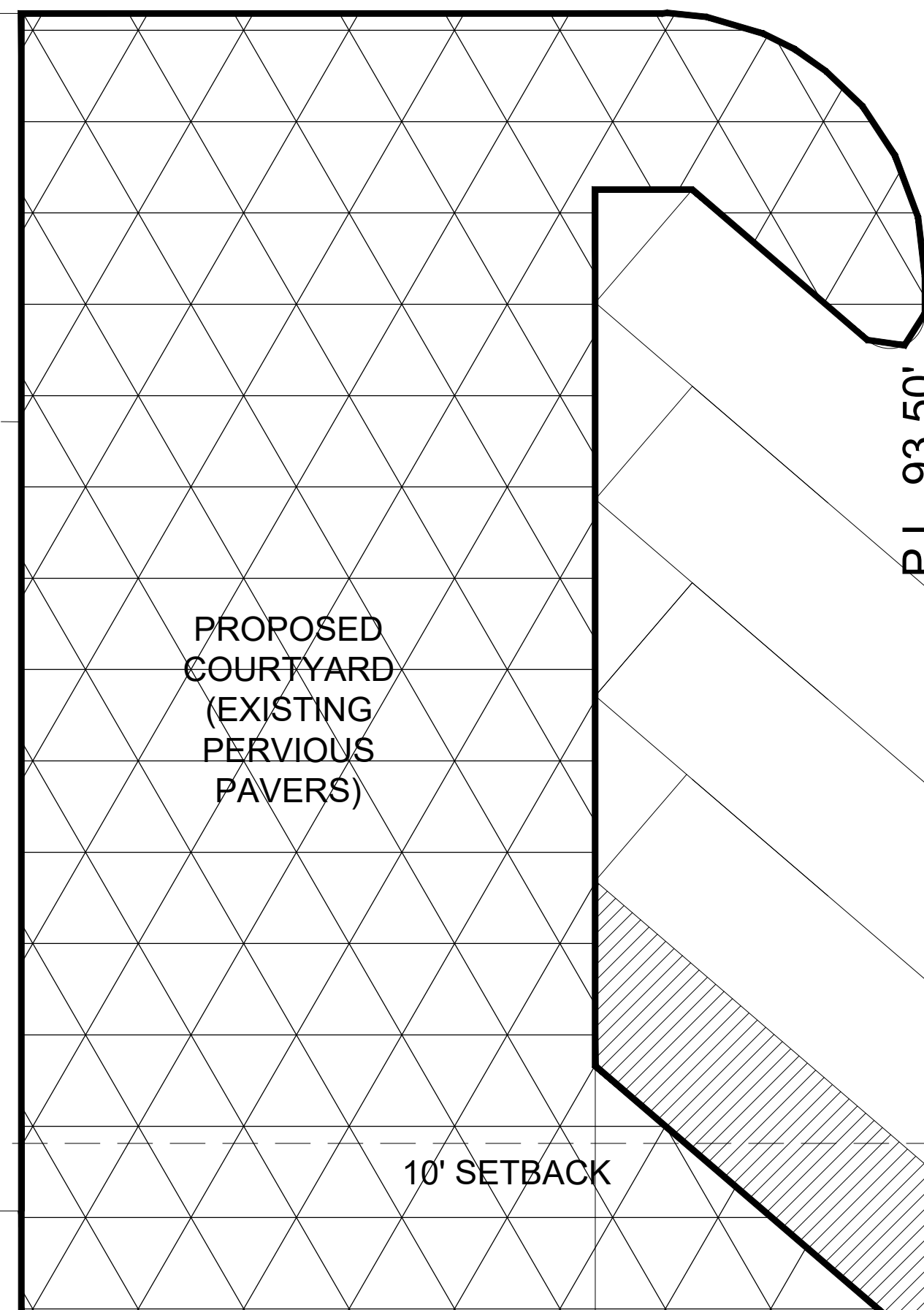
REVISIONS:
DATE: 12.22.22
PROJECT No: 20035
DRAWING:

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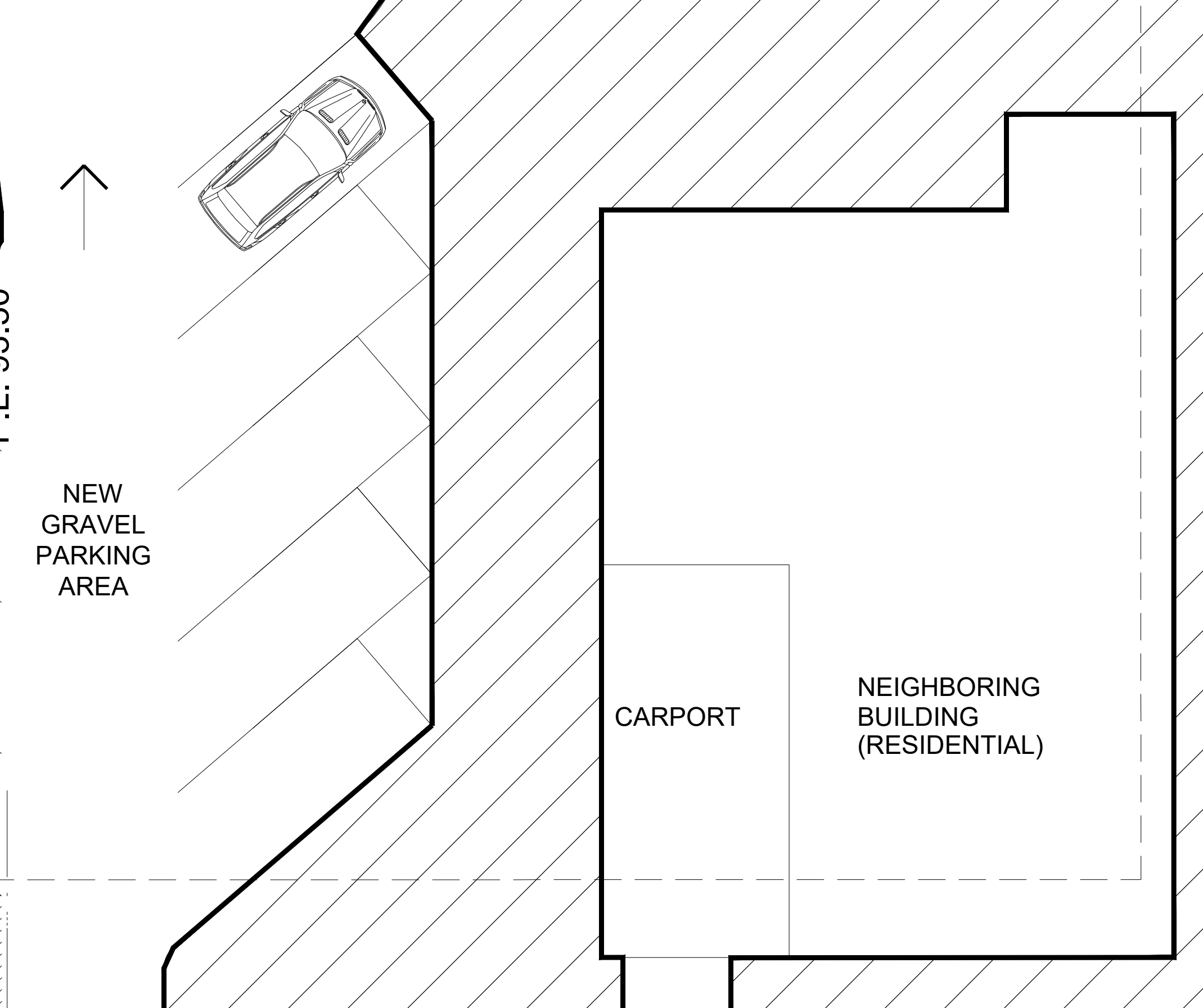
CARROLL STREET
(ASPHALT)



EXIST.
THREE
STORY
BLDG.
2270SF
FOOTPRINT



PROPOSED
COURTYARD
(EXISTING
PERVIOUS
PAVERS)



CARPORT

NEIGHBORING
BUILDING
(RESIDENTIAL)

SIDEWALK

**PERVIOUS / IMPERVIOUS
CALCULATIONS:**

MINIMUM REQUIRED
PERVIOUS AREA : 25%

MAXIMUM ALLOWED
IMPERVIOUS AREA: 75%

TOTAL PROPERTY AREA:
21,520 SF

4,320 SF PERVIOUS AREA
2,765 SF PERVIOUS PAVERS

7,085 SF PERVIOUS AREA

14,435 SF IMPERVIOUS AREA

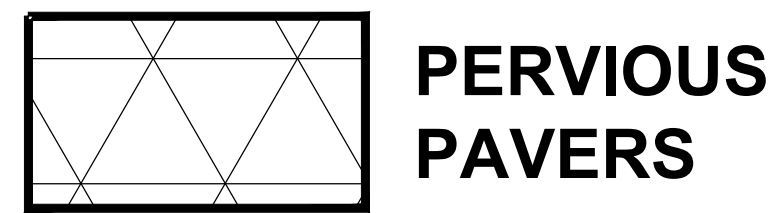
$7,085 / 21,520 = .329$

33% PERVIOUS AREA
67% IMPERVIOUS AREA

KEY:



**PERVIOUS
AREA**

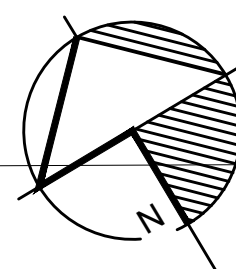


**PERVIOUS
PAVERS**

CB

CB

1 PERVIOUS / IMPERVIOUS PLAN
1/8" = 1'-0"



EXIT DRIVE (EXIST.)

P.L. 90.70'

5' SETBACK

P.L. 148.5'

5' SETBACK

P.L. 89.3'

NEW
GRAVEL
PARKING
AREA

P.L. 148.5'

5' SETBACK

P.L. 93.50'

NEW
GRAVEL
PARKING
AREA

10' SETBACK

P.L. 90.70'

12' DRIVE

P.L. 89.3'

**OLD MANDEVILLE
GUESTHOUSE**
201 CARROLL ST. MANDEVILLE, LA 70448

KVS architecture
235 Girod Street, Mandeville, Louisiana
985.674.3077 www.kvsarchitecture.com

REVISIONS:

DATE:
11.8.22

PROJECT No:
20035

DRAWING:

SD-1



Exhibit 7



THOMAS KEIFFER, SR.
ATTORNEY AT LAW

December 16, 2022

By Email: aweiner@cityofmandeville.com

City of Mandeville
Alex Weiner, Planning Dept. Secretary
3101 E. Causeway Approach
Mandeville, LA 70448

Re: SUP22-12-04

***Special Use Permits for Lodging (Transient) –
Hotel/Motel (CLURO 6.4.44) and
Sign Exception (CLURO 10.5.3.8.1)***

Dear Alex,

On behalf of Lisa Keiffer, LLC (“Applicant”), I am submitting these additional specifications for the vintage sign as requested at the Planning & Zoning Commission meeting held on December 13, 2022:

1. Dimensions – approximately 31 ft² in surface area, 10” deep casing and 18’ tall.
2. Proposed Location – against the northeast corner of three-story bank building, away from the street and adjacent to the new courtyard area.
3. Brightness – in the aggregate only about 500 lumens,¹ which is less than a single 40-watt incandescent lightbulb.²
4. Materials – aluminum casing, metal tubular supports and 15 mm (approximately 5/8”) glass

¹ Source: Applicant’s contractor – Nate Sheaffer of Big Sexy Neon in New Orleans who has 30+ years of experience working with neon lighting (<https://www.bigsexyneon.work/>).

² Source: online lumens-to-watts calculator (<https://www.rapidtables.com/calc/light/lumen-to-watt-calculator.html>).

tubing.

5. Colors – hunter green background in the top section (measuring 2' x 4 ½'), dark maroon background in the vertical section (measuring 2' x 11') and white block letters and borders, as per the original color scheme of this repurposed historic sign.
6. Neon Lettering – the word “OLD” in 14” vintage neon green letters across the top and the word “TOWN” in 18” vintage pink neon letters stacked vertically. (“Old Town” is the historic name of the subdivision comprising most of the Mandeville Historic Preservation District, as indicated by the GIS map on the City’s website).
7. Installation – flanged metal tubular supports (4 ¼” in diameter) connected to flanged metal anchors imbedded in a monolithic concrete footer (approximately 2’ wide x 4’ long x 6’ deep) reinforced with No. 5 rebar.
8. Power Source – dedicated 120-volt circuit on a timer to insure restricted hours of use.

If you require any additional information or documentation, please do not hesitate to contact me. Thank you for your assistance in this matter.

With best regards, I remain,

Sincerely,

Thomas Keiffer, Sr. PLC



Thomas Keiffer, Sr.

cc (via email):

Cara Bartholomew, Planning & Development Director (cbartholomew@cityofmandeville.com)
Lauren Brinkman, Floodplain Administrator (lbrinkman@cityofmandeville.com)
Kathy Reeves, Permits Coordinator (permits@cityofmandeville.com)
Vaughan Sollberger (kvs@kvsarchitecture.com)

these unique characteristics and needs of the district, the following criteria shall be used by the Planning Director to evaluate applications for Special Event and Sign Permits:

1. Identification banners not to exceed eight (8) square feet in area may be displayed on non-residential sites to distinguish non-residential uses from residential uses.
2. Changeable message signs not to exceed eight (8) square feet total on one side shall be allowed during specific hours to be determined in conjunction with approval by the Planning Director of the issuance of a permit.
3. During special events and seasonal campaigns the Planning Director may permit special signage of a scale and size appropriate to the historic and human-scale quality of the B-3 and TC districts.

10.5.3.8. *B-3 Sign Design Standards*

1. **Purpose.** The purpose of this section is to promote the establishment of signage within the B-3 district that is consistent with the area's historic character and pedestrian-oriented streetscapes. The Zoning Commission may grant exceptions to the standards in this section through the Special Use Permit process.
2. Design Principles.
 - a. Design signs to reflect the historic character of Old Mandeville;
 - b. Keep signs simple, easy to read and in scale with the building and building design elements;
 - c. Minimize the amount of text on the sign to keep a clean, simple, easy to read appearance.
 - d. Use simple typefaces that are traditional and easy to read;
 - e. Use graphics that help identify the nature of the business;
 - f. Use material and colors that complement the primary building color and overall streetscape;
 - g. Mount wall signs at a level of that is easy to see for pedestrians passing along the sidewalk and in locations that do not obscure windows, doors or significant architectural features; and
 - h. Use external downward directed lighting that produces an even glow on the sign and does not reflect or spill over onto the sidewalk or adjacent properties; and
 - i. Retain historic signs of cultural or historic significance.
3. **Prohibited Signs.** The following types of signs are prohibited in the B-3 district:
 - a. Billboards and other off-premises signs;
 - b. Portable signs, with the exception of authorized sandwich boards;
 - c. Revolving signs or signs with moving parts;
 - d. Roof-mounted signs
 - e. Electronic message centers;
 - f. Inflatable signs, including moored balloons or inflatable figures; and
 - g. Other signs prohibited by this CLURO.

4. **Design Requirements.** The following design requirements shall apply in addition to standards in this Article and the B-3 zoning district standards.
 - a. **Materials.** Wall and free-standing signs shall be constructed of metal, glass, stone, concrete brick, wood or other material that the Planning Director finds have a substantially similar appearance of one of these materials and equal or greater durability. Awning and canopy signs may be printed on the valance of the awning or canopy.
 - b. **Illumination.** Signs shall be externally illuminated with the following exceptions:
 - (1) Neon signs in building windows or on walls that are no larger than eight (8) square feet in area; or
 - (2) Backlit or haloed letters or logos attached to building walls, where the lighting source is shielded so that the light source is not visible from above the sign.
 - c. **Colors.**
 - (1) Colors should complement the building color.
 - (2) Text should be light colored on a dark background to maximize legibility.



Light colored text on a dark background maximizes legibility

5. **Attached Signs.** Sign attachments shall be made through the joints in masonry rather than into brick or architectural features.
6. **Wall Signs.** Wall signs:
 - a. Shall not project more than six (6) inches from the wall on which they are attached.
 - b. Should be located on flat unadorned wall sections and shall not obscure windows, entries or other architectural features.
 - c. Shall not exceed twenty-five (25) percent of the wall on which they are located.
 - d. If illuminated, shall be down-lit from an external source unless letters are haloed.



7. **Projecting Signs.** Projecting signs:
 - a. Shall be placed perpendicular to the building and have two faces.
 - b. Should be taller than wide and shall not project more than three (3) feet from the wall.
 - c. Shall have a clearance of no less than eight (8) feet between the bottom of the sign and the sidewalk or ground underneath the sign.
 - d. Shall not exceed nine (9) square feet in area per sign face.
 - e. Be designed so that guy wires, if necessary, are inconspicuous.



8. **Awning Signs.** Awnings shall be made of a durable canvas material and designed to complement the building architecture. Text shall be located on the valance and shall not cover more than twenty (20) percent of the awning area.



9. **Window Signs.** Window signs may be placed on or in windows on the ground floor and shall not extend across multiple windows or panes. Window signs shall not cover more than 25 percent of the total ground floor window area, including incidental window signs. Paper signs and

window banners are prohibited. Window signs should incorporate lettering and graphics that reflect the type of business they advertise.



10. **Freestanding Signs.** Freestanding signs:

- a. Shall be limited to one per frontage, but may list multiple tenants within a building through coordinated sign design.
- b. Shall be supported by a monument base, by two wood, metal or masonry posts or constructed as projecting signs from a single post. Freestanding signs shall not be placed on top of a single post or pylon.
- c. Should be oriented for easy visibility for pedestrians.
- d. Shall be located and designed so they do not encroach upon traffic visibility areas.



10.5.3.9. Seasonal Cloth Banners

Temporary seasonal cloth banners such as but not limited to those attached to light standards within a parking area may be allowed on multi-occupant premises upon review of and approval by the Planning Director prior to issuance of a temporary permit for the display of such banners subject to the following requirements:

1. No seasonal banner shall exceed eight (8) square feet in area.
2. The total number, location and method of attachment display shall be approved by the Planning Director.
3. No advertising message shall be conveyed on the banners, however, non-advertising seasonal greetings are allowed.
4. The identifying name of the multi-occupant premises may be included on the banner but such name shall not exceed fifty (50) percent of the banner area.

10.5.3.10. *Election Signs*

1. No permit is required for the placement of an election sign by the property owner on an individual property. The certification required under this section shall authorize the distribution, erection and display of an unlimited number of signs of the type or types submitted as specimens by the applicant and shall allow for the placement of one (1) sign to be erected per premises/street frontage.
2. Any person desiring to distribute or display election signs in support of or opposition to and candidacy, political slate or ticket, or ballot proposal shall first make application to the Building Official for the issuance of a temporary sign permit. Such application shall include the name, address and telephone number of the applicant. The applicant for the certification shall provide specimen copies of all signs to be distributed or displayed under the permit.
3. The Building Official shall issue the requested certification upon receipt of the following:
 - a. An application with all requested information supplied; and
 - b. A signed statement indicating that the applicant is aware of, and agrees to comply with the following rules pertaining to election signs.
 - (1) Any such permit shall be issued for a period of time not to exceed ninety (90) consecutive calendar days; provided, however, that in the event that signs are distributed, erected or displayed under any such permit in connection with any candidacy or ballot proposal which involves more than one election, the permit shall be automatically extended to the tenth day following the date of the general election to which the sign pertains.
 - (2) No election sign shall be erected or displayed in any public right-of-way. No solicitation of votes shall take place in the public right-of-way.
 - (3) No election sign shall exceed thirty-two (32) square feet in sign face area in a non-residential or combined use district, or eight (8) square feet in a residential district. No political sign shall be stacked one on top of the other in billboard fashion.
 - (4) The applicant shall remove all election signs erected or displayed under any permit issued to him under the provisions of this section no later than ten (10) calendar days following the last election to which the sign pertains. Upon the failure to timely remove such signs the City may thereafter remove and dispose of any remaining signs and cite the applicant for non-compliance.

CASE SUMMARY SHEET

CASE NUMBER: V22-12-36

DATE RECEIVED: November 8, 2022

DATE OF MEETING: December 13, 2022 and January 10, 2023

Address: 2047 Lakeshore Dr

Subdivision: Parcel 3, Square 1, Town of Mandeville

Zoning District: B-3 Old Mandeville Business District

Property Owner: Frank Stuart

REQUEST: V22-12-36 – Frank Stuart requests a variance to CLURO Section 8.1.1.4 Allowed Setback Encroachments, Sq 1 Lot 3, B-3 Old Mandeville Business District, 2047 Lakeshore

CASE SUMMARY:

The applicant owns the property at 2047 Lakeshore Dr. The lot measures 68’x 245’ and is located east of Lafitte St., and west of Girod St. as shown on the site plan (sheet A1.0) prepared by KVS Architecture and dated 7.28.21. A duplex is currently under construction.

The B-3 District allows for mechanical equipment to be located within the side setback, however, if the equipment is elevated more than 3’ above grade the equipment shall comply with applicable building setbacks. The equipment is required to be screened in accordance with Article 9 regardless of elevation. The structure is within Flood Zone VE12, with the additional 2’ of freeboard that is required by the City, the equipment must be located a minimum of 9’-5” from grade. The equipment would be over 3’ from grade therefore requiring a variance to place the equipment in the side yard setback.

The applicant is requesting a variance to place a generator in the east side yard setback. The applicant will be required to get an elevation certificate before a permit can be issued to verify height of the mechanical equipment should the variance be approved.

The lot has a frontage of 68.5’ requiring 12’ side setbacks. The east setback is currently 8’-6” with the west setback being 15’-9” due to an allowed flex of the side yard setbacks. The generator measures 7.5’x2.75’. The applicant has proposed two locations for the generator. The first location would be 3ft from the house and 3ft from the property line. The second is by a cut in next to an inoperable window which measures 10’-6” from the property line. This location would be 4ft from the house and 4ft from the property line. The generator will be screened by bamboo at both locations.

OPTION 1	Current	Proposed	Deficient
West Side Setback	15’-9”	15’-9”	+3’-9”
East Side Setback	8’-6”	2’-10”	-9’-2”

OPTION 2	Current	Proposed	Deficient
West Side Setback	15’-9”	15’-9”	+3’-9”
East Side Setback	8’-6”	3’-10”	-8’-2”

At the December 13th meeting it was requested that the location requirements for generator placement be confirmed. After speaking with Glenn Jones, the Building Official, he stated that 3ft is the distance from a structure that he requires for placement.

CLURO SECTIONS:

8.1.1.4. Allowed Setbacks Encroachments

Every part of a required setback shall be open to the sky and unobstructed by accessory structures except:

- 4. Mechanical Equipment. Except as authorized for the elevation of existing structures, or where there is existing mechanical equipment located within the side setback, heating, ventilation, air conditioning, generator, or pool equipment shall not encroach into any required front or side setback.

7.5.10.3. B-3 Site Development Regulations

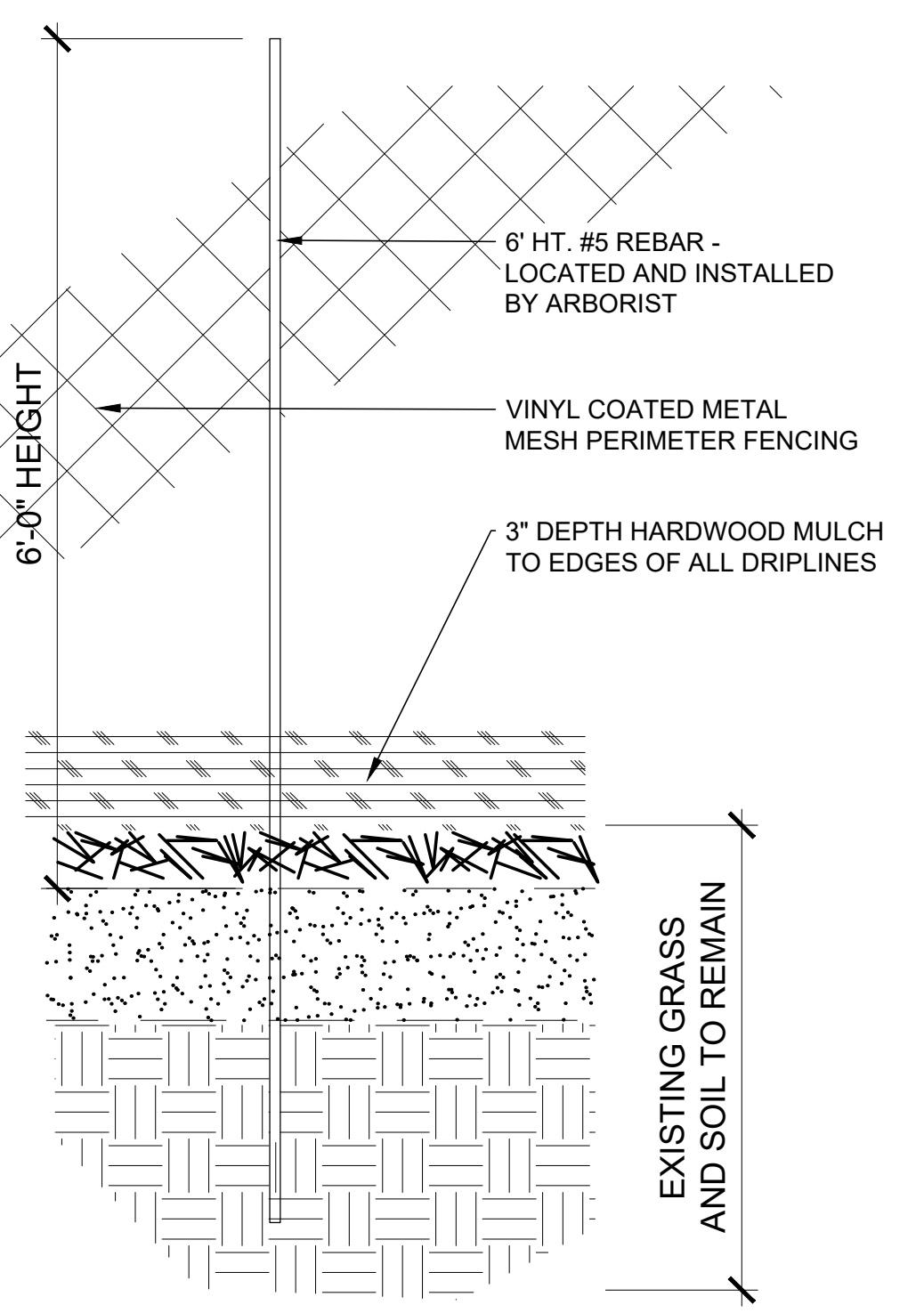
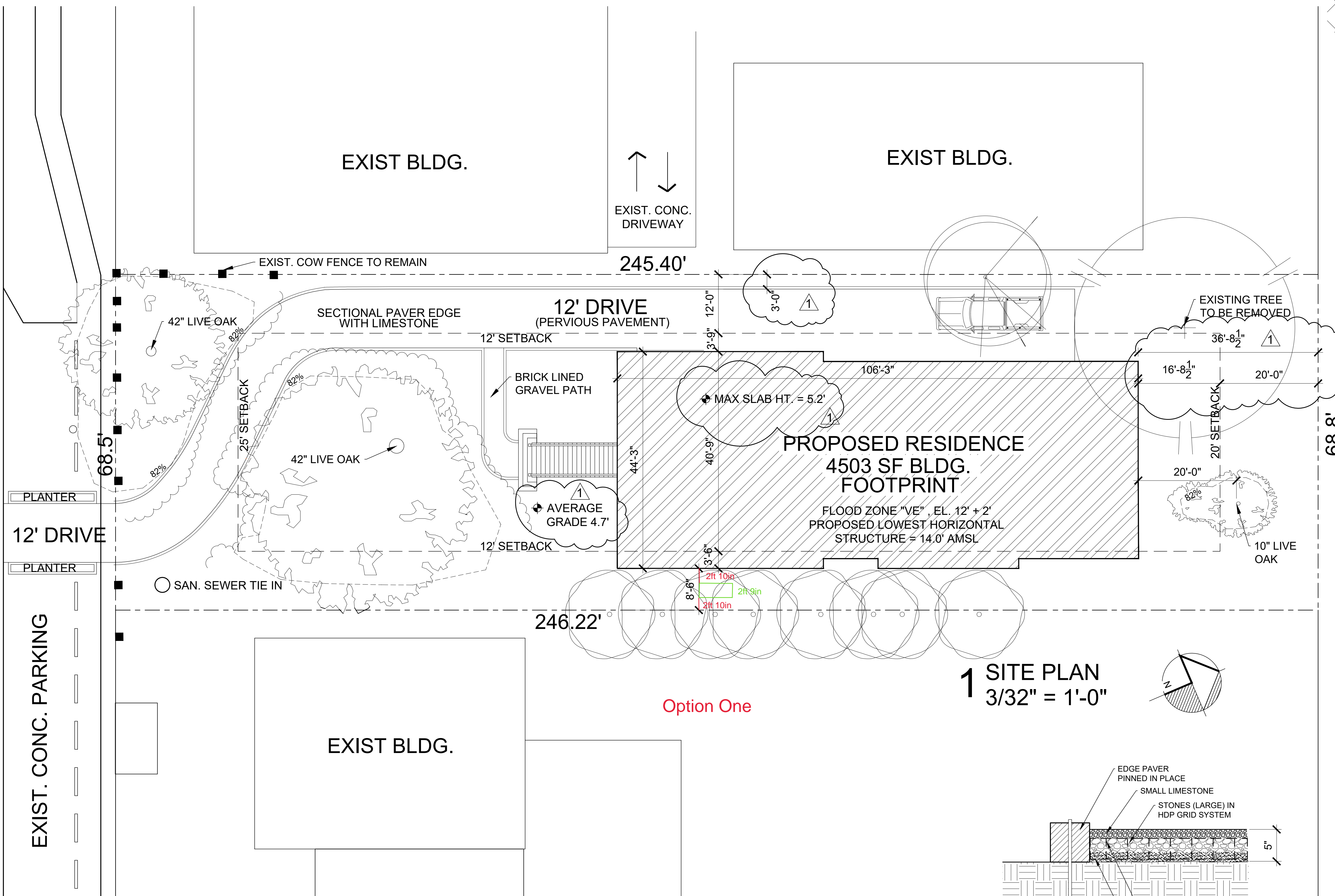
Site Development Factor	Standard	Comments
Minimum Lot Area	7,200 square feet	
Gross Lot Area Per Multi-Family Dwelling Unit	5,500 square feet	
Minimum Building Floor Area	800 square feet	
Maximum Building Ground Floor Area	5,000 square feet	No floor shall exceed this maximum floor area unless the Zoning Commission finds that the building meets the criteria established in section 7.5.10.2.3.
Minimum Lot Width	60 feet	The Planning Director may reduce dimensions by up to 10 percent as an exception if the minimum lot area requirements are met.
Minimum Lot Depth	120 feet	

Minimum Front Setback along Lakeshore Drive	25 feet	
Front Setback along all other Streets	The average of existing setbacks on the nearest two lots, but not less than 10 feet or more than 15 feet	Exceptions to maximum setbacks shall be allowed for courtyards and outdoor dining areas
Minimum Side Street Setback	15 feet	
Minimum Interior Side Setback*	20 feet if side abuts a lot with residential zoning	No setback is required for commercial buildings that extend across a property line or constructed with a firewall on the property line that complies with adopted building codes. The Planning Director may grant an exception for the elevation of existing primary structures where relocation of the building or mechanical equipment are impractical.
Frontage up to 50'	8' each side	
Frontage between 51' – 60'	10' each side	
Frontage between 61' – 75'	12' each side	
Frontage between 76' – 80'	13' each side	
Frontage between 81' – 90'	15' each side	
Frontage between 91' – 100'	16' each side	
Frontage between 101' -110'	18' each side	
Frontage between 111' - +'	20' each side	
Minimum Rear Setback	20 feet	
Mechanical Appurtenances	All mechanical appurtenances elevated more than 3 feet above grade shall comply with required building setbacks and shall be screened in accordance with Article 9 if located in the front or side yard, regardless of elevation.	The Planning Director may grant an exception for mechanical appurtenance setback encroachments when an existing primary structure is elevated and relocation of the building or mechanical equipment is impractical.
Maximum Structure Height	35 feet	See section 8.1.1 for additional rules regarding Structure Height
Maximum Impervious Site Coverage	75%	

*The side yard setbacks of the site may be shifted into the opposite side yard by up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.



LAKESHORE DRIVE

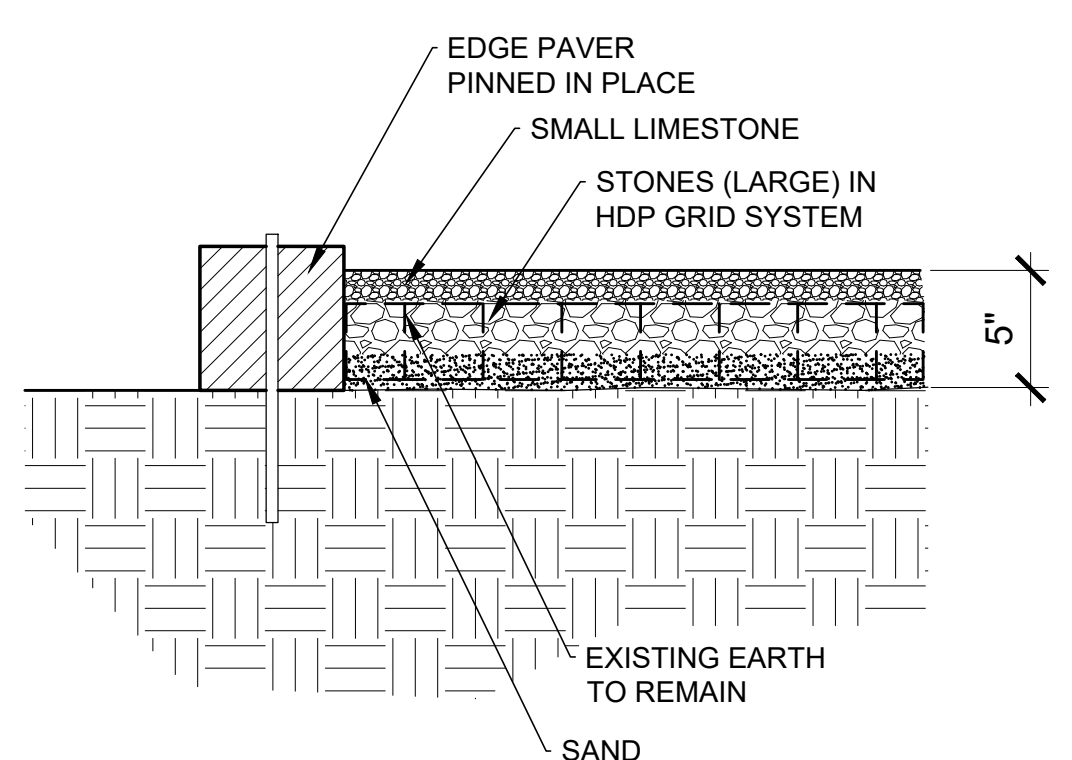


3 TREE FENCE DETAIL
1-1/2" = 1'-0"

LIVE OAK TREE PROTECTION NOTES:

- CONSTRUCTION ENTRANCE TO JOBSITE TO BE THROUGH REAR OF ADJACENT PROPERTY ONLY. CONSTRUCTION ACCESS TO SITE FROM LAKESHORE DRIVE IS NOT ALLOWED.
- CONTRACTOR TO RESERVE AN OFF-SITE STAGING AREA AND COORDINATE MATERIAL DELIVERIES WITH ADJACENT PROPERTY OWNER AND TENANT.
- PRIOR TO ANY SITE CLEARING, ARBORIST TO INSTALL 6' HT. TEMP. METAL FENCING AS INDICATED AROUND LIVE OAK DRIP LINES AND ON SITE PLAN.
- CONTRACTOR TO CALL FOR INSPECTION BY CITY TREE PROTECTION DEPT. 985-626-3144 FOR VERIFICATION AND LOCATION PRIOR TO BEGINNING WORK.
- PRIOR TO ANY WORK, SURVEYOR TO MARK ALL BUILDING CORNERS AND EDGE OF SLAB.
- CONTRACTOR TO INSTALL 3" DEEP BED OF NATURAL HARDWOOD MULCH INSIDE ALL AREAS OF TREE PROTECTION FENCES.
- UNDER NO CIRCUMSTANCES SHALL ANY MATERIALS, TOOLS, OR EQUIPMENT BE LOCATED INSIDE TREE PROTECTION FENCES.
- CONTRACTOR TO INSTALL & MAINTAIN VISIBLE SIGNS PROHIBITING ACTIVITY INSIDE TREE PROTECTION FENCES.
- CONTRACTOR TO IMPLEMENT & MAINTAIN TREE PROTECTION PROCEDURES FOR THE DURATION OF CONSTRUCTION.
- INSTALLATION OF UNDERGROUND UTILITIES TO BE INSTALLED BY DIRECTIONAL BORING ONLY.

1 SITE PLAN
3/32" = 1'-0"

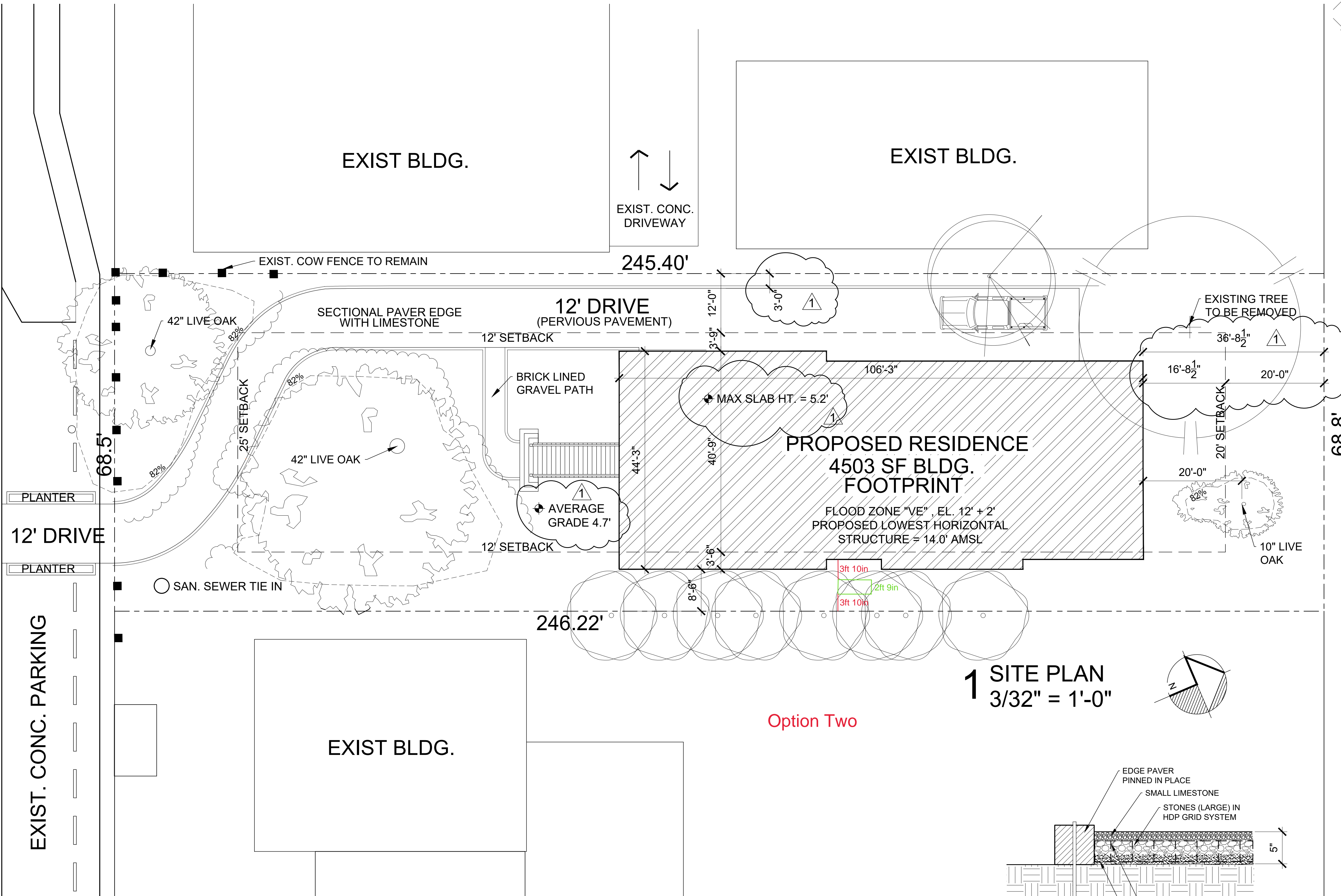


2 FUTURE DRIVE DETAIL
1-1/2" = 1'-0"



REVISIONS:	
1	8.20.21
DATE:	7.28.21
PROJECT No:	20051
DRAWING:	

LAKESHORE DRIVE



12' DRIVE

EXIST. CONC. PARKING

EXIST BLDG.

EXIST BLDG.

EXIST BLDG.

EXIST. CONC. DRIVEWAY

EXIST. COW FENCE TO REMAIN

245.40'

SECTIONAL PAVER EDGE WITH LIMESTONE

12' DRIVE (PERVIOUS PAVEMENT)

12' SETBACK

BRICK LINED GRAVEL PATH

12' SETBACK

PROPOSED RESIDENCE
4503 SF BLDG. FOOTPRINT

FLOOD ZONE "VE", EL. 12' + 2'
PROPOSED LOWEST HORIZONTAL STRUCTURE = 14.0' AMSL

MAX SLAB HT. = 5.2'

AVERAGE GRADE 4.7'

42" LIVE OAK

42" LIVE OAK

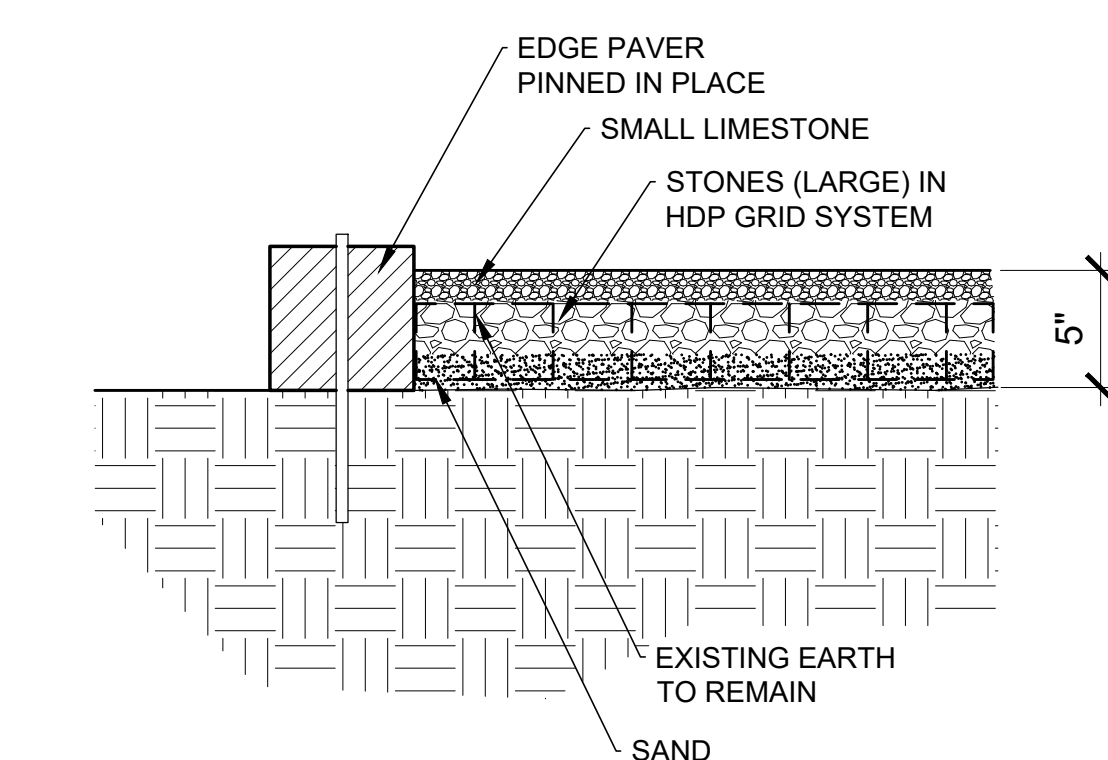
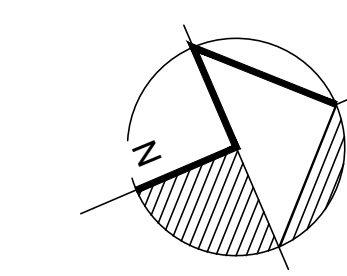
EXISTING TREE TO BE REMOVED

10" LIVE OAK

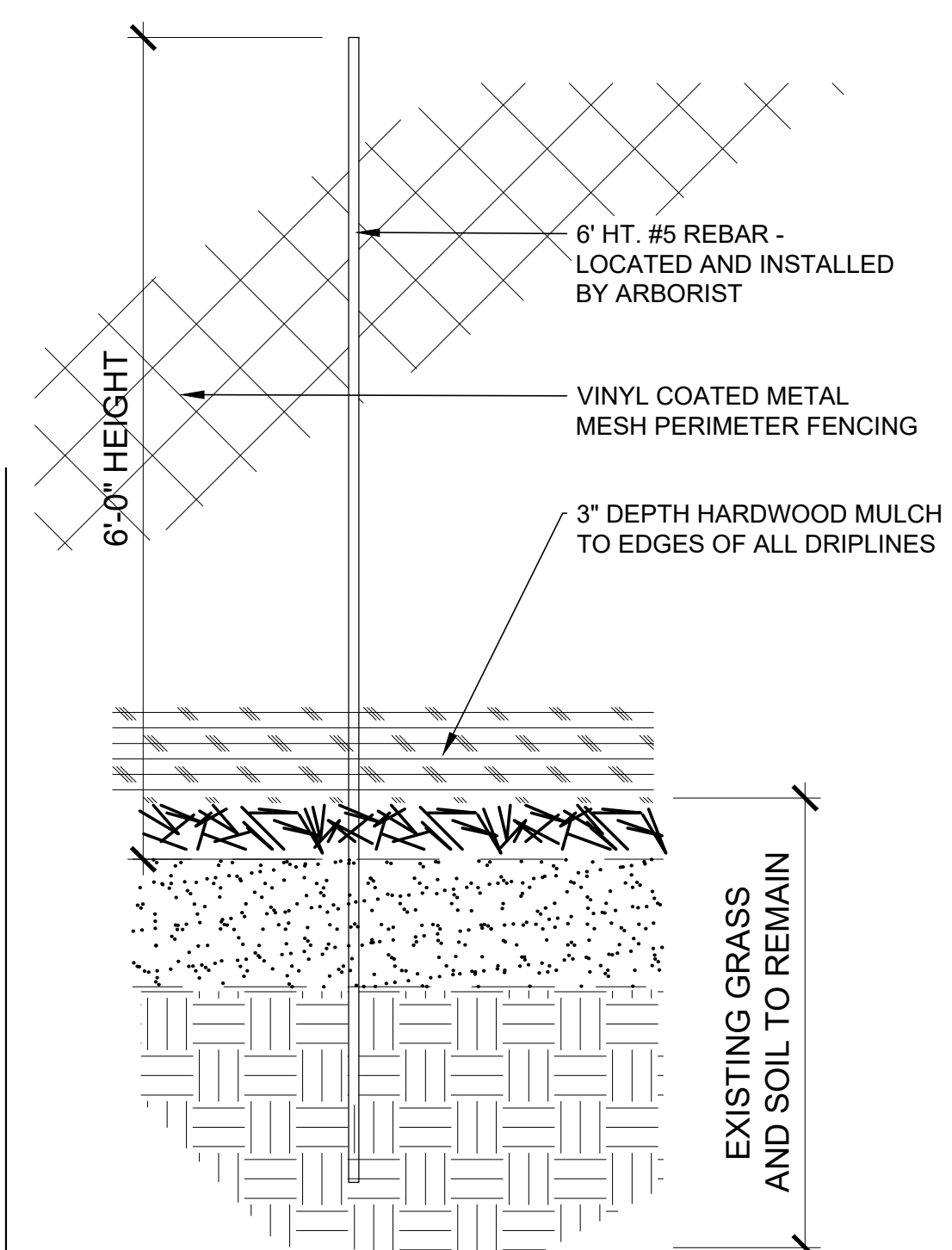
246.22'

Option Two

1 SITE PLAN
3/32" = 1'-0"



2 FUTURE DRIVE DETAIL
1-1/2" = 1'-0"



3 TREE FENCE DETAIL
1-1/2" = 1'-0"

LIVE OAK TREE PROTECTION NOTES:

- CONSTRUCTION ENTRANCE TO JOBSITE TO BE THROUGH REAR OF ADJACENT PROPERTY ONLY. CONSTRUCTION ACCESS TO SITE FROM LAKESHORE DRIVE IS NOT ALLOWED.
- CONTRACTOR TO RESERVE AN OFF-SITE STAGING AREA AND COORDINATE MATERIAL DELIVERIES WITH ADJACENT PROPERTY OWNER AND TENANT.
- PRIOR TO ANY SITE CLEARING, ARBORIST TO INSTALL 6' HT. TEMP. METAL FENCING AS INDICATED AROUND LIVE OAK DRIP LINES AND ON SITE PLAN.
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- INSTALLATION OF UNDERGROUND UTILITIES TO BE INSTALLED BY DIRECTIONAL BORING ONLY.

KVS architecture
 235 Girod Street, Mandeville, Louisiana
 985.674.3077 www.kvsarchitecture.com



STUART LIUZZA MASSEY
RESIDENCE
 2047 LAKESHORE DRIVE, MANDEVILLE, LA 70448

REVISIONS:	
1	8.20.21
DATE:	7.28.21
PROJECT No:	20051
DRAWING:	

A1.0

CASE SUMMARY SHEET

CASE NUMBER: V22-12-37

DATE RECEIVED: November 15, 2022

DATE OF MEETING: December 13, 2022 and January 10, 2023

Address: 625 Marigny Avenue

Subdivision: Town of Mandeville Sq. 53, Lot 18A

Zoning District: R-1 Single Family Residential District

Property Owner: Brad Jones

REQUEST: V22-12-37 – Brad Jones requests a variance to CLURO Section 7.5.1.3 R-1 Site Development Regulations, Sq 53 Lot 18A, R-1 Single Family Residential District, 625 Marigny

CASE SUMMARY:

625 Marigny is located on the east side of Marigny Ave., north of Livingston St., south of Montgomery St., and west of Lamarque St. The property measures 112.06' x 293.10' having a square footage of 32,844 sq ft per a survey prepared by Kelly McHugh & Assoc., Inc. and dated 10.04.22. The property is improved with a single-family residence.

The applicant is requesting to encroach into the front yard and side yard setbacks with a porch addition and residence addition respectively. The existing residence is setback 21' from the front property line and 7'6" from the north side setback.

Per a site plan drawn by KVS Architecture, dated 11.15.22 the porch addition is proposed to be 9'2" from the front property line. The addition is proposed to be constructed in-line with the existing structure, the setback of 7'6" will continue on the north side setback for 42' to the east.

	Existing	Proposed	Change	Deficiency
Front Setback	21'9"	9'2"	12'7"	-15'10"
Interior Side (N)	7'6"	7'6"	0	-12'6"
Interior Side (S)	20'	20'	0	Compliant
Rear	30'	30'	0	Compliant

CLURO SECTIONS:**7.5.1.3. R-1 Site Development Regulations**

Each development site in the R-1 Single-Family Residential Zoning District shall be subject to the following site development regulations in addition to any regulations applicable under the provisions of Article 8. The Planning Director may grant exceptions to the following standards pursuant to section 4.3.5.

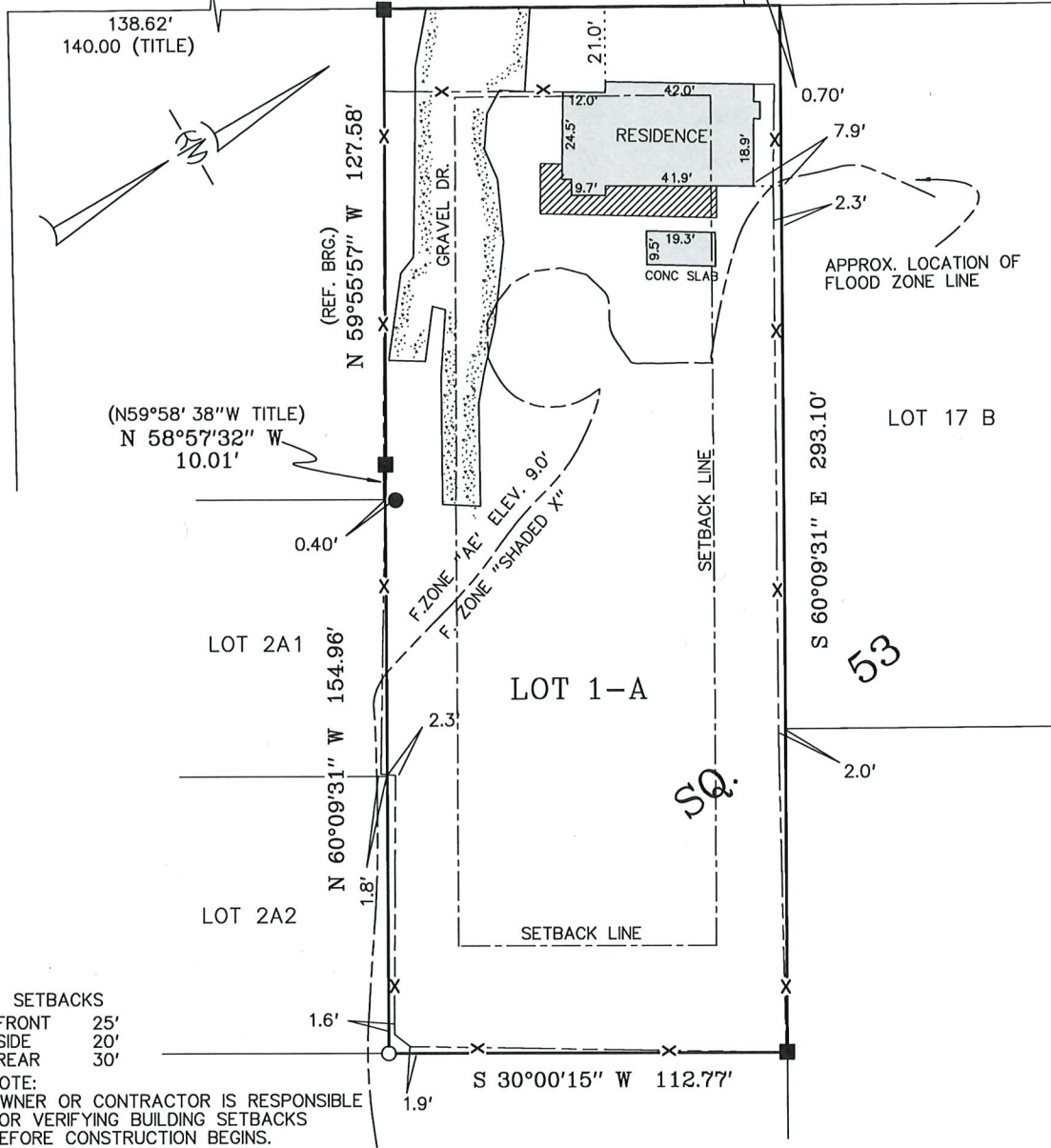
1. Minimum lot area	10,800 Square feet (except for legal non-conforming lots as provided)
2. Minimum building area (Square feet per unit)	1,200 Square feet
3. Minimum lot width	90'
4. Minimum lot depth	120'
5. Minimum Yard Setback Requirements	
a. Front yard	25'
b. Interior side yard*	
i. Frontage up to 50'	8' each side
ii. Frontage between 51' – 60'	10' each side
iii. Frontage between 61' – 75'	12' each side
iv. Frontage between 76' – 80'	13' each side
v. Frontage between 81' – 90'	15' each side
vi. Frontage between 91' – 100'	16' each side
vii. Frontage between 101' – 110'	18' each side
viii. Frontage between 111' +'	20' each side
c. Street side yard	15'
d. Rear yard	30'
6. Maximum Height of Structures	35'
7. Maximum Impervious Site Coverage	45%

*The side yard setbacks of the site may be shifted into the opposite yard up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.



LIVINGSTON ST.

MARIGNY AVE.
N 29°43'30" E 112.06'



SETBACKS
FRONT 25'
SIDE 20'
REAR 30'

NOTE:
OWNER OR CONTRACTOR IS RESPONSIBLE FOR VERIFYING BUILDING SETBACKS BEFORE CONSTRUCTION BEGINS.

- LEGEND --
- = 1/2" IRON ROD FOUND
 - = 1/2" IRON ROD SET
 - = 3/4" IRON PIPE FOUND
 - ×-×- = FENCE

THIS PROPERTY IS LOCATED IN FLOOD ZONE AE & SHADED X ; BASE FLOOD ELEV. 9.0' ; F.I.R.M. PANEL NO. 22022020431D ; REV.05-16-2012

NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

KELLY J. McHUGH
License No. 4443
PROFESSIONAL

KELLY J. McHUGH REG. NO. 4443
10-06-22

CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

REFERENCE:
1. A RESUBDIVISION PLAT BY LAND SURVEYING INC, SHEET 1 & 2 OF 3 FILED FOR RECORD 12-06-2002, MAP FILE NO. 2608D

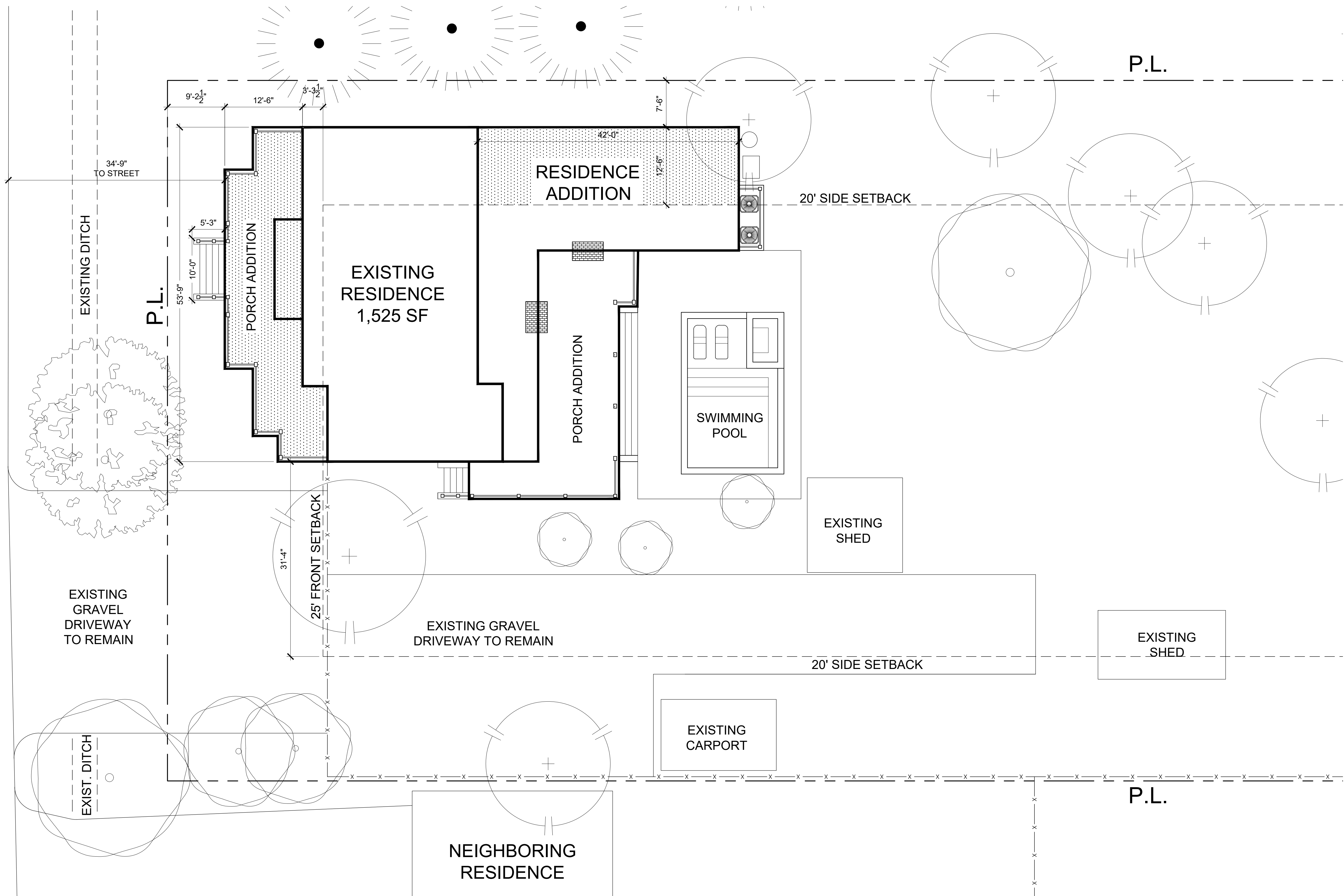
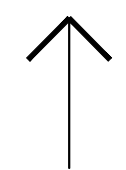
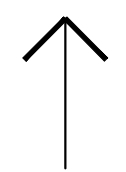
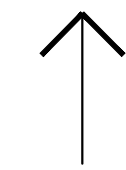
BOUNDARY SURVEY OF:
LOT 1-A, SQ 53
CITY OF MANDEVILLE
ST. TAMMAY PARISH LA.

PREPARED FOR:
BRAD JONES &
EMILY SEHON

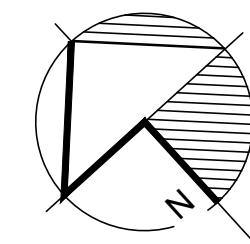
KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE:	1" = 40'	DATE:	10-04-22
DRAWN:	MDM	JOB NO.:	22-283
REVISED:			

MARIGNY AVENUE



1 SITE PLAN
1/8" = 1'-0"



KVS architecture
235 Girod Street, Mandeville, Louisiana
985.674.3077 www.kvsarchitecture.com



THE JONES RESIDENCE
625 MARIGNY AVENUE
MANDEVILLE, LA 70448

REVISIONS:

DATE:
11.15.22

PROJECT No:
22027

DRAWING:

A1.0



1 EXISTING BUILDING
N.T.S.



2 PROPOSED DESIGN
N.T.S.



REVISIONS:

DATE:
11.15.22

PROJECT No:
22027

DRAWING:

A4.0





CASE SUMMARY SHEET

CASE NUMBER: V22-12-38

DATE RECEIVED: November 18, 2022

DATE OF MEETING: December 13, 2022 and January 10, 2023

Address: 160 Cindy Lou

Subdivision: Old Golden Shores

Zoning District: R-1 Single Family Residential District

Property Owner: Kevin and Rachel Vogeltanz

REQUEST: V22-12-38 – Kevin and Rachel Vogeltanz request a variance to CLURO Section 9.2.5.4. Landscape Requirements in Low-Density Residential Districts, Sq 11 Lot 122, R-1 Single Family Residential District, 160 Cindy Lou

CASE SUMMARY:

The applicants own the property at 160 Cindy Lou, located on the south west corner of Copal St, and Cindy Lou Pl. The lot is irregular in shape and measures 108.30’ along Cindy Lou Place, 160.09’ along Copal St., 137.66 along the neighboring (south) setback, and 39.13’ along the rear (west) setback. The lot has a square footage of approximately 12,328 sq ft. The property is improved with a single-family residence.

A tree removal permit to remove a dead gum tree from the street side yard setback was issued in August 2022. The applicant submitted a tree plan which shows the site having a total of five trees. Three in the front yard setback (in compliance). There are no trees in the rear yard or interior side yard and two trees in the street side yard. The rear and side yards are not compliant with the minimum requirements. The minimum requirement for a 12328 sq ft lot is a minimum of 12 total trees; 3 within each setback.

The removal of the gum tree would bring the street side yard further out of compliance, the permit was issued with an agreement that the applicants would have to plant two trees along the street side yard setback to meet the minimum number of trees in the setback. The trees were to be 2 inches in caliper and 10ft tall at the time of planting per the City Landscape Inspector. The applicants later requested to plant trees that were a bit smaller than required which was approved. The trees were allowed to be 1.5 inches in caliper and 8ft tall.

On October 26th the applicant emailed stating that one of the two replacement trees has been planted, and that they did not have additional room to plant one more tree. A variance is being requested to the number of trees required per setback. Due to an existing live oak and phone/internet lines, the applicant is stating that there is no room to plant a third tree in the setback area.

The applicants submitted the following statement:

We obtained a City permit to remove a dead gum tree from our side yard. We have already replaced that tree with a magnolia, recommended by a local arborist, which meets the City’s requirement for height and caliper. There is no sufficient, plantable area for a second tree along our side yard, constituting a hardship based on the layout of our property. We request a variance from the ordinary rule to replace any one tree with two, new trees, permitting us to plan only one new tree instead (which we have done).

CLURO SECTIONS:

9.2.5.4. Landscape Requirements in Low-Density Residential Districts

In the R-1, R-1X and R-2 districts, a minimum of 50 percent of all existing trees larger than three (3) inches dbh in the required yard setback areas shall be required to be preserved. The landscape inspector shall verify the preservation of all required trees before a Certificate of Occupancy will be issued for the structure. Trees required to be preserved shall be shown on the residential site plan approved in conjunction with the development permit. In addition, the provisions of the Live Oak Protection section 9.2.5.7 shall also apply in R-1, R-1X and R-2.

In addition to preserving a minimum of 50 percent of all existing trees larger than three (3) inches dbh, all lots shall have a minimum number of trees based on lot size that are either preserved or planted. Trees shall be evenly dispersed in each setback based on the following:

Lot Size	Number of Required Trees	Trees Per Setback
43,560 sf (one acre)	24	6
43,559-21,780 sf	16	4
21,779-10,801 sf	12	3
10,800 sf	8	2
>10,800 sf	6*	2 in front and rear and 1 on sides

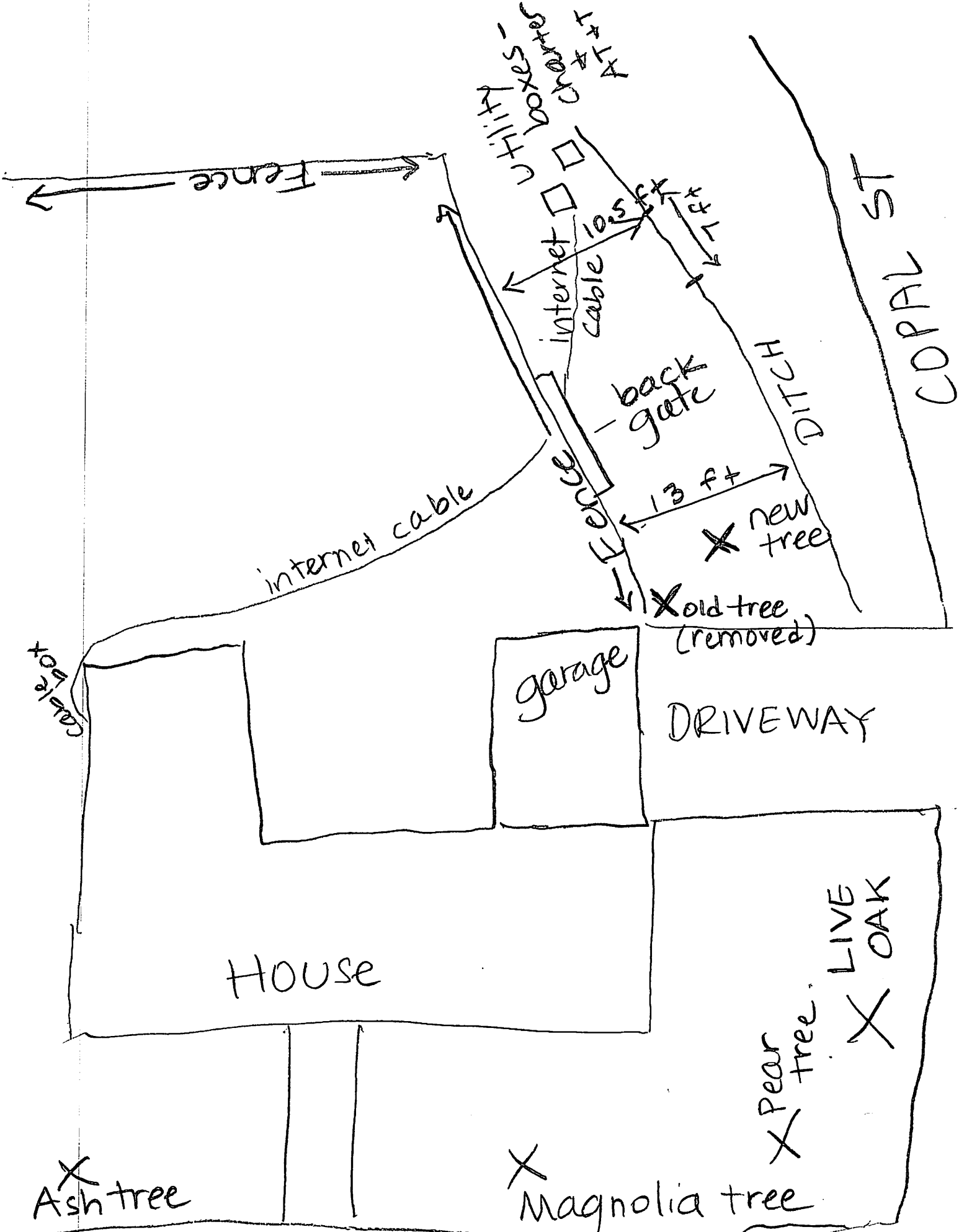
*On lots less than 10,800 sf the landscape inspector shall be authorized to reduce the number of required trees if site conditions do not allow for the required number of trees.

9.2.5.6. Landscape Maintenance and Replacement Provisions

- 2. **Replacement of Vegetation** - Should any required tree, shrub or other landscape vegetation die or be removed, or a non-living screen need replacement, the tree, shrub, vegetation, or screen shall be replaced by a similar

tree, type of vegetation, or screen meeting the requirements of this Article. Class A trees less than six (6) inches in diameter shall be required to be replaced with one (1) two (2) inch dbh Class A tree, a minimum of ten (10) feet in height per Class A tree removed. Class A trees six (6) inches dbh or greater which are required to be replaced shall be replaced with a two (2) inch dbh replacement tree a minimum of ten (10) feet in height for each six (6) inches dbh of tree removed. Replacement vegetation shall be required to be installed within twenty (20) days of written notice by the landscape inspector.





CINDY LOU PL

MAYOR CITY OF MANDEVILLE

PLANNING DIRECTOR

CHAIRMAN-MANDEVILLE PLANNING COMMISSION

CITY ENGINEER OR PUBLIC WORKS DIRECTOR

DATE FILED

MAP FILE NO.

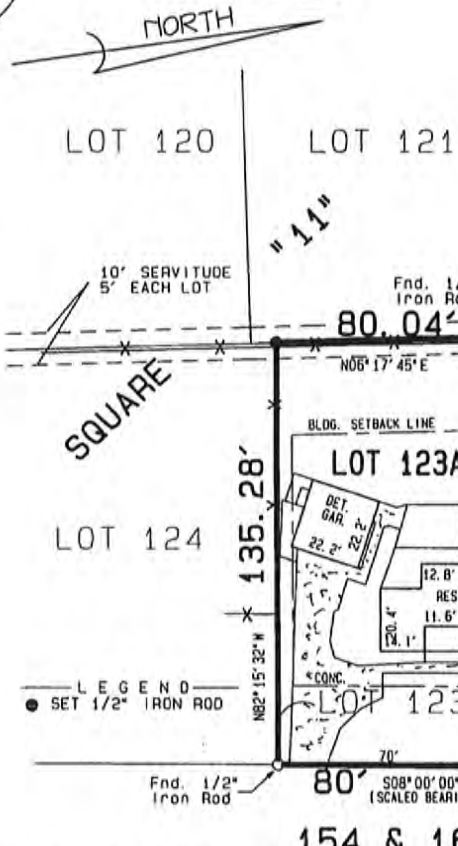
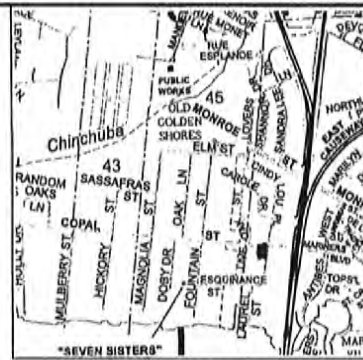
CLERK OF COURT

[Signature]

[Signature]

6-30-2005 3944B

[Signature]



LEGAL DESCRIPTION FOR LOT 122A, SQUARE 11, GOLDEN SHORES SUBDIVISION, CITY OF MANDEVILLE, ST. TAMMANY PARISH, LOUISIANA, BEING MORE FULLY DESCRIBED AS FOLLOWS:

FROM THE WESTERLY RIGHT OF WAY LINE OF CINDY LOU PLACE AND THE SOUTHERLY RIGHT OF WAY LINE OF COPAL STREET, BEING THE POINT OF BEGINNING RUN SOUTH 08 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 108.30 FEET, THENCE RUN NORTH 02 DEGREES 15 MINUTES 30 SECONDS WEST A DISTANCE OF 137.56 FEET; THENCE RUN NORTH 06 DEGREES 17 MINUTES 45 SECONDS EAST FOR A DISTANCE OF 39.13 FEET; THENCE RUN NORTH 55 DEGREES 57 MINUTES 45 SECONDS EAST A DISTANCE OF 45.28 FEET; THENCE RUN ALONG A CURVE TO THE RIGHT (CLOCKWISE) HAVING A RADIUS OF 160.06 AN ARC LENGTH OF 114.81 FEET BACK TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION FOR LOT 123A, SQUARE 11, GOLDEN SHORES SUBDIVISION, CITY OF MANDEVILLE, ST. TAMMANY PARISH, LOUISIANA, BEING MORE FULLY DESCRIBED AS FOLLOWS:

FROM THE WESTERLY RIGHT OF WAY LINE OF CINDY LOU PLACE AND THE SOUTHERLY RIGHT OF WAY LINE OF COPAL STREET, RUN SOUTH 08 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 108.3 FEET TO THE POINT OF BEGINNING, FROM THE POINT OF BEGINNING RUN SOUTH 08 DEGREES 00 MINUTES 00 SECONDS WEST A DISTANCE OF 135.28 FEET; THENCE RUN NORTH 06 DEGREES 17 MINUTES 45 SECONDS EAST A DISTANCE OF 80.03 FEET; THENCE RUN SOUTH 02 DEGREES 15 MINUTES 30 SECONDS EAST A DISTANCE OF 137.66 FEET BACK TO THE POINT OF BEGINNING.

<<<Many trees behind this fence, but on neighbor's property

***Jasmine along back fence

***Wisteria on side fence

***Gum tree--TO BE REMOVED

***Bed on side of house: 4 Azaleas, flowers

***Live Oak

***Bed-gardenias

***Bed-gardenias

***Ash

***Magnolia

***Pear

NOTE: Setback lines shall be verified by owner or contractor prior to any construction, as an abstract has not been performed by the undersigned.

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "A-10" with a Base Flood Elevation of 12' in accordance with Community Panel No. 220202 0001 C; Revised: APRIL 4, 1983

PROPERTY IS ZONED "R-1" CITY WATER & SEWER IS AVAILABLE TO THESE LOTS, PER DEPT. OF PUBLIC WORKS.

LOT 122A = 0.273 ACRES
LOT 123A = 0.250 ACRES

Note: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "C" SURVEY.

RESUBDIVISION MAP OF
LOTS 122 & 123, SQUARE 11, GOLDEN SHORES, SECTION "A"
in
SECTION 45, T-8-S, R-11-E, CITY OF MANDEVILLE
in
LOTS 122A & 123A, SQUARE 11, GOLDEN SHORES, SECTION "A"
St. Tammany Parish, Louisiana
for
ALAN J. DE CORTE, CARLA REGAN DE CORTE,
CAROL ANN PELLIS THOMPSON AND JERRY LEE THOMPSON

Survey No. 2005 587 Drawn by: JEB Scale: 1" = 40'
Date: JUNE 23, 2005 Revised:

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors • Planners and Consultants
1011 N. CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA. 70471 (985) 626-0808
SLIDELL (985) 643-2508 • MANDEVILLE (985) 626-3546 • N. O. (504) 456-2042
HAMMOND (985) 345-7641 • FAX NO. (985) 626-0057 • E-MAIL jebco1@bellsouth.net



VOGELTANZ VARIANCE APPLICATION, 160 CINDY LOU PLACE, NOVEMBER 2022

We had to remove a dead tree (which we were told by Lagniappe Tree Services is a “gum tree”) from the side of our house because it repeatedly dropped limbs that damaged our roof and destroyed one of our vehicles. This is the tree before it was removed:



We loved this tree, and so we tried to save it by spending over \$1,000.00 to have the most damaged parts removed. Nevertheless, the tree continued to drop limbs, and caused us to have to pay for almost \$2,000.00 in repairs to our roof earlier this year. The roof damage being repaired is shown below:



We finally made the difficult decision to have the tree cut down. We obtained a permit and had the tree removed by Lagniappe Tree Services. This photo shows that the inside of the tree was hollow and dead:



We were advised by the City, as part of the permit application, that we would be required to plant two trees in the side yard to replace our one, dead tree, and that the replacement trees must be minimum 8 feet tall and 1.5 caliper in diameter at time of planting. We consulted with the arborist at Garden Spot of Mandeville, and advised him of the City's requirements and the areas available for planting. The arborist explained that the smallest footprint this required size of tree would grow to is about 12 feet across, and that we only had room to plant one such tree in our side yard setback. One reason is that the setback (as shown on the hand-drawn map) narrows from about 13 feet next to the driveway, to about 11 feet on the other side of the back yard gate.

We planted a tree that met the 8-foot/1.5-caliper requirements (a magnolia) near the former base of the old, dead tree, in the area of the setback that is 13 feet wide. The new tree is shown here:



However, we have no other place to plant a second tree of this size for two reasons. First, the back area of the side yard setback is too narrow, at about 11 feet. Second, even if there was sufficient space (and there is not), we contacted Louisiana 811 and had the plantable area marked by our local utilities – AT&T and Charter have utility boxes in the area, and Charter’s cable lines runs directly through the back area of the side yard. You can see the utility boxes here:



You can see the Charter cable marked in orange in the next two photos. Charter's cable line runs diagonally across the side yard setback from the large green utility box to the back gate (the blue flags and paint mark the waterline):





The only other physical, green space along our side yard is completely covered by the branches and canopy of a beautiful, large, mature, live oak tree. Most importantly, even if we planted a tree that meets the City's requirement underneath the oak, it would eventually grow into the canopy itself. Planting a second tree in our front, side yard would shade the area and likely kill the yard's grass. Finally, planting a second tree underneath the oak would take away from the beauty of the live oak, which is not only the feature of the front yard, but is also the first tree everyone sees when they enter the neighborhood. Photos of the live oak and its canopy are here:







Based on these circumstances, we are therefore requesting a variance from the City's requirement to replace our dead gum tree with two new trees, permitting us to plant only one replacement tree (which we have already done).

Thank you for your consideration.

INTER



MANDEVILLE
A Historic Lakefront Community

MEMO

OFFICE

To: Cara Bartholomew
From: Catherine Casanova
Date: December 6, 2022
Subject: Re: V22-12-38

On August 3rd, 2022, an application for tree removal was submitted to the City for the removal of one dying gum tree found to be located within the street side yard setback.

When reviewing the application, the lot was found to be ~12,321 square feet which requires a minimum of 3 trees to be located within each setback and a minimum of 12 trees located on the site. Based on the submitted tree plan the site only had a total of 5 trees:

- Front yard setback
 - 3 Trees (an Ash, a Magnolia, and a Pear) – In compliance
- Rear Yard
 - None – Not in compliance
- Interior Side Yard Setback
 - None – Not in compliance
- Street Side Yard Setback
 - 2 Trees (a Live Oak and a Gum) – Not in compliance

Since the removal of the gum tree will bring the street side yard setback further out of compliance the applicant needs to plant 2 new trees to bring the side yard back into compliance with the landscape regulations. On August 12th the applicant agreed to the required replanting.

On September 26th the applicant emailed to ask if it would be allowable to plant back trees smaller than the minimum replanting requirements, the request was approved, and the applicant was allowed to plant trees 8 feet tall and 1.5” caliper.

On October 26th the applicant emailed into state that one of the 2 replacement trees were planted, a southern magnolia, and that they did not have additional room to plant back 1 more tree. After emailing back and forth about where the last tree could be planted a highlighted survey was sent over showing areas that a tree could be planted.

Since the regulations do not require the replacement trees to be large shade trees the applicant could plant back smaller understory trees, such as: redbud, holly, cherry laurel, Mexican plum, crape myrtles, etc. With planting smaller understory trees the applicant can meet the required replanting. Additionally, the applicant could plant the last tree on the interior side of the fence where there are no utilities.

CASE SUMMARY SHEET

CASE NUMBER: Z22-10-05

DATE RECEIVED: October 24, 2022

DATE OF MEETING: December 13, 2022 and January 10, 2023

Address: Portion of Blocks 69 and 70

Subdivision: Old Town of Mandeville

Zoning District: R-1 Single Family Residential

Property Owner: William Ellis and Miltenberger Properties, LLC

REQUEST: **Z22-12-05** – William Ellis and Miltenberger Properties, LLC request the rezoning of a lot designated R-1 Single Family Residential District to B-1 Neighborhood Business District, Portion of Blocks 69 and 70, R-1 Single Family Residential District, Corner of Monroe St. and Lambert St., Portion of Blocks 69 and 70

CASE SUMMARY:

The applicant owns the property at the corner of Monroe St. and Lambert St. The property measures 192.60'x258' having a square footage of 49,690 per a survey prepared by Kelly McHugh & Assoc. Inc. and dated 05.19.22. The lot is currently unimproved.

There are multiple copies of the 1993 Official Zoning Map, with one showing the property as zoned B-1 and another showing the property as being zoned R-1. An appraisal report prepared by Deano and Associates and dated September 15, 1997 was submitted by the applicant and has the zoning listed as B-1. A map attached with ordinance 09-29, the rezoning of Sq. 44, has the property zoned as B-1.

The City has no record of the property being rezoned from B-1 to R-1. The latest adopted zoning map Ordinance 21-24 shows that property as R-1.

The applicants are requesting to formally have the property designated as B-1.

CLURO SECTIONS:

7.5.8. B-1 - Neighborhood Business District

7.5.8.1. Purpose of the B-1 Neighborhood Business District

The purpose of the B-1 neighborhood business district shall be to provide sites for small-scale service and retail establishments to support adjacent residential neighborhoods. This district includes personal service and retail or office establishments, which are 3,000 square feet or less, which conduct all business operations within an enclosed facility, and which do not present any adverse impact on the peace, appearance or value of adjacent residential areas.



Official Zoning Map
CITY OF MANDEVILLE

- Corporate Limits
Water
Improved Street Right-of-Way
Unimproved Street Right-of-Way
Railroad Track & Right-of-Way
Public Servitude of Passage
Private Street
- Ordinance # 92-14 Date 6-10-93
- Revised Ord. # _____ Date _____
Paul R. Siffel
Mayor, City of Mandeville
- Clerk of Court _____
Date _____ Map File # _____
- | Map Code | District Name |
|----------|--|
| R-1 | Single-Family Residential |
| R-1X | Single-Family Residential - Existing Small Lots District |
| R-2 | Two-Family Residential District |
| R-3 | Multi-Family Residential District |
| M-1 | Medium-Density Residential District |
| O | Office District |
| B-1 | Open Space/Recreational District |
| B-2 | Neighborhood Business District |
| B-3 | Highway Business District |
| B-4 | City Center Business District |
| O/R | Office/Residential District |
| PM-1 | Professional Office District |
| PM-2 | Marine District - Waterfront Lots |
| PD | Planned District - High-Rise/High-Density |
| M-2 | Light Manufacturing District |
| M-3 | General Manufacturing District |
- | Overlay Zoning District | Description |
|-------------------------|----------------------------|
| D-O | Drainage Overlay District |
| G-O | Gateway Overlay District |
| L-O | Lakefront Overlay District |

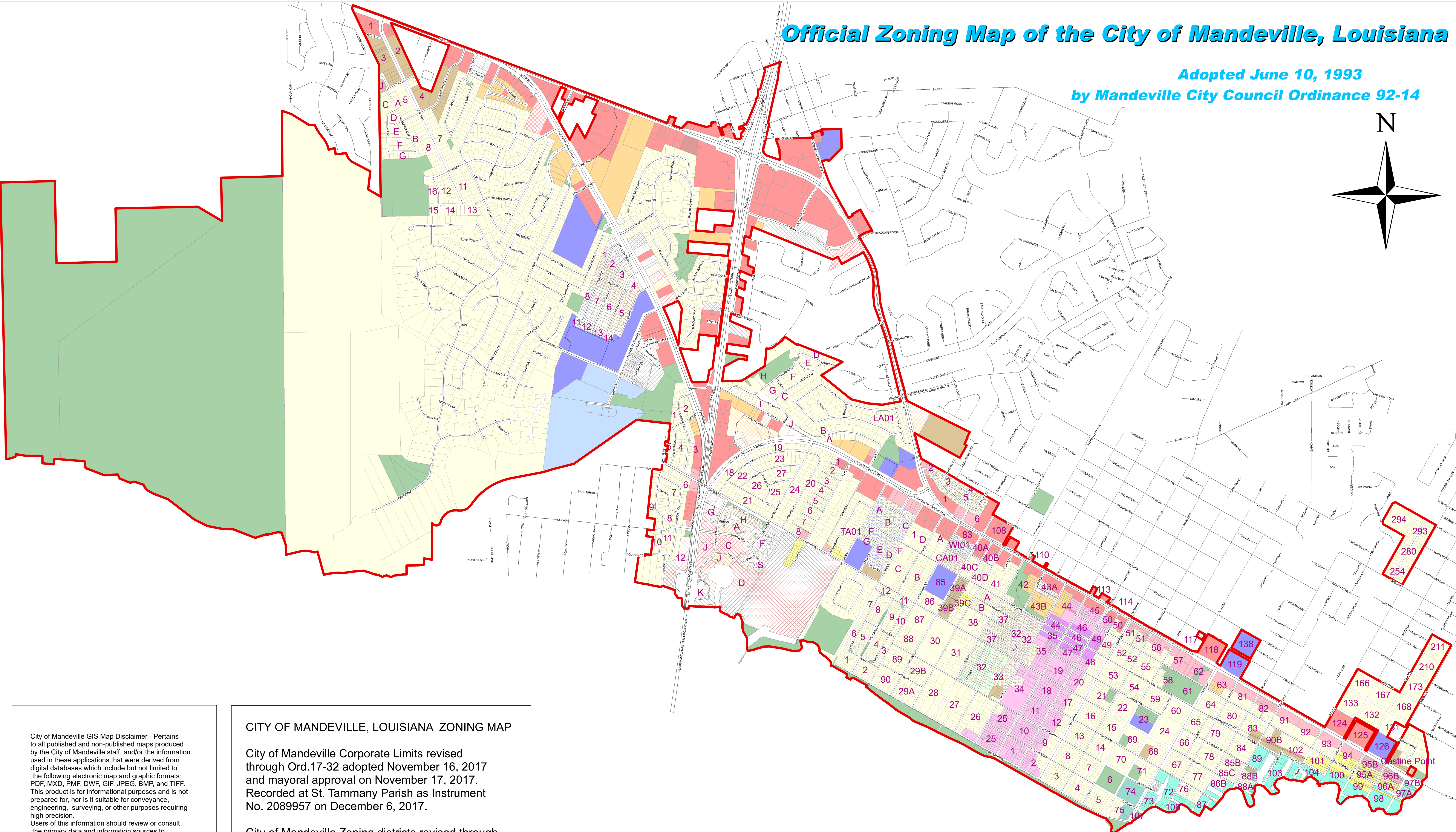
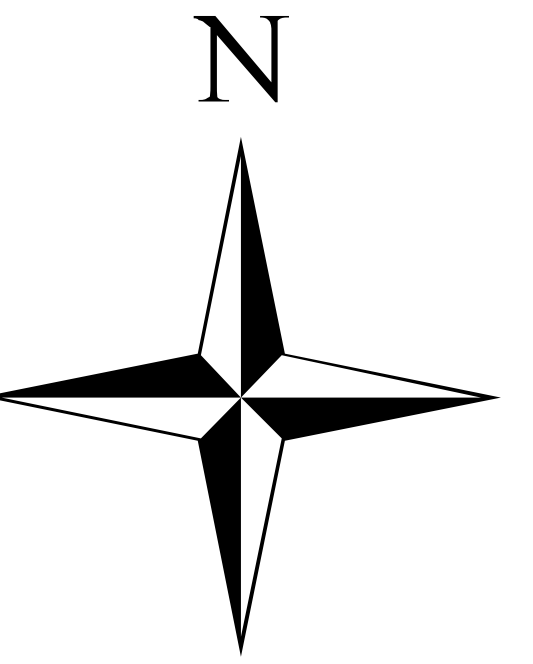


Official Zoning Map

FONTAINEBLEAU STATE PARK

Official Zoning Map of the City of Mandeville, Louisiana

Adopted June 10, 1993
by Mandeville City Council Ordinance 92-14



City of Mandeville GIS Map Disclaimer - Pertains to all published and non-published maps produced by the City of Mandeville staff, and/or the information used in these applications that were derived from digital databases which include but not limited to the following electronic map and graphic formats: PDF, MXD, PMF, DWF, GIF, JPEG, BMP, and TIFF. This product is for informational purposes and is not prepared for, nor is it suitable for conveyance, engineering, surveying, or other purposes requiring high precision. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information. All mapping and retrieval of City of Mandeville GIS data is to be considered a generalized spatial representation that is subject to constant and often dynamic revisions. All maps and databases are constantly being updated and corrected and thus any map may have an updated version. This information is provided as a visual representation only and is not to be used as a legal or official representation of legal boundaries, ownership, or municipal districts and/or regulations.

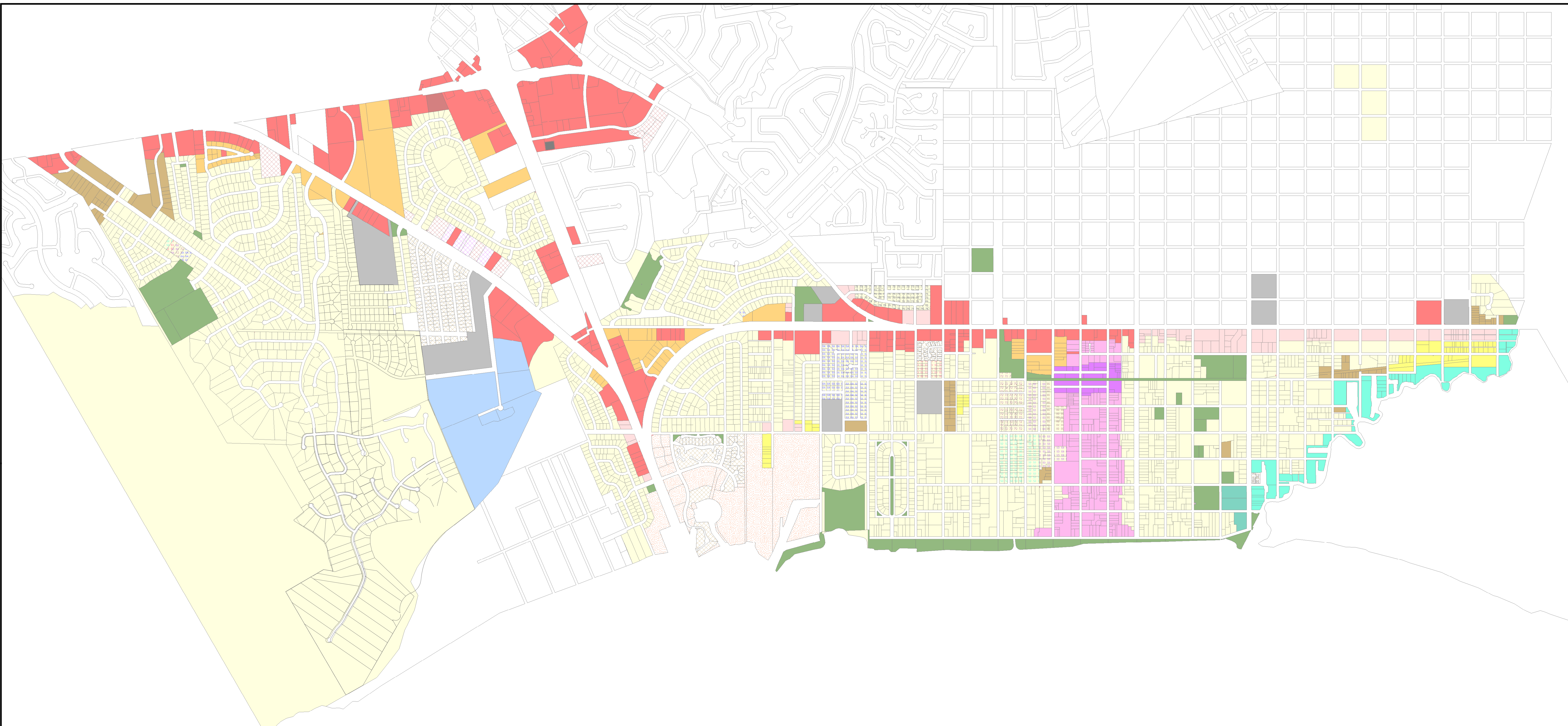
CITY OF MANDEVILLE, LOUISIANA ZONING MAP

City of Mandeville Corporate Limits revised through Ord.17-32 adopted November 16, 2017 and mayoral approval on November 17, 2017. Recorded at St. Tammany Parish as Instrument No. 2089957 on December 6, 2017.

City of Mandeville Zoning districts revised through Ord.17-32 adopted by the Council on November 16, 2017 and mayoral approval on November 17, 2017.

Approval of annexation by Planning Commission through case P17-10-10 and Zoning Commission approval through Z17-10-05.

MANDEVILLE_ZONING_LOTS			
Zone	Description	Zone	Description
[Light Yellow]	R-1 - Single Family Residential District	[Red]	B-2 - Highway Business District
[Light Green]	R1X50 - Single-Family Existing Small Lots (50/7600)	[Light Purple]	B-3 - Old Mandeville Business District
[Light Orange]	R1X53 - Single-Family Existing Small Lots (53/6000)	[Light Blue]	B-4 - Major Crossroads Business District
[Light Purple]	R1X60 - Single-Family Existing Small Lots(60/7200)	[Blue]	I - Institutional District
[Light Blue]	R1X72 - Single-Family Existing Small Lots(72/8000)	[Light Blue]	M-1 - Light Manufacturing District
[Light Pink]	R1X75 - Single-Family Residential (75/9000)	[Blue]	M-2 - General Manufacturing District
[Light Yellow]	R1X80 - Single-Family Existing Small Lots (80/9600)	[Purple]	TC - Town Center District
[Light Blue]	R1X8A - Single-Family Existing Small Lots (80/10400)	[Green]	O - Open Space/Recreation District
[Yellow]	R-2 - Two-Family Residential District (75'x120')	[Light Orange]	PCD - Planned Commercial District
[Orange]	R-3 - Multi-Family Residential District	[Light Yellow]	PCUD - Planned Combined Use District
[Light Green]	O/R - Office/Residential District	[Light Green]	PD - Planned District (pre CLURO)
[Pink]	B-1 - Neighborhood Business District	[Light Blue]	PM-1 - Planned Marina (Waterfront Lots)
		[Light Green]	PM-2 - Planned Marina District (Non Waterfront Lots)
		[Light Orange]	PRD - Planned Residential District



ZONE CLASSIFICATIONS			
Zone	Description	Zone	Description
[Yellow Box]	R-1 - Single Family Residential District	[Red Box]	B-4 - Major Crossroads Business District
[Green Box]	R1X50 - Single-Family Existing Small Lots (50/7600)	[Grey Box]	I - Institutional District
[Orange Box]	R1X53 - Single-Family Existing Small Lots (53/6000)	[Blue Box]	M-1 - Light Manufacturing District
[Light Green Box]	R1X60 - Single-Family Existing Small Lots(60/7200)	[Dark Blue Box]	M-2 - General Manufacturing District
[Light Orange Box]	R1X72 - Single-Family Existing Small Lotsl (72/8000)	[Light Green Box]	Mobile Homes District
[Light Yellow Box]	R1X75 - Single-Family Residential (75/9000)	[Dark Grey Box]	DPWLS - Dept Public Works-Lift Station
[Yellow Box]	R-2 - Two-Family Residential District (75'x120')	[Purple Box]	TC - Town Center District
[Brown Box]	R-3 - Multi-Family Residential District	[Dark Green Box]	O - Open Space/Recreation District
[Orange Box]	O/R - Office/Residential District	[Red Box]	B-2 - Highway Business District
[Light Orange Box]	B-1 - Neighborhood Business District	[Pink Box]	B-3 - Old Mandeville Business District
[Red Box]	B-2 - Highway Business District	[Red Box]	B-4 - Major Crossroads Business District
[Pink Box]	B-3 - Old Mandeville Business District	[Cross-hatched Box]	PCD - Planned Commercial District
[Cross-hatched Box]	PCD - Planned Commercial District	[Cross-hatched Box]	PCUD - Planned Combined Use District
[Cross-hatched Box]	PCUD - Planned Combined Use District	[Cross-hatched Box]	PD - Planned District (pre CLURO)
[Cross-hatched Box]	PD - Planned District (pre CLURO)	[Cross-hatched Box]	PM-1 - Planned Marina (Waterfront Lots)
[Cross-hatched Box]	PM-1 - Planned Marina (Waterfront Lots)	[Cross-hatched Box]	PM-2 - Planned Marina District (Non Waterfront Lots)
[Cross-hatched Box]	PM-2 - Planned Marina District (Non Waterfront Lots)	[Cross-hatched Box]	PRD - Planned Residential District
[Cross-hatched Box]	PRD - Planned Residential District	[Cross-hatched Box]	DPWW - Dept Public Works-Water Well
[Cross-hatched Box]	DPWW - Dept Public Works-Water Well	[White Box]	Not City / Parish
[White Box]	Not City / Parish		

CASE SUMMARY SHEET

CASE NUMBER: V23-01-01

DATE RECEIVED: December 12, 2022

DATE OF MEETING: January 10, 2023 and January 24, 2023

Address: 2424 Mathis St

Subdivision: Oak Grove

Zoning District: R-1 Single Family Residential District

Property Owner: Michael Keene

REQUEST: V23-01-01 – Michael Keene requests a variance to CLURO Section 7.5.1.3 R-1 Site Development Regulations, Square 38 Lots 41,42,43, R-1 Single Family Residential District, 2424 Mathis St

CASE SUMMARY:

The applicant owns the property at 2424 Mathis St, located on the south side of Mathis St., west of Adair St., east of Lafayette St., and north of Livingston St. The property measures approximately 90’x120’ with an approximate square footage of 10,800. The site is improved with a single-family residence.

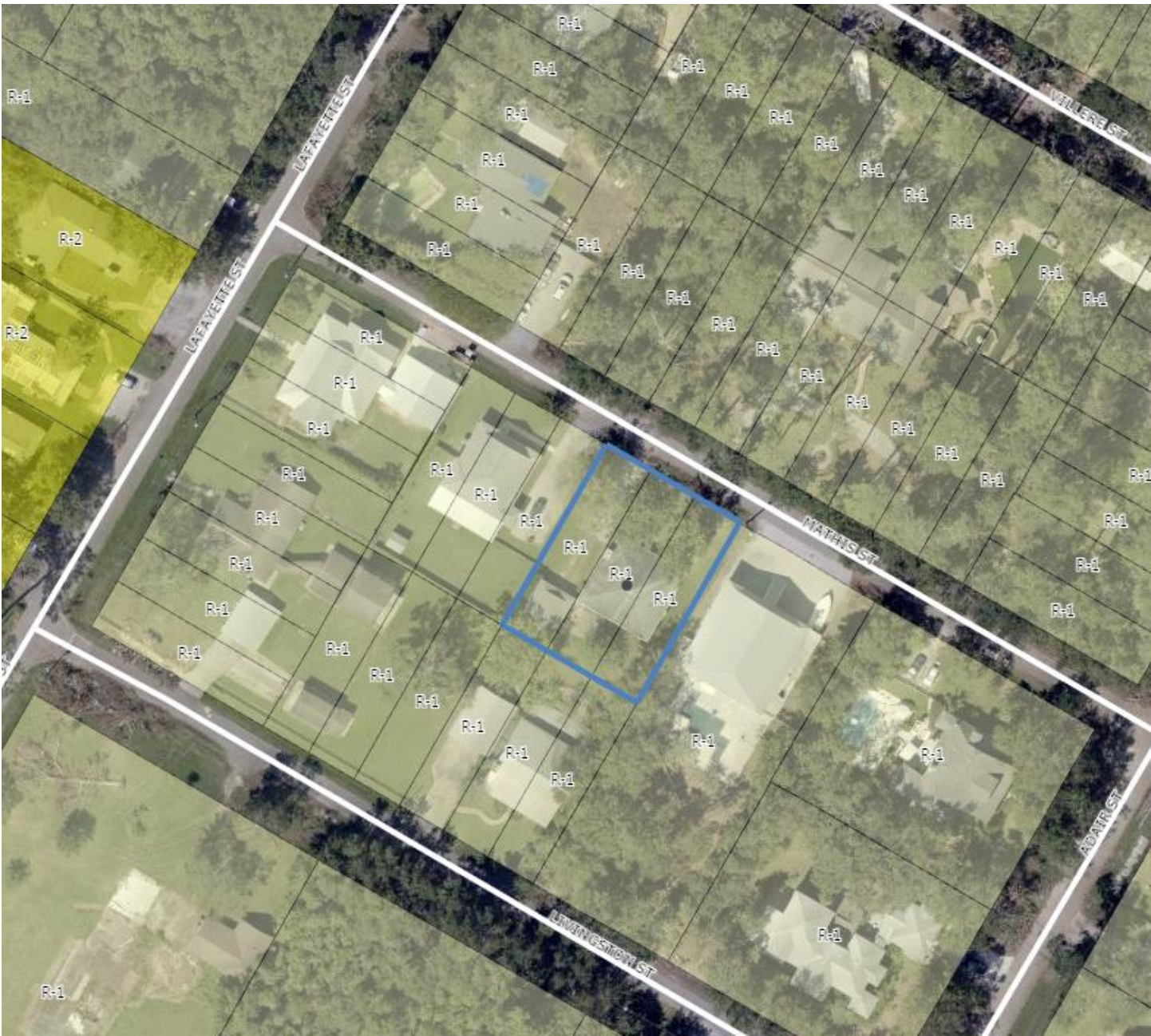
The applicant is requesting to construct an enclosed porch addition at the rear of the structure. The porch will measure 17’x17’ and will be constructed on an existing concrete patio that measures 21’x21’. The concrete patio is 14’ from the rear property line. The R-1 District requires a rear setback of 30’ so the property is currently deficient by 16’.

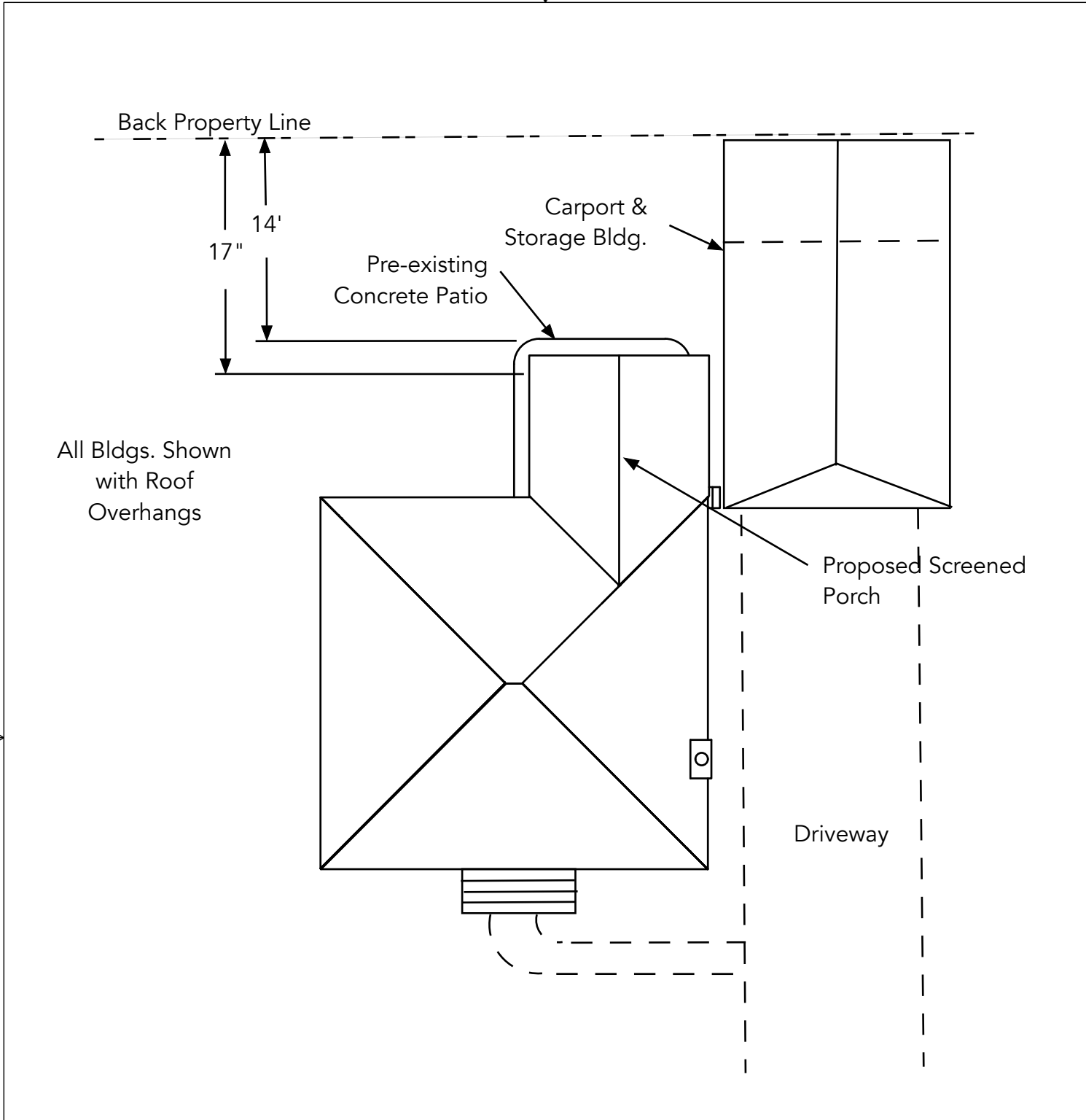
CLURO SECTIONS:

7.5.1.3. R-1 Site Development Regulations

1. Minimum lot area	10,800 Square feet (except for legal non-conforming lots as provided)
2. Minimum building area (Square feet per unit)	1,200 Square feet
3. Minimum lot width	90'
4. Minimum lot depth	120'
5. Minimum Yard Setback Requirements	
a. Front yard	25'
b. Interior side yard*	
i. Frontage up to 50'	8' each side
ii. Frontage between 51' – 60'	10' each side
iii. Frontage between 61' – 75'	12' each side
iv. Frontage between 76' – 80'	13' each side
v. Frontage between 81' – 90'	15' each side
vi. Frontage between 91' – 100'	16' each side
vii. Frontage between 101' – 110'	18' each side
viii. Frontage between 111' +'	20' each side
c. Street side yard	15'
d. Rear yard	30'
6. Maximum Height of Structures	35'
7. Maximum Impervious Site Coverage	45%

*The side yard setbacks of the site may be shifted into the opposite yard up to 30% so long as the area lost in one required side yard is provided in the opposite side yard and the total minimum setback of the site is provided.





		PROJECT			Back Porch, Mathis	
		TITLE			Mathis House Site Plan 2424 Mathis Street Mandeville, LA	
APPROVED	CHECKED	SIZE	CODE	DWG NO	REV	
		A				
DRAWN	Michael Keene	12/23/22	SCALE 0.005	WEIGHT	SHEET 1/1	



Aerial View with Property Line
(Ref. Mandiville City GIS Map)

Notes	
1	Edge of 21' x 21' concrete patio is approximately 14' from rear property line.
2	17' x 17' Porch will be located upon pre-existing concrete patio, making the distance to property line approximately 18' which is less than 30' requirement.
3	This design is in keeping with the Old Mandeville architectural vernacular, where porches are integral to house design. No adjustments to drainage or water flow as the porch takes advantage of the pre-existing concrete slab. Because this is a screened-in porch and not a heated/cooled space, the variance should be granted.
4	Variance is requested to allow owners to enjoy the backyard with protection from elements, particularly direct sun and mosquitos. This is a second home for the owners, consequently the house is unoccupied for periods of time. With the varied weather conditions a substantial structure is desired rather than umbrellas or awnings that would be vulnerable to high winds. The structure will offer a degree of security for outdoor furniture when home is unoccupied. Owner is medically required to limit direct sun exposure.
5	Owner has discussed project with neighbors on either side and they are in support of the project and offered no objections.
6	Architectural style of porch will enhance the property value and will not be harmful to adjacent properties.

	PROJECT 2424 Mathis Street, Porch			
	TITLE Variance Request			
APPROVED	SIZE	CODE	DWG NO	REV
CHECKED	B			
DRAWN	Michael Keene	12/12/22	SCALE 1:1	WEIGHT
				SHEET 1/1

CASE SUMMARY SHEET**CASE NUMBER: V23-01-02****DATE RECEIVED: December 16, 2022****DATE OF MEETING: January 10, 2023 and January 24, 2023****Address: 2816 South St****Subdivision: West Beach Parkway, Sq. 1 Lots 13 & 14****Zoning District: R-1 Single Family Residential District****Property Owner: John Keller****REQUEST: V23-01-02 – John Keller requests a variance to CLURO Section 5.2.3.2. Drainage Overlay District and Fill Sub-Area A, Square 1 Lots 13 & 14, R-1 Single Family Residential District, 2816 South St****CASE SUMMARY:**

The property at 2816 South St. is located on the south side South St., west of West Beach Pkwy., and south of West St. The property measures 100'x150' per a survey prepared by Kelly McHugh & Assoc., Inc. and has a square footage of 15,000. A permit for new residential construction has been issued and the residence is currently under construction.

The applicant is requesting a variance to the maximum amount of fill allowable within Fill Sub Area A, which is 6" above existing grade. The existing grade is 3.13' MSL according to the drainage plan by Kelly McHugh and Associates. The applicant is requesting the foundation to be at 4.5' MSL. The elevation in slab height is being requested to help avoid frequent inundation due to tidal flooding. The applicant is requesting to elevate the foundations by an additional 1.37ft.

A fill report prepared by Cypress Engineering, LLC was submitted. The report states there will be no adverse effect on the neighborhood/neighboring properties with the proposed slab elevation. The lot currently drains to the south neighboring lots, lots 3 and 4. The new fill plan being proposed would change the drainage to the north, towards South St., into four total catch basins with two already being in place and another two planned for construction.

The Commission has approved the follow fill request in the surrounding area:

V21-08-03 – 225 West St. – Approved 3.17' MSL to 4.67' MSL

V20-03-14 – 204 West St. – Approved 2.1' MSL to 4.5' MSL

V17-12-34 - 212 West Beach Parkway -- Approved: 2.7' MSL to 4.5' MSL

CLURO SECTIONS:**5.2.3.2. Drainage Overlay District and Fill Sub-Area A**

The following standards shall apply to all development falling within the mapped boundaries of the drainage overlay district as established in section 7.6.1 of this CLURO and fill sub-area A, which includes the areas located between Monroe Street, Bayou Castain, Lakeshore Drive and Galvez Street. Where the DO district overlaps with other areas described in this section 5.2.3, the provisions of the DO district shall apply.

1. Grading and Fill. No change in elevation from natural grades shall be allowed except follows:
 - a. Up to six (6) inches of fill may be placed under the perimeter of the soffit or roof line of structures to achieve positive drainage from under the structure.
 - b. Existing sites may be graded, or surface or subsurface conveyances may be established to meet the City's requirement to convey water to the City's stormwater management system.
 - c. Grading changes shall not have an adverse impact on adjacent properties in accordance with State law.
 - d. Fill shall not be allowed within the dripline of existing trees required to remain or any vegetative protection area.
3. Driveways.
 - a. Driveways shall be built at existing grade except that driveways may be elevated no more than six (6) inches if necessary to access a garage or parking areas beneath the building and to help convey water to the City's stormwater conveyance system.





CYPRESS ENGINEERING, LLC

2020 North Causeway Blvd., Suite K

Mandeville, LA 70471

Office: (985) 871-7065

Facsimile: (985) 624-4749

Thursday, December 15, 2022

Mr. Ron Lee
Ron Lee Enterprises, Inc.
114 Terra Bella Blvd.
Covington, LA 70433

Re: Fill Report – Keller Residence at Lots 13& 14 Square 1, City of Mandeville (West Beach Parkway), St. Tammany Parish, LA

1.0 INTRODUCTION

At your request I've prepared this report in regards to our recommendations for the elevation of the top of concrete for the slab on ground foundation.

1.1. Purpose of this report,

The purpose of this report is to express our professional opinion of the minimum elevation of the top of concrete elevation for the slab on ground foundation.

1.2. Scope of Assessment,

The opinions stated in this report are based upon visual observations at the site and review of available relevant documents.

1.3. Relevant documents,

The documents reviewed in preparation of this report are as follows:

1. The boundary survey of the property by Kelly J McHugh & Associates, Inc. dated 2/23/22
2. The elevation certificate for the property by Kelly J McHugh & Associates, Inc. dated 8/2/22
3. Fill plan by Kelly J McHugh & Associates, Inc. dated 5/5/22
4. Water stage data of Lake Pontchartrain at Mandeville (85575) from RiverGages.com

<https://rivergages.mvr.usace.army.mil/WaterControl/stationinfo2.cfm?sid=85575&fid=&dt=S>) for January 1, 2016 through December 13, 2022

5. City of Mandeville Comprehensive Land Use Regulations Ordinance
ORDINANCE 15-11 Adopted June 25, 2015, Revised Ordinance 18-19,
Adopted December 16, 2021

To our knowledge, no other relevant report has been made in regards to fill for this property.

2.0 DESCRIPTION OF THE PROPERTY

2.1 Location,

The property is located at 2816 South Street (lots 13 & 14 Square 1, West Beach Parkway, City of Mandeville, St Tammany Parish).

2.2 Drainage District,

Per City of Mandeville CLURO, the property is located in the Drainage Overlay District and Fill Sub-Area A.

2.3 Elevation Datum,

The vertical datum for the existing site elevations and data from rivergages.com is NAVD88.

2.4 Existing Elevations,

The fill plan indicates the existing ground elevation at the building footprint is elevation 3.13 ft. The existing elevations of South Street adjacent to the property vary with the highest elevation being 2.62 ft.

2.5 Existing Drainage,

The existing elevations of the property indicate that the unimproved drainage moves toward the south neighboring lots (lots 3 & 4).

2.6 New Drainage,

The new fill plan proposes to change the drainage to the north (South Street) to two existing catch basins along South Street with two new catch basins planned.

2.7 History,

It is our understanding that the property is inundated by water several times each year due to weather events.

2.8 Neighboring Residence,

The residence directly to the north-east of the property is understood to have a top of concrete elevation of 4.5 ft.

3.0 DISCUSSION OF WATER STAGE DATA

3.1. Water Stage Data Relevancy,

The water stage of Lake Pontchartrain is relevant as when the water level exceeds the elevations of the property, the property become inundated with water (tidal flooding).

3.2. Water Stage Data Source,

The relevant water stage elevations have been obtained from Water stage data of Lake Pontchartrain at Mandeville (85575), which is located at 225 Antibes St. West, from RiverGages.com for January 1, 2016 through December 13, 2022.

3.3. Elevation Datum,

The vertical datum for the existing elevations NAVD88.

3.4. High Water Elevations,

The data indicates that the lake water elevation reaches 3.0 ft or above 4 days in 2016, 7 days in 2017, 2 days in 2018, 1 day in 2019, 5 days in 2020, 3 days in 2021 and 0 days thus far in 2022. Over these 7 years, the total days of water elevation at 3.0ft or above is 22 days.

3.5. Weather Conditions,

In addition to rising lake water it should be considered that the property can become inundated by rainfall.

3.6. Future Inundations,

In our opinion it is likely that the property without improvement would be inundated several times a year, however changes in climate are variable and it is possible that the property could be inundated at a greater frequency than in the past.

4.0 RECOMMENDATIONS

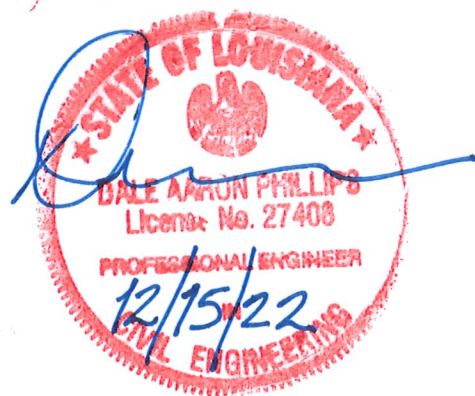
Given the number of times each year that that property is inundated with water from tidal flooding and from precipitation and that the inundations may become more frequent, standing water above the top of concrete slab foundation is considered to be a nuisance and a hardship to the property owner. Considering the above and that the proposed drainage for the property is to drain to catch basins connected to the city's storm drainage system, it is our opinion that the top of concrete slab elevation be set at 4.5 ft (which would match the residence at the neighboring property). This proposed elevation would be an increase of a little less than 1.5 feet and calculates to a volume of 3,683 cubic feet, which divided by the area encompassed by Fill Sub-Area A (approximately 480 acres) equates to a negligible rise in elevation (less than 1/6000th of an inch).

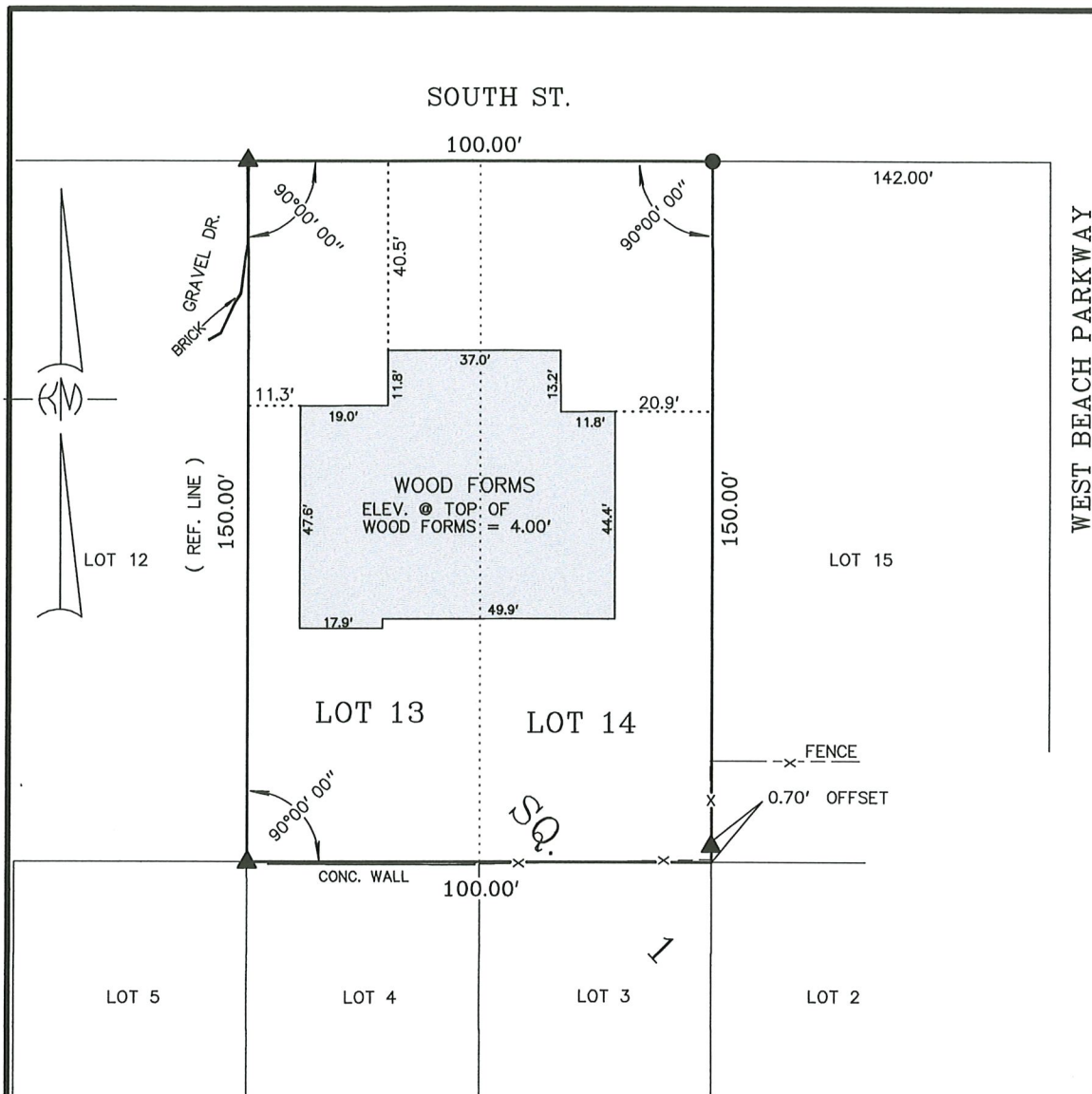
5.0 CONCLUSIONS

Given the author's experience, knowledge of the area and the above statements, it is our opinion that the proposed top of concrete elevation would not have an adverse effect on the neighborhood.

In closing, please feel free to contact my office if you have any questions or if you would like our firm to further pursue this matter. Please note that this report is an instrument of professional service and is the property of Cypress Engineering. Any third-party use of this report is prohibited.

Regards,
CYPRESS ENGINEERING, LLC
Dale A. Phillips, PE





NO BUILDING SETBACKS OR SERVITUDES SHOWN HEREON.

NOTE:
OWNER OR CONTRACTOR IS RESPONSIBLE
FOR VERIFYING BUILDING SETBACKS
BEFORE CONSTRUCTION BEGINS.

-- LEGEND --

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET
- ▲ = 1/2" IRON PIPE FOUND

THIS PROPERTY IS LOCATED IN FLOOD
ZONE AE ; BASE FLOOD ELEV. 11.0' ; F.I.R.M.
PANEL NO. 2202020 427D ; REV.05-16-2012

NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN
THOSE FURNISHED BY THE CLIENT.



KELLY J. McHUGH REG. NO. 4443
12-08-22
CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS
"C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

REFERENCE: PLAT OF WEST BEACH PARKWAY, FILED
FOR RECORD 01-12-1912, MAP FILE NO. 185-B

BOUNDARY SURVEY OF:
LOTS 13 & 14, SQ. 1
WEST BEACH PARKWAY
CITY OF MANDEVILLE
ST. TAMMANY PARISH, LA

PREPARED FOR:

JOHN KELLER

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 30'	DATE: 02-23-22
DRAWN: MDM	JOB NO.: 22-025
REVISED: 08-08-22, 12-08-22	

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name John Keller				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2816 South Street				Company NAIC Number:	
City Mandeville		State Louisiana		ZIP Code 70448	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lots 13 & 14, Square 1, West Beach Parkway, City of Mandeville, St. Tammany Parish, Louisiana					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.)				Residential	
A5. Latitude/Longitude: Lat. <u>30.360492 N</u> Long. <u>90.081269 W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>5</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A8.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>N/A</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A9.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number City of Mandeville, Louisiana 220202			B2. County Name St. Tammany		B3. State Louisiana
B4. Map/Panel Number 220202 0427	B5. Suffix D	B6. FIRM Index Date 05-16-2012	B7. FIRM Panel Effective/ Revised Date 05-16-2012	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 10.0'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2816 South Street			Policy Number:
City Mandeville	State Louisiana	ZIP Code 70448	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: GPS/OPUS Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.


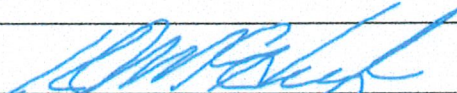
Check the measurement used.

- | | | | |
|---|------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) _____ | 13.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor _____ | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) _____ | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) _____ | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) _____ | 13.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) _____ | 2.5 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) _____ | 3.2 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support _____ | 3.1 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

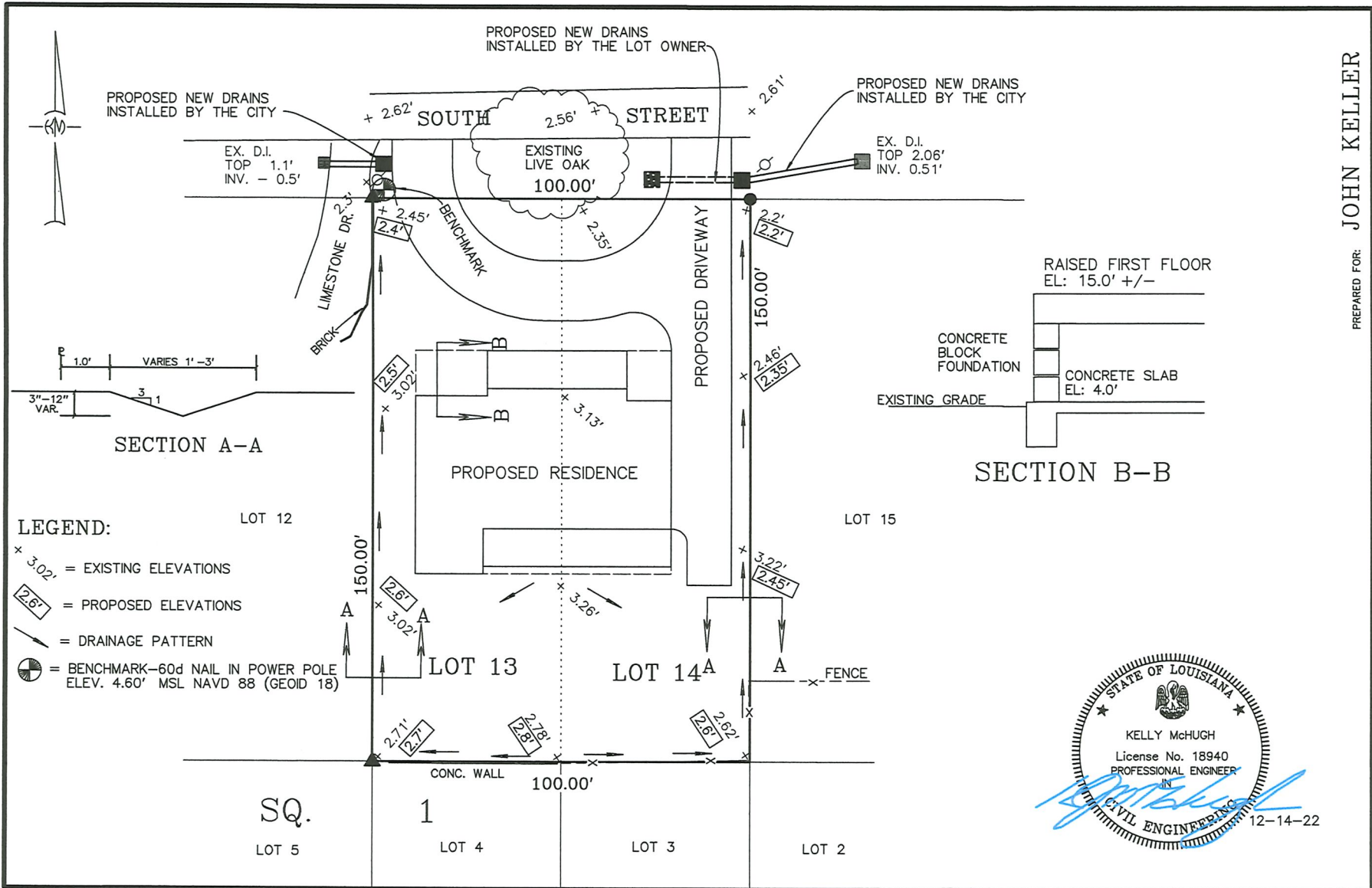
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name Kelly J. McHugh	License Number 4443		
Title Land Surveyor			
Company Name Kelly McHugh and Associates, Inc.			
Address 845 Galvez Street			
City Mandeville	State Louisiana		ZIP Code 70448
Signature 	Date 08-02-2022	Telephone (985) 626-5611	Ext.

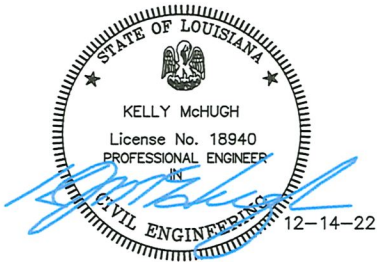
Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
The elevations shown were taken on 05/05/2022 and are based on pre-construction elevation conditions.
This certificate conforms to City of Mandeville freeboard requirement.



PREPARED FOR: JOHN KELLER

KELLY J. McHUGH & ASSOC., INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 845 GALVEZ ST., MANDEVILLE, LA. 626-5611



LOTS 13 & 14, SQ. 1 WEST BEACH PARKWAY
 CITY OF MANDEVILLE,
 ST. TAMMANY PARISH, LA

SCALE:	1" = 30'
DATE:	05-05-22
JOB NO:	22-025
DRAWN:	DRJ
REVISIONS:	08-08-22, 08-16-22, 12-14-22

Lake Pontchartrain at Mandeville (85575)

Gage Zero - 0 Ft. NAVD88

Record High Stage - 7.60 Ft. (10/28/1985)

River Mile -

Location of Gage -

Mounted on pier on west side of harbor. Vertical datum set to NAVD88 (2009.55).

** Raw data, subject to change **

2016 Stage (Ft)

Day	JAN	FEB	MAR	APR	MAY	JUN	JLY	AUG	SEP	OCT	NOV	DEC
1	1.13	1.03	0.22	1.30	2.10	0.73	0.47	0.43	1.80	M	1.56	0.95
2	0.90	1.22	0.23	1.25	2.35	0.94	0.13	0.55	1.91	M	1.98	1.14
3	0.75	1.54	0.54	0.65	1.64	1.12	0.06	0.79	1.71	M	1.99	1.42
4	0.41	1.21	0.17	0.34	1.24	1.23	0.06	0.62	1.58	1.18	1.73	2.48
5	0.92	0.60	0.36	0.09	0.82	1.38	-0.13	0.90	1.27	1.43	1.40	1.72
6	1.78	0.49	0.30	0.50	0.68	1.36	-0.23	0.60	1.39	1.62	1.92	1.51
7	2.22	0.58	0.68	-0.02	0.81	1.51	-0.29	0.57	1.79	1.50	1.83	0.88
8	2.34	0.18	1.44	-0.19	0.87	1.48	-0.19	0.31	1.60	0.88	2.43	0.70
9	2.29	-0.90	2.62	0.10	0.91	1.42	-0.18	0.52	1.65	0.45	2.95	0.41
10	1.18	-1.30	3.34	0.18	1.24	1.33	-0.31	0.62	1.66	0.78	2.00	0.67
11	1.12	-0.82	2.69	0.90	1.32	1.12	-0.09	0.14	1.40	1.37	1.39	0.78
12	1.30	-0.46	2.71	1.32	1.32	0.84	0.27	0.46	1.33	1.46	0.99	1.03
13	1.09	-0.41	1.94	1.32	0.99	0.72	0.53	0.65	1.61	1.28	1.10	1.05
14	1.40	0.33	1.37	1.64	0.87	0.85	0.37	0.57	1.53	0.94	1.41	1.09
15	2.11	1.10	0.95	2.14	0.62	0.63	0.33	1.07	1.51	1.32	1.39	0.80
16	1.54	0.77	0.93	2.83	1.20	0.31	0.28	1.34	1.54	1.77	1.40	1.08
17	1.42	0.49	1.05	3.21	1.87	M	0.34	1.32	1.37	2.06	1.43	1.34
18	1.19	0.64	1.32	3.08	1.29	M	0.48	1.30	1.09	2.22	1.43	0.28
19	1.10	0.95	2.19	2.59	0.96	M	0.59	1.20	0.99	1.99	0.97	0.95
20	1.72	0.94	1.21	1.86	0.98	M	0.44	0.92	1.22	2.02	0.80	M
21	1.53	1.08	0.22	1.58	0.93	M	0.38	0.74	1.27	1.14	0.83	M
22	1.42	1.01	0.13	1.40	0.49	M	0.35	0.52	1.30	1.05	0.64	M
23	0.18	1.09	0.27	1.02	0.89	0.49	0.38	0.50	1.19	1.13	1.02	0.45
24	0.52	0.60	1.05	1.05	0.95	0.38	0.52	0.90	1.04	0.91	0.99	0.73
25	1.01	-0.22	0.69	1.13	1.04	0.20	0.69	1.14	0.92	0.87	0.74	0.98
26	1.47	-0.58	0.91	1.23	0.99	0.13	1.17	1.40	0.89	1.07	0.70	1.27
27	1.12	M	1.76	1.48	1.13	0.20	0.96	1.51	0.88	1.44	0.84	1.32
28	1.22	-0.09	1.42	1.64	1.56	0.15	0.48	1.71	1.01	1.67	1.16	1.07
29	0.76	0.21	0.81	1.73	1.26	0.40	0.62	1.43	0.73	1.66	1.43	1.09
30	0.39		1.31	2.07	0.90	0.48	0.44	1.53	0.48	1.61	1.68	0.31
31	0.68		1.80		0.73		0.33	1.64		1.51		0.77
MIN	0.18	-1.30	0.13	-0.19	0.49	0.13	-0.31	0.14	0.48	0.45	0.64	0.28
MAX	2.34	1.54	3.34	3.21	2.35	1.51	1.17	1.71	1.91	2.22	2.95	2.48
MEAN	1.23	0.40	1.18	1.31	1.13	0.81	0.30	0.90	1.32	1.37	1.40	1.01

Lake Pontchartrain at Mandeville (85575)

Gage Zero - 0 Ft. NAVD88

Record High Stage - 7.60 Ft. (10/28/1985)

River Mile -

Location of Gage -

Mounted on pier on west side of harbor. Vertical datum set to NAVD88 (2009.55).

** Raw data, subject to change **

2017 Stage (Ft)

Day	JAN	FEB	MAR	APR	MAY	JUN	JLY	AUG	SEP	OCT	NOV	DEC
1	1.37	0.02	1.08	0.69	1.79	0.68	0.57	1.11	0.73	1.46	0.85	1.05
2	1.72	0.26	0.29	0.97	1.26	0.84	0.28	1.09	0.80	2.70	1.41	1.19
3	1.25	0.05	0.60	1.83	1.25	1.09	0.28	1.14	0.83	3.63	1.47	1.19
4	1.15	0.42	0.75	1.21	2.25	0.91	0.31	1.32	0.85	3.05	1.57	1.46
5	1.21	0.42	0.85	1.66	0.81	0.97	0.50	0.60	0.85	2.58	1.57	1.67
6	0.93	0.26	1.38	0.26	-0.07	1.00	0.52	0.86	0.68	2.22	1.56	1.26
7	0.85	0.57	1.87	-0.18	-0.20	1.16	0.37	0.93	0.95	3.07	1.37	1.59
8	0.16	0.41	1.09	0.11	-0.33	0.92	0.29	1.04	1.37	3.86	1.25	1.47
9	0.70	0.10	1.16	0.53	-0.18	0.89	0.15	1.10	1.40	3.12	1.01	0.81
10	1.20	0.71	0.86	1.02	-0.06	0.96	0.23	1.13	1.79	2.63	1.01	0.00
11	1.41	0.91	0.62	0.99	0.06	1.08	0.24	1.01	1.72	2.23	1.39	-0.11
12	1.50	0.70	0.78	0.87	0.01	1.22	0.51	0.72	0.43	1.99	1.98	-0.38
13	1.51	0.25	1.11	0.80	0.02	1.18	0.66	0.23	0.45	1.93	1.87	-0.14
14	1.26	0.22	0.48	0.78	-0.08	1.13	0.76	0.54	0.60	1.86	1.56	0.22
15	1.09	0.27	0.06	1.33	0.15	0.91	0.88	0.44	1.13	2.40	1.50	0.52
16	1.16	-0.38	0.10	1.52	0.21	0.70	1.03	0.59	M	1.60	1.63	0.79
17	1.08	-0.27	0.21	1.44	0.61	0.62	1.17	0.52	1.32	1.65	1.36	1.40
18	1.03	0.25	0.24	1.22	0.93	0.48	0.84	0.19	1.20	2.17	1.51	1.19
19	0.88	0.43	-0.07	1.25	1.26	0.67	0.66	0.07	1.00	2.11	0.64	1.21
20	0.95	0.58	-0.04	1.23	1.57	1.50	0.54	0.32	0.92	2.05	1.16	1.24
21	1.47	1.06	-0.05	1.15	1.36	3.33	0.28	0.44	0.86	2.47	1.49	0.99
22	0.96	0.68	-0.23	1.20	0.99	3.54	0.51	0.61	1.00	2.71	1.60	1.13
23	-0.31	0.98	-0.07	0.82	1.02	2.50	0.48	0.86	1.28	2.05	1.45	1.01
24	-0.22	1.09	1.31	0.06	0.16	1.63	0.36	0.75	1.55	1.54	1.41	0.72
25	0.51	0.82	2.04	0.45	-0.16	1.10	0.07	1.12	2.01	0.73	1.15	M
26	0.50	0.59	1.20	0.54	0.23	1.11	0.01	1.21	2.03	0.76	1.07	0.81
27	0.30	1.63	1.46	0.80	0.31	1.13	0.10	1.33	1.70	0.94	1.02	M
28	0.17	1.38	1.03	0.94	0.31	1.26	0.18	1.41	1.40	1.20	1.08	M
29	-0.38		1.17	1.26	0.05	1.15	0.09	2.09	1.21	0.48	1.39	0.53
30	-0.51		1.50	2.45	0.15	1.11	-0.06	2.89	1.26	0.19	1.10	0.40
31	-0.24		0.82		0.78		0.62	2.06		0.41		0.54
MIN	-0.51	-0.38	-0.23	-0.18	-0.33	0.48	-0.06	0.07	0.43	0.19	0.64	-0.38
MAX	1.72	1.63	2.04	2.45	2.25	3.54	1.17	2.89	2.03	3.86	1.98	1.67
MEAN	0.80	0.51	0.76	0.97	0.53	1.23	0.43	0.96	1.15	1.99	1.35	0.85

Lake Pontchartrain at Mandeville (85575)

Gage Zero - 0 Ft. NAVD88

Record High Stage - 7.60 Ft. (10/28/1985)

River Mile -

Location of Gage -

Mounted on pier on west side of harbor. Vertical datum set to NAVD88 (2009.55).

** Raw data, subject to change **

2018 Stage (Ft)

Day	JAN	FEB	MAR	APR	MAY	JUN	JLY	AUG	SEP	OCT	NOV	DEC
1	0.08	0.86	1.49	1.51	0.45	0.85	-0.20	0.71	2.45	1.58	1.71	1.34
2	0.28	0.75	1.12	1.19	0.99	0.60	0.09	0.93	2.38	1.61	0.82	1.36
3	0.34	0.96	1.09	1.14	0.99	0.05	0.31	1.12	2.30	1.63	0.70	1.14
4	-0.15	1.53	0.71	0.96	1.07	-0.22	0.70	0.99	2.37	1.73	1.44	1.06
5	-0.22	0.75	0.98	0.97	0.78	0.17	0.69	1.29	2.54	1.62	1.53	0.81
6	0.00	0.92	1.72	1.17	0.52	0.38	1.14	1.39	1.93	1.95	1.46	0.88
7	0.31	0.82	0.28	1.06	0.42	0.50	0.79	1.19	1.68	2.02	1.46	1.16
8	1.47	0.47	0.10	1.05	0.32	0.43	0.90	1.21	1.53	2.73	1.56	1.64
9	1.12	0.73	0.23	1.23	0.36	0.24	0.71	1.09	1.52	3.69	1.60	1.39
10	1.15	1.12	0.75	1.11	0.37	0.10	0.56	0.78	1.41	3.87	1.09	0.86
11	1.34	1.02	1.24	0.96	0.61	0.16	0.32	0.58	1.44	2.65	1.40	0.46
12	1.02	1.13	0.80	0.79	0.98	0.26	0.48	0.43	1.47	1.93	1.66	0.39
13	-0.48	0.83	0.80	1.22	0.97	0.32	0.54	0.50	1.68	1.92	1.23	0.87
14	-0.33	0.84	0.80	1.84	0.60	0.26	0.38	0.67	1.49	2.03	0.95	1.91
15	-0.22	0.79	0.70	1.52	0.78	0.20	0.25	0.71	1.36	2.01	0.12	0.69
16	-0.01	0.71	1.00	0.24	0.86	0.26	0.17	0.97	1.14	1.96	0.03	0.39
17	-0.58	0.59	1.46	0.06	0.77	0.52	0.42	1.17	1.09	1.74	0.33	0.29
18	-0.44	0.58	1.42	0.37	0.64	0.81	0.05	0.87	1.15	1.82	0.61	0.33
19	-0.13	0.85	1.42	0.23	0.59	0.76	-0.10	0.83	1.13	1.89	0.85	0.65
20	0.09	1.24	1.09	0.16	0.72	0.74	0.14	0.82	1.20	1.71	0.67	1.33
21	M	1.23	0.46	0.63	0.79	0.60	0.16	0.78	1.26	1.30	1.12	0.23
22	M	1.06	0.27	1.30	0.82	0.08	-0.62	0.25	1.51	1.71	1.20	0.09
23	M	1.18	0.60	0.90	0.95	-0.34	-0.76	0.67	1.54	1.90	1.42	0.53
24	-0.08	1.19	0.93	0.41	1.16	-0.09	-0.39	0.96	1.66	2.17	1.93	0.51
25	-0.24	1.01	0.94	0.27	0.90	0.06	-0.04	1.17	1.65	2.77	1.89	0.82
26	-0.07	1.41	1.03	0.30	0.88	0.14	0.09	1.30	1.41	1.94	1.07	1.10
27	0.75	1.56	2.39	-0.14	1.23	0.15	0.21	1.52	1.44	1.49	0.62	1.69
28	1.41	1.88	2.48	0.14	1.34	0.06	0.16	1.57	1.27	1.26	0.52	2.13
29	0.98		2.44	-0.12	1.35	-0.41	0.10	1.51	1.47	0.81	0.64	1.55
30	0.57		1.70	0.04	1.10	-0.29	0.24	1.52	1.47	0.73	0.82	1.22
31	0.67		1.59		0.88		0.31	1.94		0.98		1.46
MIN	-0.58	0.47	0.10	-0.14	0.32	-0.41	-0.76	0.25	1.09	0.73	0.03	0.09
MAX	1.47	1.88	2.48	1.84	1.35	0.85	1.14	1.94	2.54	3.87	1.93	2.13
MEAN	0.31	1.00	1.10	0.75	0.81	0.25	0.25	1.01	1.60	1.91	1.08	0.98

Lake Pontchartrain at Mandeville (85575)

Gage Zero - 0 Ft. NAVD88

Record High Stage - 7.60 Ft. (10/28/1985)

River Mile -

Location of Gage -

Mounted on pier on west side of harbor. Vertical datum set to NAVD88 (2009.55).

** Raw data, subject to change **

2019 Stage (Ft)

Day	JAN	FEB	MAR	APR	MAY	JUN	JLY	AUG	SEP	OCT	NOV	DEC
1	1.32	1.27	0.59	1.07	1.34	0.87	0.94	0.61	0.99	1.67	1.25	0.88
2	1.19	1.56	0.70	0.93	1.28	0.80	0.77	0.59	1.25	1.69	1.14	-0.59
3	1.29	1.38	0.85	0.66	0.90	0.85	0.71	0.77	1.20	1.68	0.94	-0.38
4	1.35	1.34	0.23	1.28	1.20	1.00	0.65	0.86	1.04	1.62	0.97	-0.33
5	0.23	1.20	0.28	1.84	0.20	1.06	0.72	0.92	0.73	1.59	1.03	-0.03
6	0.45	1.25	0.26	1.42	0.45	1.39	0.71	0.41	0.25	1.66	1.04	0.53
7	0.73	1.23	0.29	1.08	0.52	1.19	0.60	0.31	0.27	2.31	1.25	0.43
8	0.86	0.63	0.81	M	0.65	1.07	0.44	0.14	0.18	1.82	0.72	0.57
9	0.73	0.66	0.95	M	1.25	1.12	0.18	-0.02	0.37	1.67	1.15	0.84
10	0.42	0.74	1.08	0.52	1.61	0.95	-0.01	-0.16	0.73	1.79	0.98	0.92
11	0.67	1.25	0.93	0.59	1.96	0.90	0.65	0.00	0.79	2.72	1.16	0.95
12	1.27	0.98	0.80	0.87	1.58	1.07	2.38	-0.19	0.87	1.71	0.58	1.49
13	0.87	0.29	1.23	1.29	1.22	0.89	4.11	-0.32	0.83	1.65	1.09	1.69
14	0.46	0.56	1.89	1.39	1.34	0.86	2.79	-0.26	0.99	1.86	1.40	1.40
15	0.12	M	1.45	0.32	1.31	1.21	2.23	0.05	1.05	2.14	1.33	1.27
16	0.38	M	1.19	0.26	1.16	1.14	1.84	0.31	1.44	2.19	0.90	1.07
17	0.46	M	1.37	0.70	1.00	1.04	1.45	0.31	1.20	1.97	0.82	0.60
18	0.71	M	1.24	1.18	1.35	1.31	1.28	0.26	0.70	2.07	0.72	-0.06
19	1.11	M	1.25	0.57	1.74	1.00	1.17	0.12	0.65	2.62	0.72	-0.17
20	-0.31	M	1.12	-0.78	1.63	0.89	1.18	0.10	1.36	2.20	0.65	-0.25
21	0.11	M	0.89	-0.83	1.59	0.65	1.10	0.31	2.01	1.86	M	M
22	0.94	M	0.38	-0.42	1.71	0.72	0.98	0.52	2.33	1.34	M	M
23	1.70	M	0.39	-0.09	1.64	0.64	0.65	0.65	1.84	1.01	1.11	M
24	0.78	M	0.65	0.14	1.56	0.27	0.63	0.68	1.47	1.08	0.78	M
25	0.81	M	0.81	0.46	1.44	0.39	0.86	0.66	1.06	1.48	0.74	M
26	0.32	M	0.65	0.67	1.21	0.37	1.07	0.65	0.85	2.72	1.21	M
27	0.38	M	0.52	0.48	1.24	0.68	1.19	0.61	1.01	1.40	1.31	0.87
28	0.56	M	0.81	0.54	1.28	0.65	0.92	0.18	1.10	1.56	1.22	1.11
29	0.10		0.91	0.55	1.18	0.75	0.75	0.19	1.50	1.69	1.10	1.31
30	0.23		1.26	0.82	1.30	1.01	0.68	0.38	1.75	2.38	1.00	0.82
31	0.61		0.68		1.10		0.63	0.55		1.81		0.12
MIN	-0.31	0.29	0.23	-0.83	0.20	0.27	-0.01	-0.32	0.18	1.01	0.58	-0.59
MAX	1.70	1.56	1.89	1.84	1.96	1.39	4.11	0.92	2.33	2.72	1.40	1.69
MEAN	0.67	1.02	0.85	0.63	1.26	0.89	1.10	0.33	1.06	1.84	1.01	0.60

Lake Pontchartrain at Mandeville (85575)

Gage Zero - 0 Ft. NAVD88

Record High Stage - 7.60 Ft. (10/28/1985)

River Mile -

Location of Gage -

Mounted on pier on west side of harbor. Vertical datum set to NAVD88 (2009.55).

** Raw data, subject to change **

2020 Stage (Ft)

Day	JAN	FEB	MAR	APR	MAY	JUN	JLY	AUG	SEP	OCT	NOV	DEC
1	0.04	0.20	-0.71	-0.51	0.06	0.56	0.28	0.00	0.44	0.62	0.93	-0.30
2	0.79	-0.40	-0.06	-0.27	0.19	0.61	0.09	0.01	0.44	0.65	0.57	-0.08
3	0.92	-0.55	0.36	0.18	0.20	0.87	0.04	0.16	0.30	1.23	0.93	0.81
4	0.76	-0.13	0.75	0.39	0.17	0.81	-0.14	0.20	0.37	1.15	0.90	1.04
5	-0.07	0.34	1.37	0.51	0.03	0.79	0.14	0.16	0.47	1.25	1.09	0.75
6	-0.12	0.52	0.48	0.63	-0.08	0.82	0.12	0.11	0.76	1.37	1.24	0.54
7	-0.12	-0.72	0.25	0.94	-0.07	2.04	0.01	0.33	0.97	1.42	M	0.02
8	-0.17	-0.09	0.42	0.54	0.60	3.94	-0.09	0.44	1.17	1.51	1.78	-0.32
9	0.53	0.12	1.08	-0.01	-0.03	2.08	-0.04	0.31	1.45	1.94	1.85	-0.63
10	1.06	0.90	1.04	-0.01	0.41	1.44	-0.15	-0.08	1.47	2.89	1.62	-0.59
11	M	0.91	0.55	0.46	0.30	0.95	-0.48	-0.18	1.16	1.41	1.53	-0.13
12	1.30	0.87	0.08	1.43	0.27	0.68	-0.15	0.18	1.14	1.00	1.41	0.47
13	1.18	0.20	0.04	1.28	0.75	0.78	-0.47	0.25	1.30	0.48	1.20	0.67
14	1.09	0.06	0.17	0.86	1.22	1.10	-0.45	0.35	1.61	0.62	1.08	0.26
15	0.95	0.42	0.03	0.74	2.23	1.04	-0.39	0.19	2.90	0.76	1.40	0.36
16	0.65	0.75	0.03	0.88	1.71	0.68	-0.16	-0.07	2.63	0.39	1.09	0.70
17	0.78	0.82	0.30	1.22	1.71	0.82	0.11	0.00	1.27	1.13	1.09	0.32
18	1.35	0.88	0.46	1.16	0.43	0.84	0.13	0.04	1.12	1.52	0.94	0.21
19	0.48	0.78	0.73	0.96	-0.05	0.79	0.40	0.26	1.35	1.58	1.34	0.52
20	0.02	0.82	0.92	0.33	-0.13	0.69	0.54	0.59	2.48	1.58	1.54	0.90
21	-0.01	0.29	0.55	0.56	0.37	0.51	0.81	0.67	3.77	1.63	1.24	0.38
22	0.37	0.54	0.48	0.49	0.41	0.80	0.98	0.49	3.81	1.72	1.08	-0.15
23	0.83	0.46	0.67	1.77	0.54	0.24	1.66	0.94	3.41	1.92	0.76	0.10
24	0.92	0.75	0.27	0.91	0.70	0.24	2.28	1.60	3.04	1.74	0.96	-0.14
25	0.69	1.07	-0.20	1.05	1.00	0.22	2.01	2.53	2.07	1.22	1.35	-0.77
26	0.71	0.79	-0.28	0.46	1.93	0.47	1.80	2.65	1.82	1.19	0.74	-0.68
27	0.82	-0.21	-0.11	0.26	1.56	0.61	1.30	3.47	1.65	1.36	1.03	-0.30
28	0.79	-0.49	0.34	0.57	1.24	0.63	1.15	2.09	1.53	1.74	0.88	0.13
29	1.01	-0.98	0.11	-0.23	0.82	0.54	0.64	1.26	1.02	2.31	1.61	0.24
30	1.21		0.19	0.36	0.64	0.48	0.60	0.86	0.86	0.69	0.31	0.72
31	0.92		0.83		0.43		0.26	0.45		1.02		1.01
MIN	-0.17	-0.98	-0.71	-0.51	-0.13	0.22	-0.48	-0.18	0.30	0.39	0.31	-0.77
MAX	1.35	1.07	1.37	1.77	2.23	3.94	2.28	3.47	3.81	2.89	1.85	1.04
MEAN	0.66	0.31	0.36	0.60	0.63	0.90	0.41	0.65	1.59	1.32	1.15	0.20

Lake Pontchartrain at Mandeville (85575)

Gage Zero - 0 Ft. NAVD88

Record High Stage - 7.60 Ft. (10/28/1985)

River Mile -

Location of Gage -

Mounted on pier on west side of harbor. Vertical datum set to NAVD88 (2009.55).

** Raw data, subject to change **

2021 Stage (Ft)

Day	JAN	FEB	MAR	APR	MAY	JUN	JLY	AUG	SEP	OCT	NOV	DEC
1	1.50	-0.75	-0.52	0.28	0.78	0.86	1.24	0.05	2.42	1.40	0.12	0.49
2	0.86	-1.19	-0.53	0.04	1.07	0.85	0.85	0.12	1.48	1.56	0.45	0.72
3	0.12	-1.00	-0.48	0.18	1.20	0.68	0.22	0.18	1.28	1.51	0.82	0.65
4	0.02	-0.45	-0.91	0.19	1.06	0.47	-0.13	0.31	1.16	1.42	1.19	0.75
5	-0.23	-0.19	-1.10	0.33	0.79	0.78	0.08	0.36	1.20	1.16	1.43	0.94
6	-0.21	0.72	-1.03	0.53	0.70	1.38	0.36	0.37	1.12	1.40	1.57	1.08
7	0.94	0.82	-0.86	0.70	0.39	1.26	0.52	0.46	0.96	1.51	1.24	1.00
8	-0.62	0.91	-0.68	1.07	0.29	1.08	0.68	0.39	1.03	1.55	0.97	0.88
9	-0.79	1.21	-0.69	0.88	0.62	0.96	0.72	0.42	0.78	1.53	0.84	1.10
10	-0.30	0.93	-0.23	1.24	0.49	0.74	0.61	0.34	0.86	1.46	0.86	1.06
11	0.29	0.91	0.07	0.83	0.50	0.54	0.54	0.49	1.03	1.64	1.16	0.94
12	0.08	0.89	0.10	0.71	0.45	0.26	0.48	0.65	1.30	1.63	1.19	0.59
13	0.13	0.79	-0.61	0.78	0.60	-0.05	0.47	0.72	1.27	1.47	0.76	0.94
14	0.13	0.63	-0.16	1.59	0.55	0.06	0.65	0.72	1.23	1.59	0.75	0.61
15	0.09	0.69	0.00	0.86	0.46	0.29	0.81	0.93	2.21	1.50	0.47	0.79
16	-0.78	M	-0.38	0.36	0.67	0.03	0.86	1.34	2.09	0.68	0.65	1.02
17	-0.74	M	-0.42	1.69	1.28	0.33	1.00	1.64	1.87	0.65	0.97	1.08
18	-0.54	M	-0.65	1.25	1.89	0.88	0.83	1.38	1.56	1.03	1.24	1.20
19	-0.25	-1.36	-0.69	0.96	2.49	2.78	0.84	1.24	1.40	1.29	1.11	0.90
20	-0.28	-1.63	-0.67	0.89	M	1.13	0.65	0.98	1.36	1.94	1.34	1.04
21	-0.34	-1.49	-0.03	0.63	3.51	0.48	0.52	0.74	1.08	1.96	1.55	0.77
22	-0.29	-0.87	0.24	0.77	3.41	0.46	0.44	0.54	0.50	1.77	1.28	0.44
23	0.07	-1.00	0.91	1.20	2.44	0.33	0.23	0.37	0.86	1.69	0.99	0.38
24	0.63	-0.86	1.80	1.87	1.61	0.43	-0.04	0.32	1.31	1.93	1.01	0.56
25	0.61	-0.78	2.02	0.76	1.17	0.34	0.22	0.55	1.29	1.96	1.39	0.56
26	0.48	-0.62	1.33	0.69	1.05	0.84	0.29	1.10	1.19	1.59	0.95	0.44
27	0.65	-0.49	1.37	1.00	0.69	1.14	0.48	1.81	1.19	1.57	1.05	0.51
28	-0.11	-0.36	0.96	1.09	0.60	1.48	0.66	1.98	1.31	1.66	0.90	0.65
29	0.07		0.52	1.14	0.21	1.63	0.58	2.25	1.31	-0.25	0.65	0.93
30	0.25		0.95	0.96	0.34	1.37	0.46	6.38	1.25	-0.95	0.65	0.93
31	0.60		0.85		0.54		0.09	3.82		-0.16		0.83
MIN	-0.79	-1.63	-1.10	0.04	0.21	-0.05	-0.13	0.05	0.50	-0.95	0.12	0.38
MAX	1.50	1.21	2.02	1.87	3.51	2.78	1.24	6.38	2.42	1.96	1.57	1.20
MEAN	0.07	-0.18	0.02	0.85	1.06	0.79	0.52	1.06	1.30	1.31	0.98	0.80

Lake Pontchartrain at Mandeville (85575)

Gage Zero - 0 Ft. NAVD88

Record High Stage - 7.60 Ft. (10/28/1985)

River Mile -

Location of Gage -

Mounted on pier on west side of harbor. Vertical datum set to NAVD88 (2009.55).

**** Raw data, subject to change ****

2022 Stage (Ft)

Day	JAN	FEB	MAR	APR	MAY	JUN	JLY	AUG	SEP	OCT	NOV	DEC
1	1.15	0.34	0.19	0.57	0.84	1.01	0.89	0.79	1.32	0.72	0.92	0.83
2	1.15	1.30	0.25	0.50	0.65	0.79	0.68	0.90	1.27	0.59	0.76	1.16
3	-0.38	1.68	0.19	0.68	0.71	0.61	0.62	0.62	1.15	0.39	0.72	1.03
4	0.01	0.85	0.12	0.52	0.56	0.76	0.51	0.62	1.00	0.54	0.98	0.83
5	0.42	0.28	0.34	1.12	0.54	0.80	0.45	1.10	0.90	0.83	1.74	0.71
6	0.71	0.29	0.56	0.57	0.51	0.81	0.33	1.05	0.78	0.71	1.58	0.95
7	0.51	0.09	0.63	0.29	0.08	0.75	0.25	1.08	0.66	0.52	1.22	0.95
8	1.09	0.00	0.29	-0.51	0.24	0.61	0.22	0.98	0.70	0.45	1.22	0.93
9	1.25	-0.04	0.31	-1.35	0.64	0.28	0.14	0.98	0.88	0.85	1.22	0.82
10	0.37	-0.19	0.38	-0.89	1.15	0.09	0.01	1.02	1.20	0.97	1.62	0.77
11	0.23	-0.13	0.63	-0.21	0.96	0.22	0.11	0.91	1.28	1.34	1.00	0.85
12	0.68	0.23	-0.09	0.72	0.48	0.16	0.18	0.83	1.08	1.45	0.64	1.05
13	0.42	-0.26	-0.24	1.44	0.40	0.04	0.28	0.85	1.28	1.22	0.08	1.16
14	0.10	-0.04	0.06	1.28	0.61	-0.12	0.19	0.70	1.43	1.28	0.82	
15	0.55	-0.17	0.17	1.02	0.56	-0.18	0.10	0.43	1.35	1.20	1.95	
16	-0.45	0.47	0.37	1.24	0.32	-0.12	0.11	0.16	1.40	1.09	1.06	
17	-1.14	1.21	0.47	0.97	0.39	0.18	0.27	0.42	1.57	1.13	0.52	
18	-0.55	0.72	0.87	0.21	0.29	0.13	0.51	0.30	1.71	0.51	0.28	
19	0.20	0.63	0.01	0.28	0.28	0.05	0.33	0.53	1.43	0.48	0.53	
20	0.61	0.36	-0.11	0.72	0.53	0.40	-0.11	0.47	1.15	0.22	0.70	
21	0.47	0.67	-0.02	1.14	0.82	0.75	-0.19	0.61	0.95	0.08	0.98	
22	0.48	0.60	1.11	1.21	0.86	0.39	0.19	0.70	0.91	0.29	0.91	
23	0.20	0.29	1.23	1.33	1.36	-0.01	0.37	0.77	0.57	0.75	1.00	
24	-0.18	0.36	0.35	1.70	1.29	-0.06	0.40	1.22	0.90	1.15	1.05	
25	0.41	0.21	0.10	1.66	1.76	-0.09	0.56	1.13	1.10	1.53	1.68	
26	0.61	0.36	-0.24	1.09	1.43	0.10	0.65	1.19	0.94	0.88	1.41	
27	0.71	0.47	-0.23	0.79	0.92	0.09	0.67	0.98	1.08	1.00	1.37	
28	0.31	0.02	-0.12	0.81	0.47	0.30	0.64	0.98	1.42	1.17	1.09	
29	-0.25		0.13	0.82	0.70	0.59	0.59	1.16	1.25	1.35	1.04	
30	-0.27		0.77	1.12	0.88	0.82	0.40	1.12	0.73	1.35	1.08	
31	-0.27		0.72		1.08		0.46	1.16		0.99		
MIN	-1.14	-0.26	-0.24	-1.35	0.08	-0.18	-0.19	0.16	0.57	0.08	0.08	0.71
MAX	1.25	1.68	1.23	1.70	1.76	1.01	0.89	1.22	1.71	1.53	1.95	1.16
MEAN	0.30	0.38	0.30	0.69	0.72	0.34	0.35	0.83	1.11	0.87	1.04	0.93



PROPOSED NEW DRAINS
INSTALLED BY THE CITY

PROPOSED NEW DRAINS
INSTALLED BY THE LOT OWNER

PROPOSED NEW DRAINS
INSTALLED BY THE CITY

RAISED FIRST FLOOR
EL: 15.0' +/-

EX. D.I.
TOP 1.1'
INV. - 0.5'

EXISTING
LIVE OAK
100.00'

EX. D.I.
TOP 2.06'
INV. 0.51'

CONCRETE
BLOCK
FOUNDATION

CONCRETE SLAB
EL: 4.5'

EXISTING GRADE

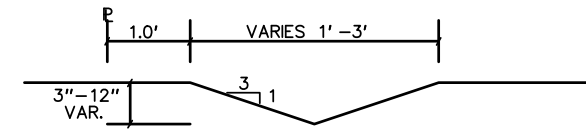
SECTION B-B

NOTE:
THE EXISTING ELEVATION @ LOT 12
HAS A SLAB ELEVATION OF 4.9'

LIMESTONE DR. 2.3'

BENCHMARK

PROPOSED DRIVEWAY



SECTION A-A

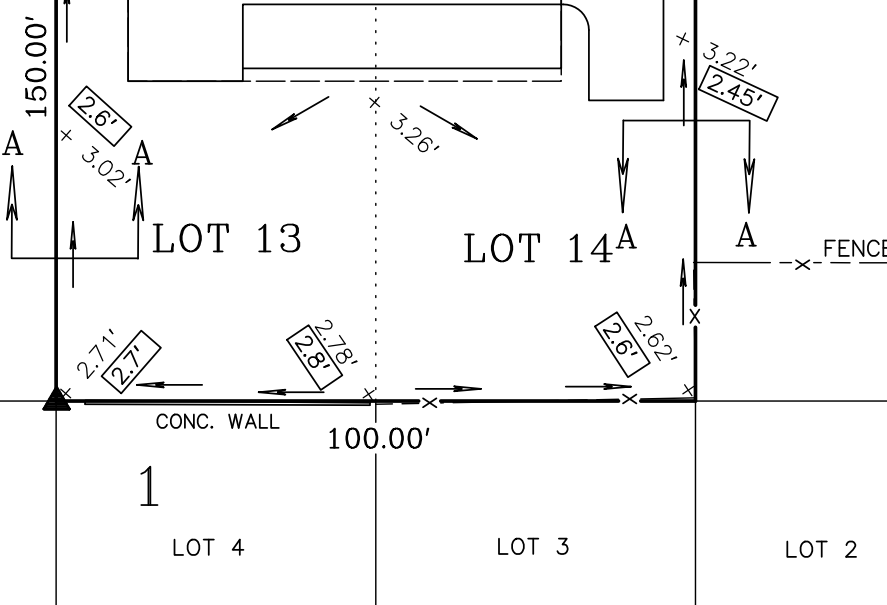
LEGEND:

- x 3.02' = EXISTING ELEVATIONS
- [2.6'] = PROPOSED ELEVATIONS
- ↘ = DRAINAGE PATTERN
- ⊙ = BENCHMARK-60d NAIL IN POWER POLE
ELEV. 4.60' MSL NAVD 88 (GEOID 18)

LOT 12

LOT 15

NOTE:
THE FILL AMOUNTS SHOWN HEREON WILL
HAVE NO ADVERSE IMPACTS ON THE NEIGHBORHOOD
REF. FILL REPORT BY CYPRESS ENGINEERING
DATED 12-15-22



SQ. 1

LOT 5

LOT 4

LOT 3

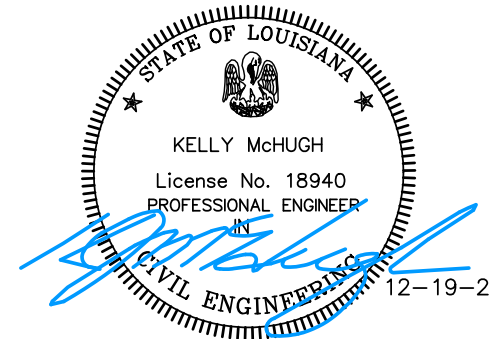
LOT 2

LOT 1

PREPARED FOR: JOHN KELLER

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 70401
626-5611

LOTS 13 & 14, SQ. 1 WEST BEACH PARKWAY
CITY OF MANDEVILLE,
ST. TAMMANY PARISH, LA



SCALE:	1" = 30'	DATE:	05-05-22
DRAWN:	DRJ	JOB NO.:	22-025
REVISED:	08-08-22, 08-16-22, 12-14-22, 12-19-22		

THE FOLLOWING RESOLUTION WAS INTRODUCED BY PLANNING AND ZONING COMMISSION MEMBER _____; AND SECONDED FOR ADOPTION BY COMMISSIONER _____

**RESOLUTION NO.
23-01**

A RESOLUTION OF THE PLANNING AND ZONING COMMISSIONS OF THE CITY OF MANDEVILLE CERTIFYING THAT THE PLANNING AND ZONING COMMISSIONS HAVE SATISFIED THE REQUIREMENTS OF ACT 859 OF THE 2004 LOUISIANA LEGISLATURE REQUIRING THAT NEWLY APPOINTED MEMBERS OF PLANNING COMMISSIONS AND ZONING BOARD OF ADJUSTMENTS MUST RECEIVE AT LEAST FOUR HOURS OF TRAINING; CLURO SECTION 2.1.2 OF THE CITY OF MANDEVILLE MANDATING FOUR HOURS OF EDUCATIONAL TRAINING ANNUALLY FOR EACH MEMBER OF THE PLANNING AND ZONING COMMISSIONS; AND ORDINANCE 12-18, AMENDING THE CODE OF CONDUCT, EXHIBIT A, C. CITY OF MANDEVILLE CODE OF CONDUCT FOR ELECTED, UNCLASSIFIED EMPLOYEES AND APPOINTED PERSONNEL MANDATING ONE HOUR OF ETHICS TRAINING;

WHEREAS, Act 859 of the 2004 Louisiana Legislature requires that newly appointed members of Planning Commissions, Zoning Board of Adjustments and similar boards must receive at least four hours of training in the duties and responsibilities of Planning Commissioners; and

WHEREAS, Section 2.1.1 of the Comprehensive Land Use Regulations Ordinance of the City of Mandeville mandates four hours of annual training for each member of the City Planning and Zoning Commissions; and

WHEREAS, Ordinance 12-18 amended the Code of Conduct for Elected Municipal Officials, Unclassified Employees, Persons Appointed or Elected to the various boards and commissions of the City of Mandeville, Exhibit A, (C), each person by this code shall be required to participate in at least one (1) hour of training per calendar year; and

WHEREAS, it is important that all Commissioners, Zoning Board of Adjustment members and similar board members should have a basic understanding of planning, land use, zoning laws and ethics in order to better fulfill their responsibilities; and

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning and Zoning Commissions of the City of Mandeville certify that the following Commissioners attended said workshops and these Commissioners hereby comply with the training requirements of Act 859 and the City of Mandeville:

1. Commissioner Karen Gautreaux attended: Act 859 and CLURO Section 2.1.1

Ethics

- Ethics training for Public Servants via the internet on December 24, 2022 at <https://eap.ethics.la.gov/EthicsTraining/login.aspx> (1 hour)

Sexual Harassment

- Basics in Sexual Harassment Prevention via the internet on December 27, 2022 at <http://Ima.teachable.com> (1 hour)

Continued Education

- Hazard Regulations We Wish We Had Adopted Sooner via the internet on December 31, 2022 at [APA \(planning.org\)](http://APA(planning.org)) (1 hour)
- Signs and SCOTUS: Reviewing the Latest Billboard Decision via the internet on December 31, 2022 at [APA \(planning.org\)](http://APA(planning.org)) (1 hour)
- Exploring the Tech Frontier of Equitable Urban Forestry via the internet on December 31, 2022 at [APA \(planning.org\)](http://APA(planning.org)) (30 minutes)
- Ethics Cases of the Year 2022 via the internet on December 31, 2022 at [APA \(planning.org\)](http://APA(planning.org)) (1 hour)
- Applying Best Practices to Wildlife Corridors via the internet on December

29, 2022 via the internet at [APA \(planning.org\)](https://apa-planning.org) (45 minutes)

2. Commissioner Brian Rhinehart attended: Act 859 and CLURO Section 2.1.1

Ethics

- Ethics training for Public Servants via the internet on September 14, 2022 at <https://eap.ethics.la.gov/EthicsTraining/login.aspx> (1 hour)

Sexual Harassment

- Basics in Sexual Harassment Prevention via the internet on September 15, 2022 at <http://Ima.teachable.com> (1 hour)

Continued Education

- Land Use Law Update via the internet on September 16, 2022 at [APA \(planning.org\)](https://apa-planning.org) (45 minutes)
- Infrastructure for Resilient Communities via the internet on September 24, 2022 at [APA \(planning.org\)](https://apa-planning.org) (1 hour)
- Signs & SCOTUS: Reviewing the Lates Billboard Decision via the internet on October 2, 2022 at [APA \(planning.org\)](https://apa-planning.org) (1 hour)
- Emerging Trends & Signals APA's 2022 via the internet on October 2, 2022 at [APA \(planning.org\)](https://apa-planning.org) (1 hour)
- Data-Driven Innovations to Modernize Zoning for Equity via the internet on October 8, 2022 at [APA \(planning.org\)](https://apa-planning.org) (90 minutes)

3. Commissioner Simmie Fairley attended: Act 859 and CLURO Section 2.1.1

Ethics

- Ethics training for Public Servants via the internet on October 19, 2022 at <https://eap.ethics.la.gov/EthicsTraining/login.aspx> (1 hour)

Sexual Harassment

- Basics in Sexual Harassment Prevention via the internet on October 20, 2022 at <http://Ima.teachable.com> (1 hour)

Continued Education

- Acknowledging and Righting Planning's Racial Equity Wrongs via the internet on November 30, 2022 at [APA \(planning.org\)](https://apa-planning.org) (1 hour)
- Learn to Use the Plan Integration for Resilience Scorecard via the internet on November 30, 2022 at [APA \(planning.org\)](https://apa-planning.org) (3 hours)

4. Commissioner Nixon Adams attended: Act 859 and CLURO Section 2.1.1

Ethics

- Ethics training for Public Servants via the internet on September 14, 2022 at <https://eap.ethics.la.gov/EthicsTraining/login.aspx> (1 hour)

Sexual Harassment

- Basics in Sexual Harassment Prevention via the internet on October 12, 2022 at <http://Ima.teachable.com> (1 hour)

Continued Education

- APA National Planning Conference via the internet on May 18 – 20, 2022 at [American Planning Association](https://americanplanning.org) (4 hours)

5. Commissioner Scott Quillin attended: Act 859 and CLURO Section 2.1.1

Ethics

- Ethics training for Public Servants via the internet on November 15, 2022 at <https://eap.ethics.la.gov/EthicsTraining/login.aspx> (1 hour)

Sexual Harassment

- Basics in Sexual Harassment Prevention via the internet on November 15, 2022 at <http://Ima.teachable.com> (1 hour)

Continued Education

- Beyond Zoning: Comprehensive Approaches to Enabling Housing Equity via the internet on December 10, 2022 at [APA \(planning.org\)](https://apa-planning.org) (1 hour)

- Improving Large-Scale Solar Development Outcomes via the internet on December 10, 2022 at [APA \(planning.org\)](https://apa-planning.org) (45 minutes)
 - Emerging Trends and Signals: APA's 2022 Trend Report via the internet on December 10, 2022 at [APA \(planning.org\)](https://apa-planning.org) (1 hour)
 - Coastal Urban Flooding: Drowning Cities, Rising Vulnerability via the internet on December 10, 2022 at [APA \(planning.org\)](https://apa-planning.org) (90 minutes)
6. Commissioner Claire Durio attended: Act 859 and CLURO Section 2.1.1
- Ethics
- Ethics training for Public Servants via the internet on December 1, 2022 at <https://eap.ethics.la.gov/EthicsTraining/login.aspx> (1 hour)
- Sexual Harassment
- Basics in Sexual Harassment Prevention via the internet on December 1, 2022 at <http://Ima.teachable.com> (1 hour)
- Continued Education
- Land Use Law Update via the internet on December 6, 2022 at [APA \(planning.org\)](https://apa-planning.org) (45 minutes)
 - Winning Strategies for State Zoning Reform via the internet on December 7, 2022 at [APA \(planning.org\)](https://apa-planning.org) (1 hour)
 - Moakley Park: A 21st Century Resilience Plan via the internet on December 7, 2022 at [APA \(planning.org\)](https://apa-planning.org) (45 minutes)
 - Coordinating Local Planning Initiatives Through a Regional Platform via the internet on December 8, 2022 at [APA \(planning.org\)](https://apa-planning.org) (45 minutes)
 - A Planner's Toolkit to Reboot Small Businesses via the internet on December 8, 2022 at [APA \(planning.org\)](https://apa-planning.org) (45 minutes)
7. Commissioner Mike Pierce attended: Act 859 and CLURO Section 2.1.1
- Ethics
- Ethics training for Public Servants via the internet on December 7, 2022 at <https://eap.ethics.la.gov/EthicsTraining/login.aspx> (1 hour)
- Sexual Harassment
- Basics in Sexual Harassment Prevention via the internet on November 29, 2022 at <http://Ima.teachable.com> (1 hour)
- Continued Education
- Land Use Law Update via the internet on December 27, 2022 at [APA \(planning.org\)](https://apa-planning.org) (45 minutes)
 - That's My Spot! Estimating Resident Street Parking Dependency via the internet on December 24, 2022 at [APA \(planning.org\)](https://apa-planning.org) (30 minutes)
 - Signs and SCOTUS: Reviewing the Latest Billboard Decision via the internet on December 23, 2022 at [APA \(planning.org\)](https://apa-planning.org) (1 hour)
 - Ethics Cases of the Year 2022 via the internet on December 27, 2022 at [APA \(planning.org\)](https://apa-planning.org) (1 hour)
 - Ethics for Small Town Planning via the internet on December 23, 2022 at [APA \(planning.org\)](https://apa-planning.org) (90 minutes)

With the above resolution having been properly introduced and duly seconded, the vote was as follows:

AYES:

NAYS:

ABSENT:

ABSTENTIONS:

And the resolution was declared adopted this 10th day of January 2023

Alex Weiner, Secretary
Planning and Zoning Commissions

Brian Rhinehart, Chairman
Zoning Board

Karen Gautreaux, Chairwoman
Planning Commission